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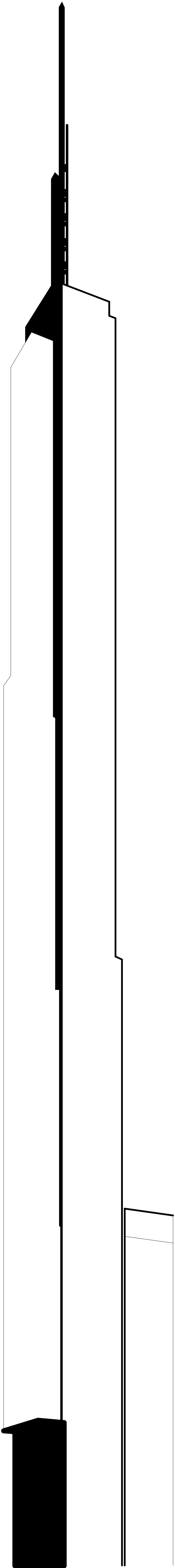
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301	A-459	6TH FLOOR PART PLAN (WEST)
302	A-460	6TH FLOOR INTERMEDIATE PART PLAN (STAIR TRANSFER)
303	A-461	7TH FLOOR PART PLAN (SOUTH-EAST)
304	A-462	

ZONING CALCULATIONS

Map 8c BLOCK / LOTS : 1029 / 14, 19, 23, 27, 36, 37, 43, 47 and 50

1. ZONING DISTRICTS

C5-1
C5-3 MID
C6-6 MID

2. LOT AREA

C5-1

44,686 SF

C5-3 MID

31,171 SF

C6-6 MID

15,058 SF

Sub-Total MID

46,229 SF

Total

90,915 SF

3. USES PERMITTED

C5-1

UG 1-6, 9-11

C5-3 MID

UG 1-6, 9-11

C6-6 MID

UG 1-12

4. USES PROPOSED

Existing to Remain:

C5-1

UG 3 - School

C5-3 / C6-6 MID

UG 2 - Residential

UG 4 - Not for Profit without

Sleeping Accommodation

UG 6 - Commercial

Proposed New Building :

C5-1 / C5-3 MID

UG 2 - Residential

UG 6 - Retail

UG 10 - Large Retail

5. FLOOR AREA PERMITTED

A) FAR PERMITTED

1. C5-1

Commercial

4 FAR

Residential

10 FAR

w/ Inclusionary Housing Bonus

12 FAR

Community Facility

10 FAR

23-95

Inclusionary Housing Provided

25,533.5 SF

Off-Site New Construction

25,533.5 SF X 3.5 = 89,367 SF

Bonus Rate 3.5 FAR

(44,686 X 10) + 89,367 SF = 536,227 SF

Floor Area Permitted

536,227 SF / 44,686 = 12 FAR

FAR Permitted

Bulk purposes)

81-211

Residential

15 FAR

81-241

w/ Residential Recreational Space Bonus

12 FAR

Community Facility

15 FAR

B) FLOOR AREA PERMITTED

1. C5-1

Commercial

44,686 SF X 4 FAR

178,744 SF

Residential

44,686 SF X 12 FAR

536,232 SF *

Community Facility

44,686 SF X 10 FAR

446,860 SF

Maximum FA Permitted

536,232 SF

2. C5-3 MID and C6-6 MID (zones are identical)

Commercial

46,229 SF X 15 FAR

693,435 SF

Residential

46,229 SF X 10 FAR

462,290 SF

Residential with Recreation Space

46,229 SF X 12 FAR

554,748 SF

Community Facility

46,229 SF X 15 FAR

693,435 SF

Maximum FA Permitted

693,435 SF

3. Total Zoning Lot

Maximum Commercial

872,179 SF

Maximum Residential

1,050,980 SF *

Maximum Community Facility

1,140,295 SF

Maximum FA Permitted

1,229,667 SF

* Note : Residential 10 FAR identical between Districts and may be located in any Zone

6. FLOOR AREA PROPOSED (See Floor Area Schedule Z-003)

1. C5-1

Existing Buildings :

Retail

3,527 SF

Residential

82,603 SF

Community Facility

71,010 SF

Total

157,140 SF

New Building :

Retail

74,311 SF

Residential

531,074 SF

Total

605,385 SF

Total C5-1 Zone :

Retail

77,838 SF

Residential

613,677 SF

Community Facility

71,010 SF

Total

762,525 SF

2. C5-3 MID and C6-6 MID

Existing Buildings :

Retail

5,638 SF

Residential

157,145 SF

Community Facility

26,397 SF

Total

189,180 SF

New Building :

Retail

98,719 SF

Residential

163,269 SF

Total

261,988 SF

Total C5-3 MID and C6-6 MID Zones :

Retail

104,357 SF

Residential

320,414 SF

Community Facility

26,397 SF

Total

451,168 SF

3. Total Zoning Lot

Existing Buildings :

Retail

9,165 SF

Residential

239,748 SF

Community Facility

97,407 SF

Total

346,320 SF

New Building :

Retail

173,030 SF

Residential

694,343 SF

Total

867,373 SF

Total Zoning Lots :

Retail

182,195 SF

Residential

934,091 SF

Community Facility

97,407 SF

Total

1,213,693 SF

7. DWELLING UNITS PERMITTED (See Floor Area Schedule)

A) Maximum Floor Area

1,213,693 SF

B) Non-Residential Floor Area

182,195 SF + 97,407 SF

279,602 SF

C) Floor Area for Dwelling Units

1,213,693 SF - 279,602 SF

934,091 SF

D) Maximum Dwelling Units

934,091 SF / 790 SF per unit

1182 D.U.

E) Proposed

183 D.U. + 170 Existing D.U.

353 D.U.

8. REQUIRED OFF-STREET LOADING

A) Retail Floor Area

Berths Required

Total

0 - 25,000 SF

0

0

Next 15,000 SF (25,001 - 40,000 SF)

1

1

Next 60,000 SF (40,001 - 100,000 SF)

1

2

Each additional 150,000 (100,001 - 250,000 SF)

1

3 ...

New Retail Floor Area Provided

Berths Required

Above Grade Retail Floor Area =

173,030 SF

Below Grade Retail Sales Only Floor Area =

71,104 SF

(see 3 and 4 / Z-008.00)

Total New Retail Floor Area =

244,134 SF

B) Residential

Berths Required

Total

None Required

0

0

Off-Street Loading Berths Required

3

3

OFF-STREET LOADING BERTHS PROVIDED

3

COMPLIES

Size of required Berths

(see 1 / Z-045.00)

COMPLIES

9. ACCESSORY OFF-STREET PARKING

A) None Required

None

COMPLIES

PARKING PROVIDED

10. BICYCLE PARKING

Required Bicycle Parking (15 SF / Bicycle) :

Residential : 1 Bicycle per 2 Dwelling Units

183 D.U. / 2 = 92 BICYCLES

Retail : 1 Bicycle / 10,000 SF

244,134 SF / 10,000 = 25 BICYCLES

Total Bicycles required

92 + 25 = 117

Total Bicycle Parking Space required

(92 X 9 SF) + (25 X 15 SF) = 1203 SF

BICYCLE PARKING SPACE PROVIDED

1548 SF (See Z-045.00)

COMPLIES

11. STREETSCAPE

A) Street Wall Continuity - C5-3 - West 57th Street

See Z-041.00

COMPLIES

Street Wall Continuity

B) Street Wall Continuity - C5-3 - Broadway

See Z-042.00

COMPLIES

Street Wall Continuity

C) Street Wall Continuity - C5-1 - West 58th Street

See Z-043.00

COMPLIES

Sign Regulations

D) Retail Continuity - C5-1 and C5-3

See Z-043.00

COMPLIES

Commercial

15 FAR

Sign Regulations

See Z-044.00

Street Wall Articulation

See Z-044.00

Glazing Requirements

See Z-044.00

Retail Continuity - C5-1

See Z-044.00

Retail Continuity - C5-3 / C6-6 MID

See Z-044.00

E) Special Urban Design Requirements C5-1

See Z-045.00

COMPLIES

Curb Cuts

Central Refuse Storage Area

See Z-045.00

F) Special Urban Design Requirements C5-3

See Z-046.00

COMPLIES

Pedestrian Circulation Space

Major Building Entrances

See Z-046.00

Waiver of Relocation of Subway Stair at Seventh Avenue to be Requested Pursuant to Section 37-44

12. STREETSCAPE TREE PLANTING

A) Required number of trees : One every 25' of Street Frontage of the Zoning Lot

1,099.61'

Length of Street Frontage

1,099.61' / 25' = 44 Trees

Trees Required (one street tree / 25')

TREES PROVIDED

2 Existing Trees +

42 New Off Site Trees = 44 Trees (see Z-047.00)

COMPLIES

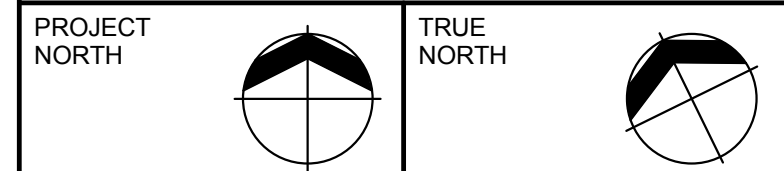
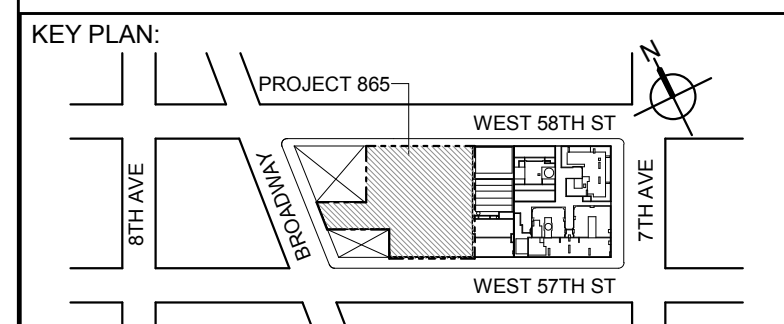
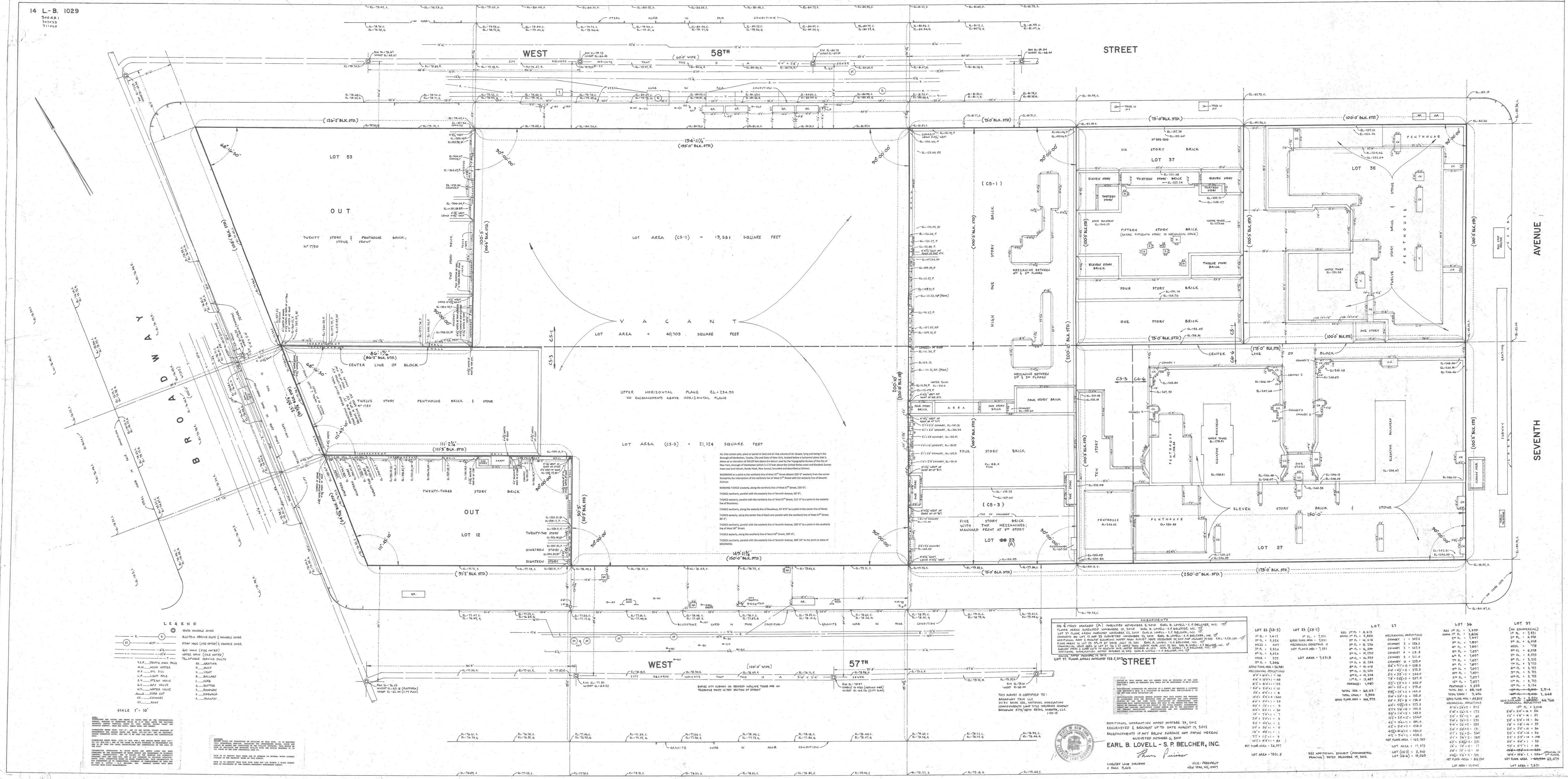
13. YARD EQUIVALENTS

REAR YARD PROVIDED

Yes

NEW BUILDING FLOOR AREA: ABOVE GRADE

FLOOR AREA ABOVE GRADE		ZONE C5-1			ZONE C5-3 MID			TOTAL		
		GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
GR FLOOR	RESIDENTIAL	3,862	77	3,785	4,279	127	4,153	8,141	203	7,938
GR FLOOR	RETAIL	15,720	2,729	12,990	16,844	180	16,663	32,563	2,909	29,654
TOTAL		19,581	2,806	16,775	21,123	307	20,816	40,704	3,113	37,591
2ND FLOOR	RESIDENTIAL	913	104	809	219	166	53	1,133	270	862
2ND FLOOR	RETAIL	16,505	305	16,200	20,478	150	20,327	36,982	455	36,527
TOTAL		17,418	409	17,009	20,697	317	20,380	38,115	725	37,390
3RD FLOOR	RESIDENTIAL	930	121	809	398	345	53	1,328	465	863
3RD FLOOR	RETAIL	16,478	378	16,098	20,815	49	20,765	37,290	427	36,863
TOTAL		17,406	499	16,907	21,211	393	20,818	38,617	892	37,725
4TH FLOOR	RESIDENTIAL	915	106	809	432	379	53	1,348	485	862
4TH FLOOR	RETAIL	16,503	383	16,120	20,265	49	20,216	36,767	432	36,336
TOTAL		17,418	489	16,929	20,697	428	20,269	38,115	917	37,198
5TH FLOOR	RESIDENTIAL	931	121	809	398	345	53	1,329	466	863
5TH FLOOR	RETAIL	13,294	391	12,903	20,801	53	20,748	34,095	444	33,651
TOTAL		14,225	512	13,713	21,199	98	20,801	35,424	910	34,514
6TH FLOOR MEP	RESIDENTIAL	5,419	5,419	0	6,326	6,322	294	11,745	11,451	294
6TH FLOOR MEP	RETAIL	8,645	8,645	0	14,348	14,348	0	22,994	22,994	0
TOTAL		14,064	14,064	0	20,674	20,380	294	34,739	34,444	294
7TH FLOOR	RESIDENTIAL	14,064	14,064	0	20,674	19,931	743	34,738	33,995	743
8TH FLOOR	RESIDENTIAL	7,528	284	7,243	8,276	102	8,174	15,804	386	15,418
9TH FLOOR	RESIDENTIAL	7,462	7,462	0	3,690	3,690	0	11,151	11,151	0
10TH FLOOR	RESIDENTIAL	7,462	284	7,178	3,690	61	3,628	11,151	345	10,806
10A FLOOR	RESIDENTIAL	7,462	7,462	0	3,690	3,690	0	11,151	11,151	0
11TH FLOOR MEP	RESIDENTIAL	9,401	9,401	0	4,243	4,243	0	13,645	13,645	0
12TH FLOOR	RESIDENTIAL	9,396	4,078	5,318	4,243	1,389	2,854	13,640	5,467	8,172
13TH FLOOR	RESIDENTIAL	9,401	681	8,721	4,243	267	3,976	13,645	948	12,697
14TH FLOOR	RESIDENTIAL	9,401	687	8,714	4,243	267	3,976	13,645	955	12,690
15TH FLOOR	RESIDENTIAL	9,401	705	8,696	4,243	267	3,976	13,645	972	12,673
16TH FLOOR	RESIDENTIAL	9,401	681	8,721	4,243	267	3,976	13,645	948	12,697
17TH FLOOR	RESIDENTIAL	9,401	681	8,721	4,243	266	3,978	13,645	946	12,698
18TH FLOOR	RESIDENTIAL	9,401	698	8,703	4,243	267	3,976	13,645	965	12,679
19TH FLOOR	RESIDENTIAL	9,401	681	8,721	4,243	267	3,976	13,645	948	12,697
20TH FLOOR	RESIDENTIAL	9,401	620	8,782	2,019	116	1,903	11,420	735	10,685
21ST FLOOR	RESIDENTIAL	9,401	743	8,658	2,023	188	1,836	11,424	931	10,494
22ND FLOOR	RESIDENTIAL	9,401	724	8,677	2,023	188	1,836	11,424	912	10,512
23RD FLOOR	RESIDENTIAL	9,401	724	8,677	2,023	188	1,836	11,424	912	10,512
24TH FLOOR	RESIDENTIAL	9,401	743	8,658	2,023	188	1,836	11,424	931	10,494
25TH FLOOR	RESIDENTIAL	9,401	743	8,658	2,023	188	1,836	11,424	931	10,494
26TH FLOOR	RESIDENTIAL	9,401	724	8,677	2,023	188	1,836	11,424	912	10,512
27TH FLOOR MEP	RESIDENTIAL	9,146	9,146	0	1,960	1,960	0	11,106	11,106	0
28TH FLOOR	RESIDENTIAL	7,060	579	6,481	2,023	103	1,920	9,083	682	8,401
29TH FLOOR	RESIDENTIAL	7,060	496	6,564	2,023	147	1,876	9,083	643	8,440
30TH FLOOR	RESIDENTIAL	7,060	479	6,582	2,023	147	1,876	9,083	626	8,458
31ST FLOOR	RESIDENTIAL	7,060	490	6,571	2,023	147	1,876	9,083	637	8,447
32ND FLOOR	RESIDENTIAL	7,060	490	6,571	2,023	147	1,876	9,083	637	8,447
33RD FLOOR	RESIDENTIAL	7,060	471	6,589	2,023	147	1,876	9,083	618	8,465
34TH FLOOR	RESIDENTIAL	7,060	490	6,571	2,023	147	1,876	9,083	637	8,447
35TH FLOOR	RESIDENTIAL	7,060	490	6,571	2,023	147	1,876	9,083	637	8,447
36TH FLOOR	RESIDENTIAL	7,060	471	6,589	2,023	147	1,876	9,083	618	8,465
37TH FLOOR	RESIDENTIAL	7,060	490	6,570	2,023	148	1,875	9,083	638	8,446
38TH FLOOR	RESIDENTIAL	7,060	490	6,570	2,023	148	1,875	9,083	638	8,446
39TH FLOOR	RESIDENTIAL	7,060	472	6,588	2,023	148	1,875	9,083	620	8,464
40TH FLOOR	RESIDENTIAL	7,060	490	6,570	2,023	148	1,875	9,083	638	8,446
41ST FLOOR	RESIDENTIAL	7,060	490	6,570	2,023	148	1,875	9,083	638	8,446
42ND FLOOR	RESIDENTIAL	7,060	473	6,587	2,023	148	1,875	9,083	621	8,462
43RD FLOOR	RESIDENTIAL	7,060	490	6,570	2,023	148	1,875	9,083	638	8,446
44TH FLOOR	RESIDENTIAL	7,060	490	6,570	2,023	148	1,875	9,083	638	8,446
45TH FLOOR	RESIDENTIAL	7,060	473	6,587	2,023	148	1,875	9,083	621	8,462
46TH FLOOR MEP	RESIDENTIAL	6,929	6,929	0	1,960	1,960	0	8,889	8,889	0
47TH FLOOR	RESIDENTIAL	6,763	447	6,315	2,023	122	1,901	8,786	570	8,216
48TH FLOOR	RESIDENTIAL	6,643	466	6,177	1,873	122	1,751	8,516	568	7,928
49TH FLOOR	RESIDENTIAL	6,643	448	6,194	1,873	122	1,751	8,516	571	7,945
50TH FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	122	1,751	8,516	569	7,927
51ST FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	122	1,751	8,516	569	7,927
52ND FLOOR	RESIDENTIAL	6,643	448	6,194	1,873	122	1,751	8,516	570	7,945
53RD FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	122	1,751	8,516	569	7,927
54TH FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	122	1,751	8,516	569	7,927
55TH FLOOR	RESIDENTIAL	6,643	449	6,194	1,873	122	1,751	8,516	571	7,945
56TH FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	122	1,751	8,516	569	7,927
57TH FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	103	1,770	8,516	570	7,946
58TH FLOOR	RESIDENTIAL	6,643	468	6,195	1,873	103	1,770	8,516	551	7,965
59TH FLOOR	RESIDENTIAL	6,643	467	6,176	1,873	103	1,770	8,516	570	7,946
60TH FLOOR	RESIDENTIAL	6,643	466	6,176	1,873	103	1,770	8,516	569	7,946
61ST FLOOR	RESIDENTIAL	6,643	447	6,195	1,873	116	1,757	8,516	563	7,963
62ND FLOOR	RESIDENTIAL	6,643	466	6,176	1,873	103	1,770	8,516	569	7,946
63RD FLOOR	RESIDENTIAL	6,643	466	6,176	1,873	103	1,770	8,516	569	7,946
64TH FLOOR	RESIDENTIAL	6,643	466	6,176	1,873	103	1,770	8,516	569	7,946
65TH FLOOR	RESIDENTIAL	6,643	466	6,176	1,873	103	1,770	8,516	569	7,946
66TH FLOOR	RESIDENTIAL	6,643	436	6,207	1,873	103	1,770	8,516	539	7,978
67TH FLOOR MEP	RESIDENTIAL	6,639	6,639	0	1,870	1,870	0	8,509	8,509	0
67TH FLOOR MEZ	RESIDENTIAL	6,639	6,639	0	1,870	1,870	0	8,509	8,509	0
68TH FLOOR	RESIDENTIAL	6,350	296	6,054	1,873	105	1,768	8,223	402	7,822
69TH FLOOR	RESIDENTIAL	6,285	2,006	4,279	1,873	143	1,730	8,158	2,149	6,009
70TH FLOOR	RESIDENTIAL	6,327	362	5,965	1,506	115	1,391	7,833	477	7,356
71ST FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
72ND FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
73RD FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
74TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
75TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
76TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
77TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
78TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
79TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
80TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
81ST FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
82ND FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
83RD FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
84TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
85TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
86TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
87TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
88TH FLOOR	RESIDENTIAL	6,327	359	5,968	1,506	117	1,389	7,833	476	7,357
89TH FLOOR	RESIDENTIAL	6,327	30							



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NO.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

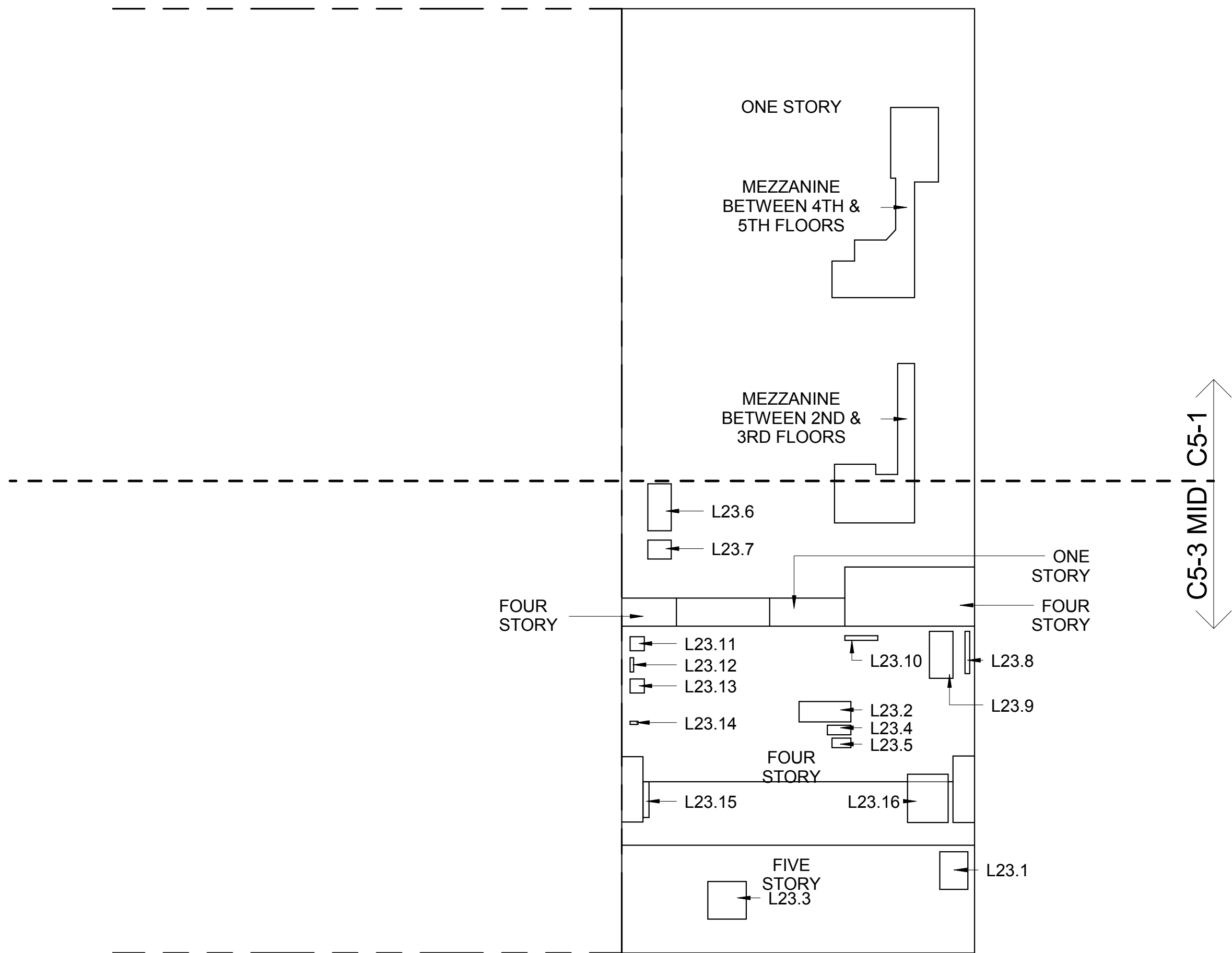
DRAWING TITLE:
SURVEY

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	2
	SCALE:	
DWG No:	Z-004.00	
DOB PAGE No:	6 of 600	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

*EXISTING FLOOR AREAS AND MECHANICAL DEDUCTIONS ON EXISTING BUILDINGS
OBTAINED FROM SURVEY AS AMENDED AND DATED FEBRUARY 5, 2013
PROVIDED BY: EARL B. LOVELL - S.P. BELCHER, INC.
SIGNED AND SCALED BY: THOMAS PICIOCCO

LOT 23 C5-1 AND C5-3 MID ZONE 215 WEST 57TH STREET, NEW YORK										
FLOOR AREA		ZONE C5-1			ZONE C5-3 MID			TOTAL		
ABOVE GRADE		GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
1ST FLOOR	RETAIL	7,531	0	7,531	7,417	50	7,367	14,948	50	14,898
2ND FLOOR	COMMUNITY FACILITY				5,524	50	5,474	5,524	50	5,474
MEZZ	COMMUNITY FACILITY				407		407	407	0	407
3RD FLOOR	COMMUNITY FACILITY				5,524	50	5,474	5,524	50	5,474
4TH FLOOR	COMMUNITY FACILITY				5,524	50	5,474	5,524	50	5,474
MEZZ	COMMUNITY FACILITY				279		279	279	0	279
5TH FLOOR	COMMUNITY FACILITY				2,306	384	1,922	2,306	384	1,922
ABOVE GRADE TOTAL	COMMUNITY FACILITY	0	0	0	19,564	534	19,030	19,564	534	19,030
	RESIDENTIAL	0	0	0	0	0	0	0	0	0
	RETAIL	7,531	0	7,531	7,417	50	7,367	14,948	50	14,898
TOTAL GROSS		7,531	0	7,531	28,981	584	28,397	34,512	584	33,928

LOT 23 MECHANICAL DEDUCTIONS			
NO.	LENGTH/WIDTH	COUNT	AREA
L23.1	8'-0" x 6'-0"	1	48
L23.2	4'-4" x 11'-0"	1	48
L23.3	8'-2" x 8'-0"	1	66
L23.4	5'-0" x 2'-0"	1	10
L23.5	2'-0" x 4'-0"	1	8
L23.6	10'-0" x 5'-0"	4	200
L23.7	4'-0" x 5'-0"	1	20
L23.8	9'-0" x 1'-0"	1	9
L23.9	10'-0" x 5'-0"	1	50
L23.10	1'-0" x 7'-0"	1	7
L23.11	3'-0" x 3'-0"	1	9
L23.12	3'-0" x 0'-9"	1	2
L23.13	3'-0" x 3'-0"	1	9
L23.14	1'-8" x 0'-8"	1	1
L23.15	7'-7" x 1'-3"	1	9
L23.16	10'-3" x 8'-8"	1	89
TOTAL			584

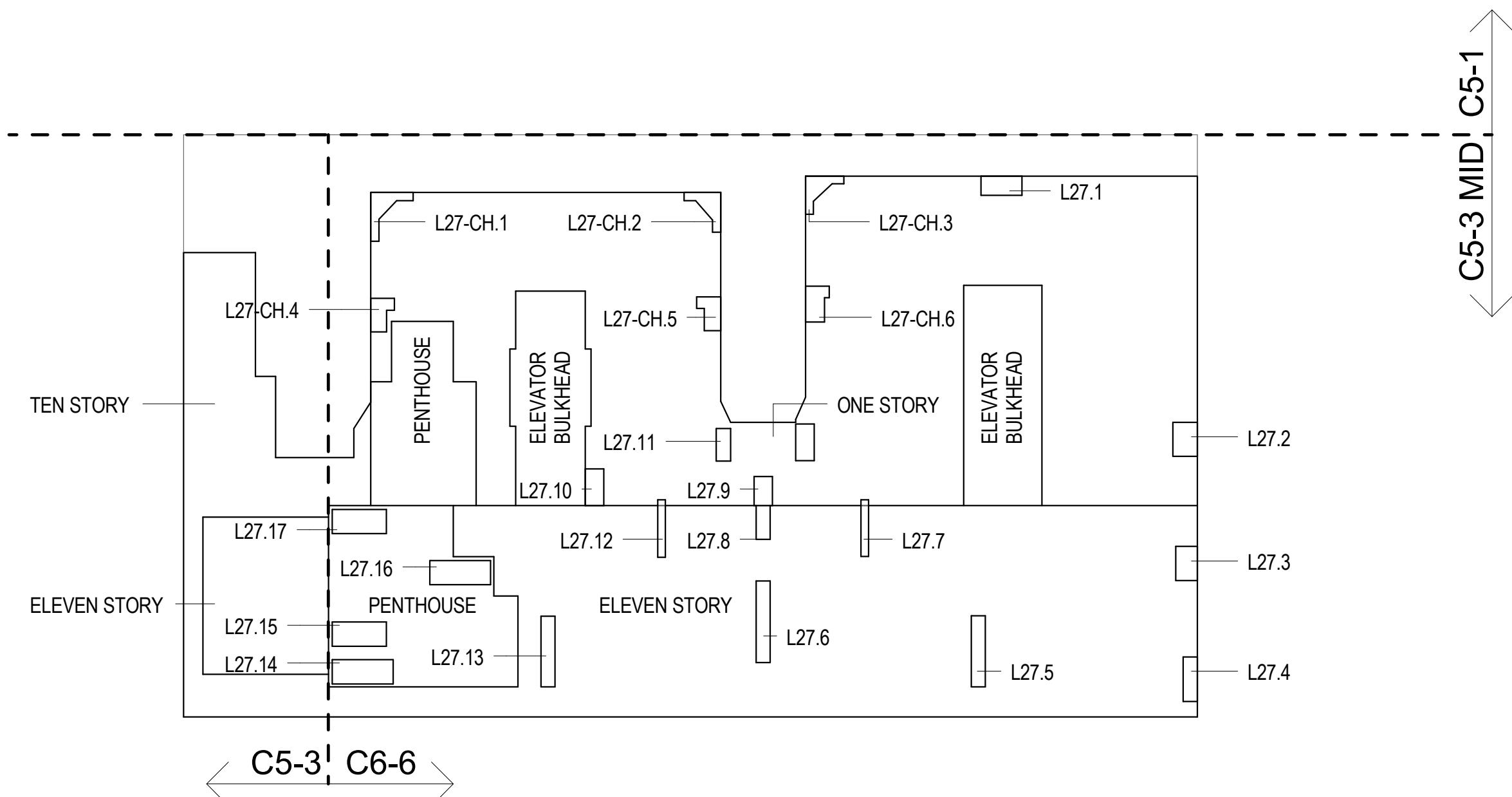


1 LOT 23 GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0"

*EXISTING FLOOR AREAS AND MECHANICAL DEDUCTIONS ON EXISTING BUILDINGS
OBTAINED FROM SURVEY AS AMENDED AND DATED FEBRUARY 5, 2013
PROVIDED BY: EARL B. LOVELL - S.P. BELCHER, INC.
SIGNED AND SCALED BY: THOMAS PICIOCCO

LOT 27 C5-3 / C6-6 ZONE 201 - 211 WEST 57TH STREET, NEW YORK										
FLOOR AREA		ZONE C5-1			ZONE C5-3 / C6-6 MID			TOTAL		
ABOVE GRADE		GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
1ST FLOOR	RESIDENTIAL				8,613	335	8,278	8,613	335	8,278
	RETAIL				5,869	228	5,638	5,869	228	5,638
	TOTAL	0	0	0	14,479	563	13,916	14,479	563	13,916
2ND FLOOR	RESIDENTIAL				16,618	563	16,055	16,618	563	16,055
3RD FLOOR	RESIDENTIAL				15,236	563	14,673	15,236	563	14,673
4TH FLOOR	RESIDENTIAL				16,599	563	16,036	16,599	563	16,036
5TH FLOOR	RESIDENTIAL				14,290	563	13,727	14,290	563	13,727
6TH FLOOR	RESIDENTIAL				16,599	563	16,036	16,599	563	16,036
7TH FLOOR	RESIDENTIAL				15,254	563	14,691	15,254	563	14,691
8TH FLOOR	RESIDENTIAL				16,618	563	16,055	16,618	563	16,055
9TH FLOOR	RESIDENTIAL				15,254	563	14,691	15,254	563	14,691
10TH FLOOR	RESIDENTIAL				14,308	563	13,745	14,308	563	13,745
11TH FLOOR	RESIDENTIAL				12,837	563	12,274	12,837	563	12,274
12TH FLOOR	RESIDENTIAL				1,087	0	1,087	1,087	0	1,087
ABOVE GRADE TOTAL	COMMUNITY FACILITY	0	0	0	0	0	0	0	0	0
	RESIDENTIAL	0	0	0	163,113	5,969	157,145	163,113	5,969	157,145
	RETAIL	0	0	0	5,869	228	5,638	5,869	228	5,638
TOTAL GROSS		0	0	0	168,979	6,196	162,783	168,979	6,196	162,783

LOT 27 MECHANICAL DEDUCTIONS			
NO.	LENGTH/WIDTH	COUNT	AREA
L27-CH.1	CHIMNEY 1	1	302.5
L27-CH.2	CHIMNEY 2	1	258.5
L27-CH.3	CHIMNEY 3	1	247.5
L27-CH.4	CHIMNEY 4	1	115.5
L27-CH.5	CHIMNEY 5	1	211.0
L27-CH.6	CHIMNEY 6	1	235.0
L27.1	3'-4" x 7'-1"	11	258.5
L27.2	5'-10" x 4'-3"	11	272.5
L27.3	5'-11" x 3'-9"	11	244.0
L27.4	7'-8" x 2'-5 1/2"	11	207.0
L27.5	12'-3" x 2'-5"	11	326.0
L27.6	14'-1" x 2'-5"	11	375.0
L27.7	9'-9 1/2" x 1'-4"	11	143.0
L27.8	5'-10" x 2'-5"	11	155.0
L27.9	5'-0" x 3'-2"	11	174.0
L27.10	6'-4" x 3'-2 1/2"	11	223.5
L27.11	5'-7" x 2'-6"	11	153.5
L27.12	9'-11" x 1'-4"	11	145.0
L27.13	12'-2" x 2'-5"	11	324.0
L27.14	4'-2" x 10'-6"	11	481.0
L27.15	4'-2" x 9'-4"	11	428.0
L27.16	4'-2 1/4" x 10'-6"	11	484.0
L27.17	4'-2" x 9'-4"	11	428.0
TOTAL			6196



2 LOT 27 GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0"

ZONING AND DEDUCT LEGEND

DEDUCTIONS

- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

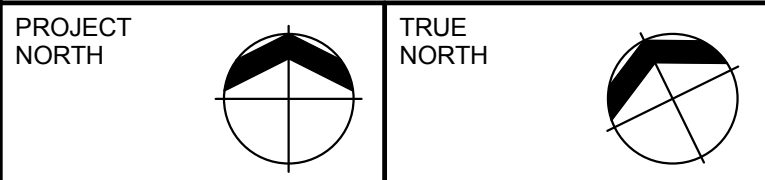
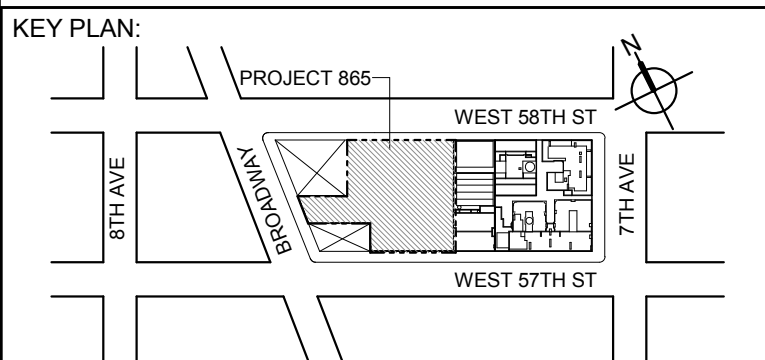
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



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EXTELL DEVELOPMENT COMPANY
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NEW YORK, NY 10022 USA
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
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CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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New York, NY 10005
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

NO.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

0 10' 8' 21' 4' 42' 8'

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
LOT 23, LOT 27 (EXISTING)

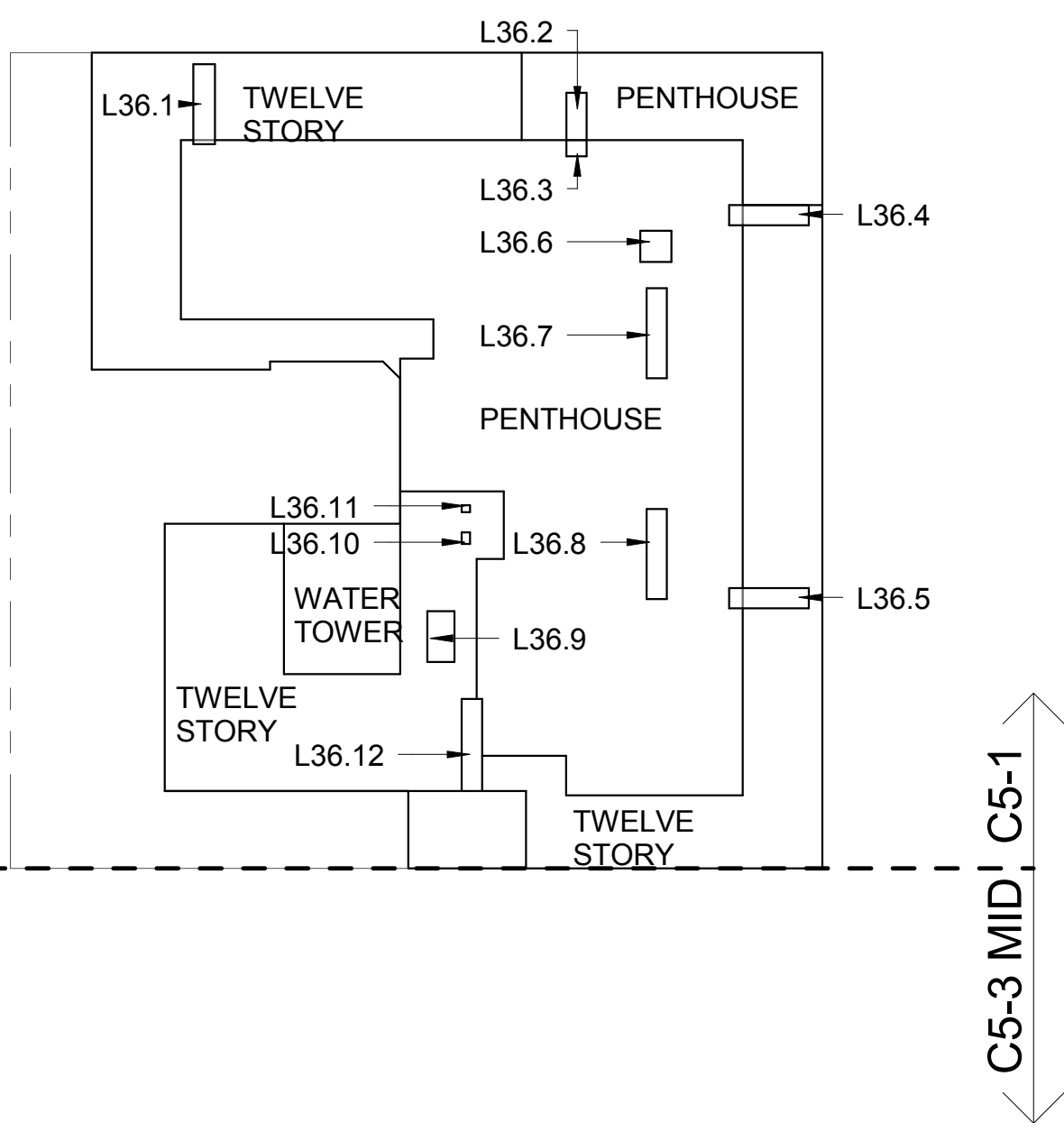
SEAL & SIGNATURE:	DATE:	05 DEC 14
PROJECT No:	1216-00	
DRAWN: Author	CHECK: Checker	REV: 2
DWG No:	SCALE: 3/64" = 1'-0"	
Z-006.00		
DOB PAGE No: 7 of 930	DOB B-SCAN:	

DOB EMPLOYEE STAMP:

* EXISTING FLOOR AREAS AND MECHANICAL DEDUCTIONS ON EXISTING BUILDINGS
OBTAINED FROM SURVEY AS AMENDED AND DATED FEBRUARY 5, 2013
PROVIDED BY: EARL B. LOVELL - S.P BELCHER, INC
SIGNED AND SCALED BY: THOMAS PICIOCCO

LOT 36			C5-1 ZONE			200 WEST 56TH STREET, NEW YORK			C5-1 ZONE			C5-1 ZONE			TOTAL		
FLOOR AREA			ZONE C5-1			ZONE C5-3 / C6-4 MID			ZONE C5-3 / C6-4 MID			TOTAL					
ABOVE GRADE			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA			
1ST FLOOR	RESIDENTIAL		3,599	108	3,491			0	3,599	108	3,491			0			
	RETAIL		3,636	109	3,527			0	3,636	109	3,527			0			
	TOTAL		7,235	217	7,018	0	0	0	7,235	217	7,018			0			
2ND FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
3RD FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
4TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
5TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
6TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
7TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
8TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
9TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
10TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
11TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
12TH FLOOR	RESIDENTIAL		7,097	217	6,880			0	7,097	217	6,880			0			
13TH FLOOR	RESIDENTIAL		3,503	75	3,428			0	3,503	75	3,428			0			
			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA			
ABOVE GRADE	COMMUNITY FACILITY					0	0	0				0					
TOTAL	RESIDENTIAL		85,160	2,569	82,633	0	0	0	85,160	2,569	82,633	0	0	0			
	RETAIL		3,636	109	3,527	0	0	0	3,636	109	3,527	0	0	0			
TOTAL GROSS			88,800	2,675	86,130	0	0	0	88,800	2,675	86,130	0	0	0			

LOT 36 MECHANICAL DEDUCTIONS			
NO.	LENGTH/WIDTH	COUNT	AREA
L36.1	9'-0" x 2'-8"	12	315
L36.2	5'-10" x 2'-6"	12	175
L36.3	2'-0" x 2'-6"	13	65
L36.4	9'-10" x 2'-6"	12	295
L36.5	9'-10" x 2'-6"	12	295
L36.6	3'-10" x 3'-10"	13	191
L36.7	11'-1" x 2'-6"	13	360
L36.8	11'-1" x 2'-6"	13	360
L36.9	6'-3" x 3'-4 1/4"	12	251
L36.10	1'-5" x 1'-0"	12	17
L36.11	0'-10" x 1'-0"	12	10
L36.12	11'-4 1/4" x 2'-6"	12	341
TOTAL			2675

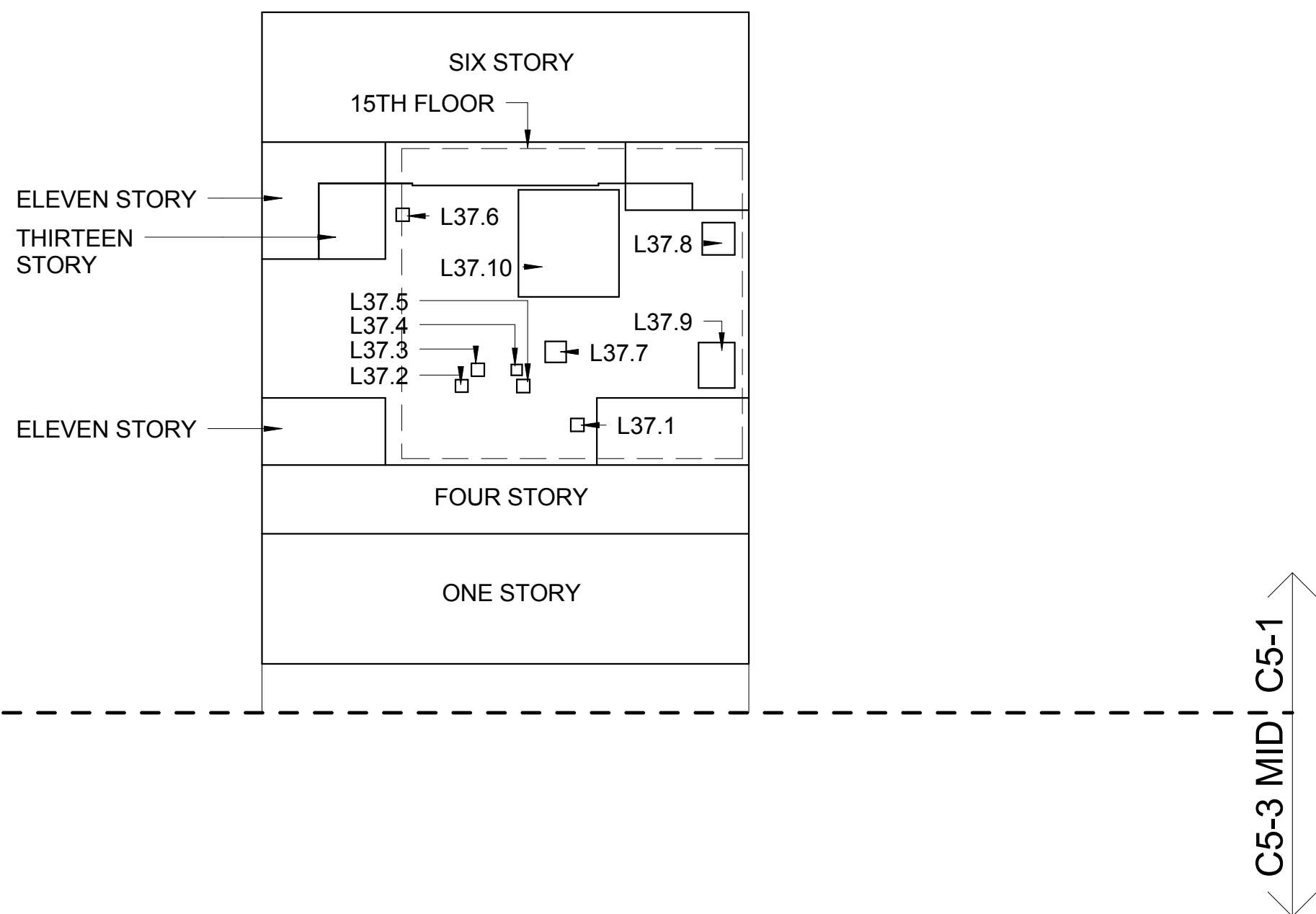


1 LOT 36 GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

* EXISTING FLOOR AREAS AND MECHANICAL DEDUCTIONS ON EXISTING BUILDINGS
OBTAINED FROM SURVEY AS AMENDED AND DATED FEBRUARY 5, 2013
PROVIDED BY: EARL B. LOVELL - S.P. BELCHER, INC
SIGNED AND SCALED BY: THOMAS PICIOCCO

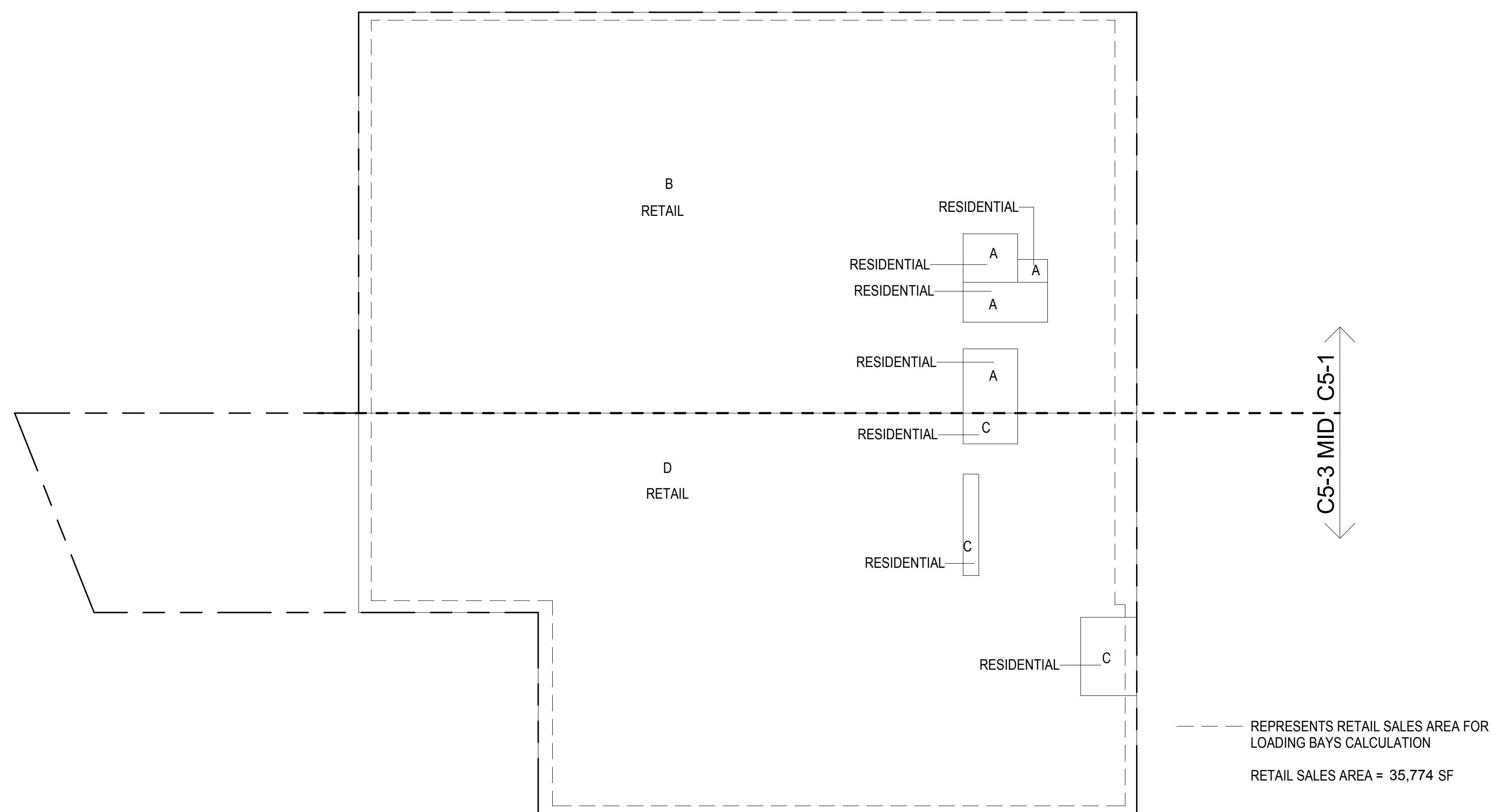
LOT 37			C5-1 ZONE			202 - 206 WEST 58TH STREET, NEW YORK			C5-1 ZONE			C6-6 MID			TOTAL		
FLOOR AREA			ZONE C5-1			ZONE C5-1			ZONE C5-1			ZONE C6-6 MID			TOTAL		
ABOVE GRADE			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
1ST FLOOR	COMMUNITY FACILITY		7,531	33	7,498			0	7,531	33	7,498			0	7,531	33	7,498
2ND FLOOR	COMMUNITY FACILITY		6,028	33	5,995			0	6,028	33	5,995			0	6,028	33	5,995
3RD FLOOR	COMMUNITY FACILITY		6,028	33	5,995			0	6,028	33	5,995			0	6,028	33	5,995
MEZZ	COMMUNITY FACILITY		778	320	458			0	778	320	458			0	778	320	458
4TH FLOOR	COMMUNITY FACILITY		6,028	33	5,995			0	6,028	33	5,995			0	6,028	33	5,995
5TH FLOOR	COMMUNITY FACILITY		5,233	33	5,200			0	5,233	33	5,200			0	5,233	33	5,200
6TH FLOOR	COMMUNITY FACILITY		5,233	33	5,200			0	5,233	33	5,200			0	5,233	33	5,200
7TH FLOOR	COMMUNITY FACILITY		3,733	33	3,700			0	3,733	33	3,700			0	3,733	33	3,700
8TH FLOOR	COMMUNITY FACILITY		3,733	33	3,700			0	3,733	33	3,700			0	3,733	33	3,700
9TH FLOOR	COMMUNITY FACILITY		3,733	33	3,700			0	3,733	33	3,700			0	3,733	33	3,700
10TH FLOOR	COMMUNITY FACILITY		3,733	33	3,700			0	3,733	33	3,700			0	3,733	33	3,700
11TH FLOOR	COMMUNITY FACILITY		3,733	33	3,700			0	3,733	33	3,700			0	3,733	33	3,700
12TH FLOOR	COMMUNITY FACILITY		3,156	33	3,123			0	3,156	33	3,123			0	3,156	33	3,123
13TH FLOOR	COMMUNITY FACILITY		2,914	33	2,881			0	2,914	33	2,881			0	2,914	33	2,881
14TH FLOOR	COMMUNITY FACILITY		2,688	33	2,655			0	2,688	33	2,655			0	2,688	33	2,655
15TH FLOOR	COMMUNITY FACILITY		2,596	-	2,596			0	2,596	-	2,596			0	2,596	-	2,596
			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
ABOVE GRADE TOTAL	COMMUNITY FACILITY		66,768	3,289	63,479		0	0	66,768	3,289	63,479		0	0	66,768	3,289	63,479
	RESIDENTIAL		0	0	0		0	0	0	0	0		0	0	0	0	0
	RETAIL		0	0	0		0	0	0	0	0		0	0	0	0	0
TOTAL GROSS			66,768	3,289	63,479		0	0	66,768	3,289	63,479		0	0	66,768	3,289	63,479

LOT 37 MECHANICAL DEDUCTIONS			
NO.	LENGTH/WIDTH	COUNT	AREA
15TH FLOOR			
L37.1	2'-0" x 2'-0"	14	256
L37.2	1'-11" x 1'-11"	14	52
L37.3	2'-0" x 2'-0"	14	56
L37.4	1'-8" x 1'-8"	14	39
L37.5	2'-0" x 2'-0"	14	56
L37.6	2'-0" x 2'-0"	14	56
L37.7	3'-3" x 3'-3"	14	148
L37.8	5'-0" x 5'-0"	1	25
L37.9	7'-0" x 5'-7"	1	39
LOT 37 OPENINGS TO BELOW			
L37.10	16'-6" x 15'-6"	1	256
TOTAL			3289



2 LOT 37 GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

[illegible]

**3 SUB CELLAR 1 GROSS FLOOR AREA PLAN AND DEDUCTIONS**
3/64" = 1'-0"

SUB CELLAR 1 AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	639	639	0	
RETAIL	B	18,942	18,942	0	
TOTAL		19,581	19,581	0	

SUB CELLAR 1 AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	C	480	480	0	
RETAIL	D	16,832	16,832	0	
TOTAL		17,313	17,313	0	

SUB CELLAR 1 AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	1,120	1,120	0	
RETAIL	B	35,774	35,774	0	
TOTAL		36,894	36,894	0	

SUB CELLAR 1 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	A			639.3
SUBTOTAL					639.3
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	BG	B	82' - 10"	228' - 8"	18,942.0
SUBTOTAL					18,942.0

SUB CELLAR 1 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	C			480.4
SUBTOTAL					480.4
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	BG	D	67' - 4"	249' - 10"	16,832.1
SUBTOTAL					16,832.1

**4 CELLAR GROSS FLOOR AREA PLAN AND DEDUCTIONS**
3/64" = 1'-0"

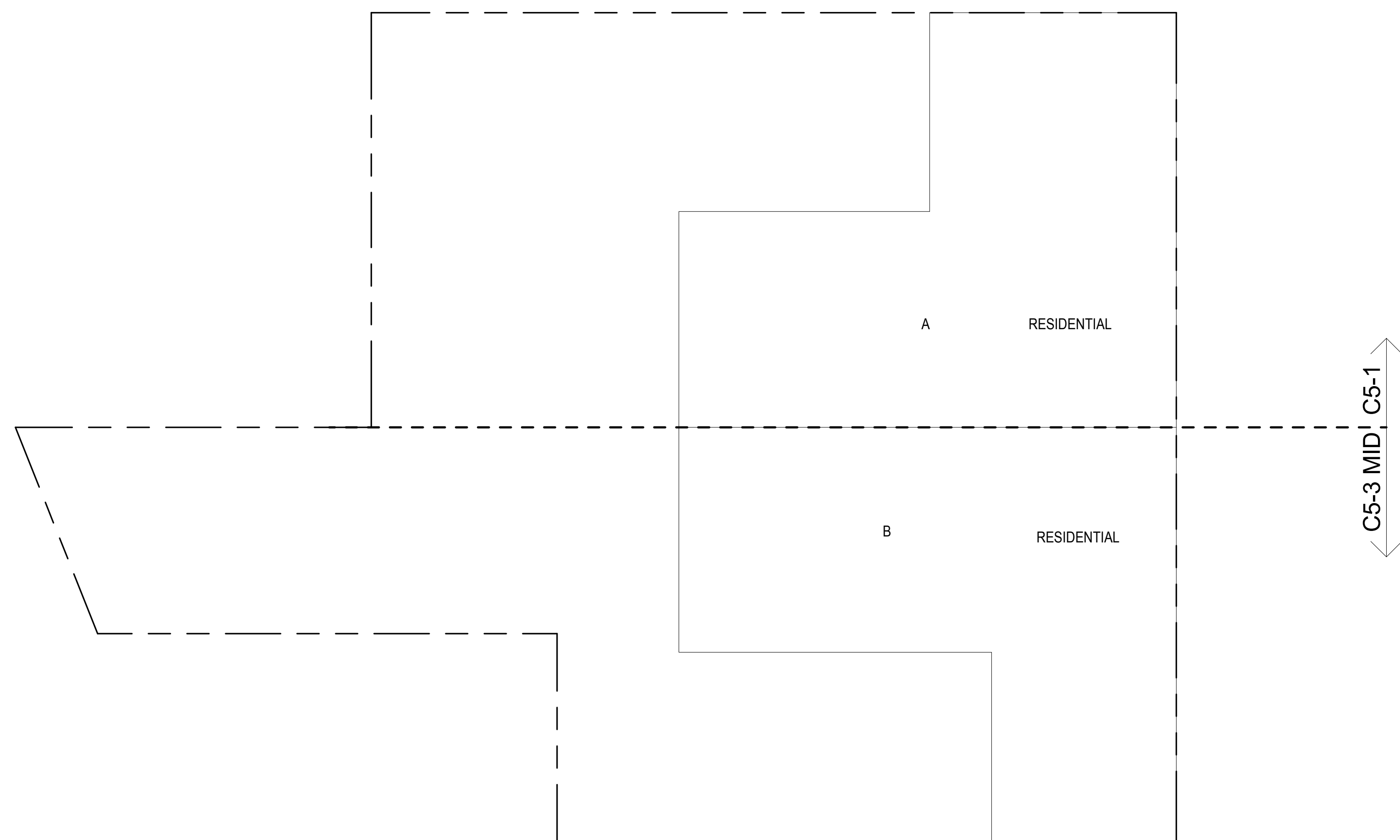
CELLAR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	2,650	2,650	0	
RETAIL	B	16,745	16,745	0	
TOTAL		19,395	19,395	0	

CELLAR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	C	2,538	2,538	0	
RETAIL	D	18,585	18,585	0	
TOTAL		21,123	21,123	0	

CELLAR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	5,188	5,188	0	
RETAIL	B	35,330	35,330	0	
TOTAL		40,518	40,518	0	

CELLAR FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	A			2,650.2
SUBTOTAL					2,650.2
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	BG	B	71' - 2"	235' - 5"	16,744.8
SUBTOTAL					16,744.8

CELLAR FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	C			2,538.1
SUBTOTAL					2,538.1
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	BG	D	60' - 0"	309' - 7"	18,584.9
SUBTOTAL					18,584.9

**1 SUB CELLAR 3 GROSS FLOOR AREA PLAN AND DEDUCTIONS**
3/64" = 1'-0"

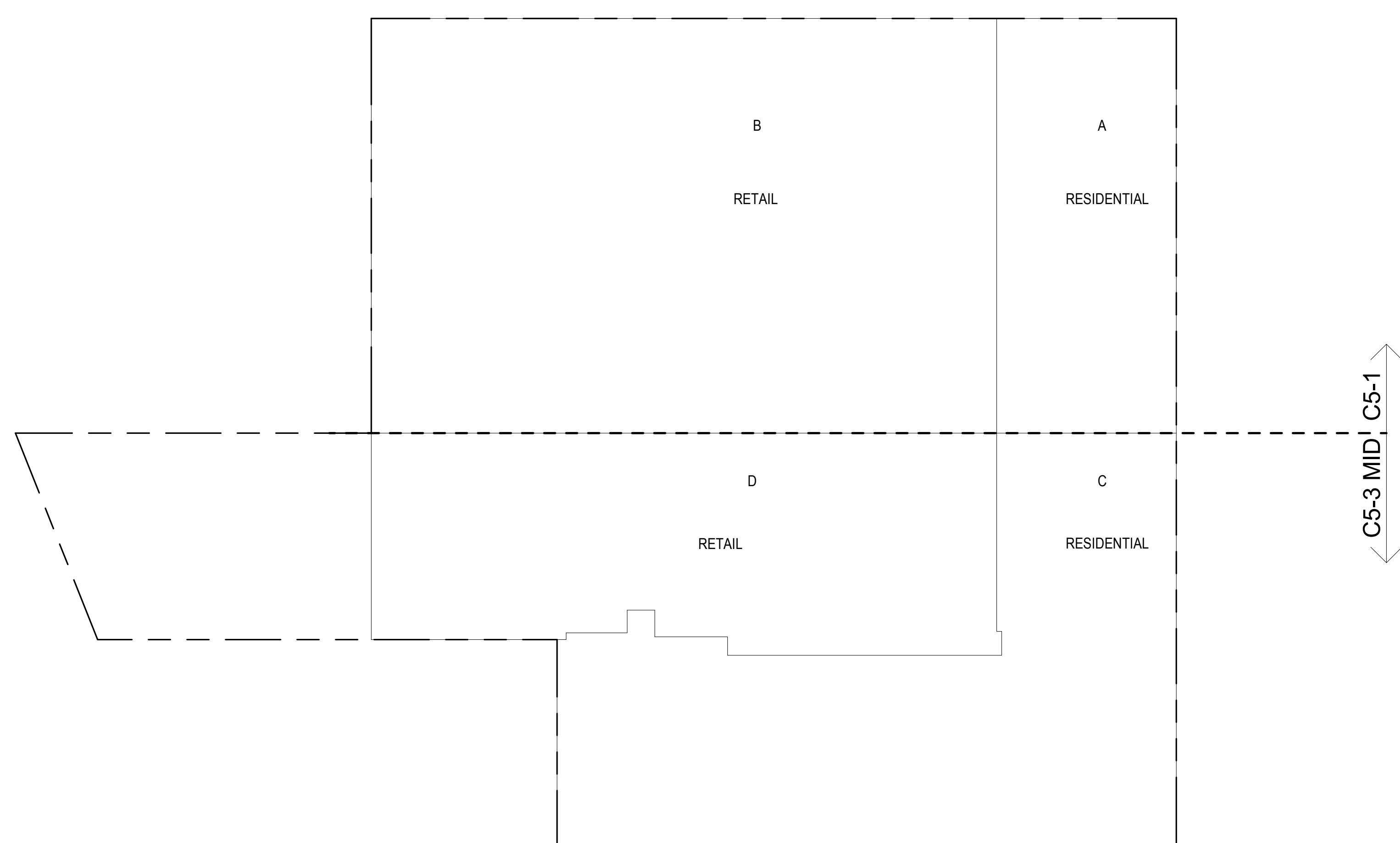
SUB CELLAR 3 AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	9,174	9,174	0	
TOTAL		9,174	9,174	0	

SUB CELLAR 3 AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	8,622	8,622	0	
TOTAL		8,622	8,622	0	

SUB CELLAR 3 AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	17,796	17,796	0	
TOTAL		17,796	17,796	0	

SUB CELLAR 3 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	A	55' - 5"	165' - 6"	9,174.0
SUBTOTAL					9,174.0

SUB CELLAR 3 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	B	50' - 8"	170' - 3"	8,621.9
SUBTOTAL					8,621.9

**2 SUB CELLAR 2 GROSS FLOOR AREA PLAN AND DEDUCTIONS**
3/64" = 1'-0"

SUB CELLAR 2 AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	4,368	4,368	0	
RETAIL	B	15,213	15,213	0	
TOTAL		19,581	19,581	0	

SUB CELLAR 2 AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	C	9,566	9,566	0	
RETAIL	D	7,747	7,747	0	
TOTAL		17,313	17,313	0	

SUB CELLAR 2 AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	13,934	13,934	0	
RETAIL	B	22,960	22,960	0	
TOTAL		36,894	36,894	0	

SUB CELLAR 2 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	A	43' - 6"	100' - 5"	4,368.0
SUBTOTAL					4,368.0
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	BG	B	100' - 5"	151' - 6"	15,213.2
SUBTOTAL					15,213.2

SUB CELLAR 2 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	BG	C	43' - 8"	218' - 10"	9,565.7
SUBTOTAL					9,565.7
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	BG	D	46' - 3"	167' - 4"	7,746.8
SUBTOTAL					7,746.8

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

KEY PLAN:

PROJECT 005 - WEST 57TH ST

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 620 1888 FAX: 312 920 1775

ARCHITECT OF RECORD:

Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SENUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

A.J.P. Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 6659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION: DATE:

1 D.O.B. SUBMISSION 05 DEC 14

2 D.O.B. SUBMISSION 18 FEB 15

D.O.B. SUBMISSION 27 APR 15

0 10' - 8" 21' - 4" 42' - 8"

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



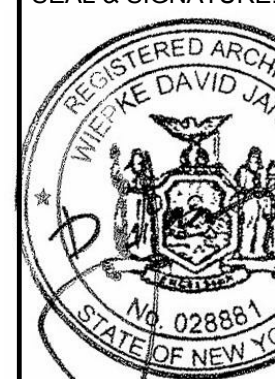
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS
SUBCELLARS, 2, 1, CELLAR

SEAL & SIGNATURE:



DATE: 05 DEC 14

PROJECT No: 1216-00

DRAWN: Author

CHECK: Checker

SCALE: 3/64" = 1'-0"

DWG No:

Z-008.00

DOB PAGE No: 9 of 950

DOB EMPLOYEE STAMP:

DOB B-SCAN:

GROUND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	3,862	77	3,785	
RETAIL	B	15,720	2,729	12,990	
TOTAL		19,581	2,806	16,775	

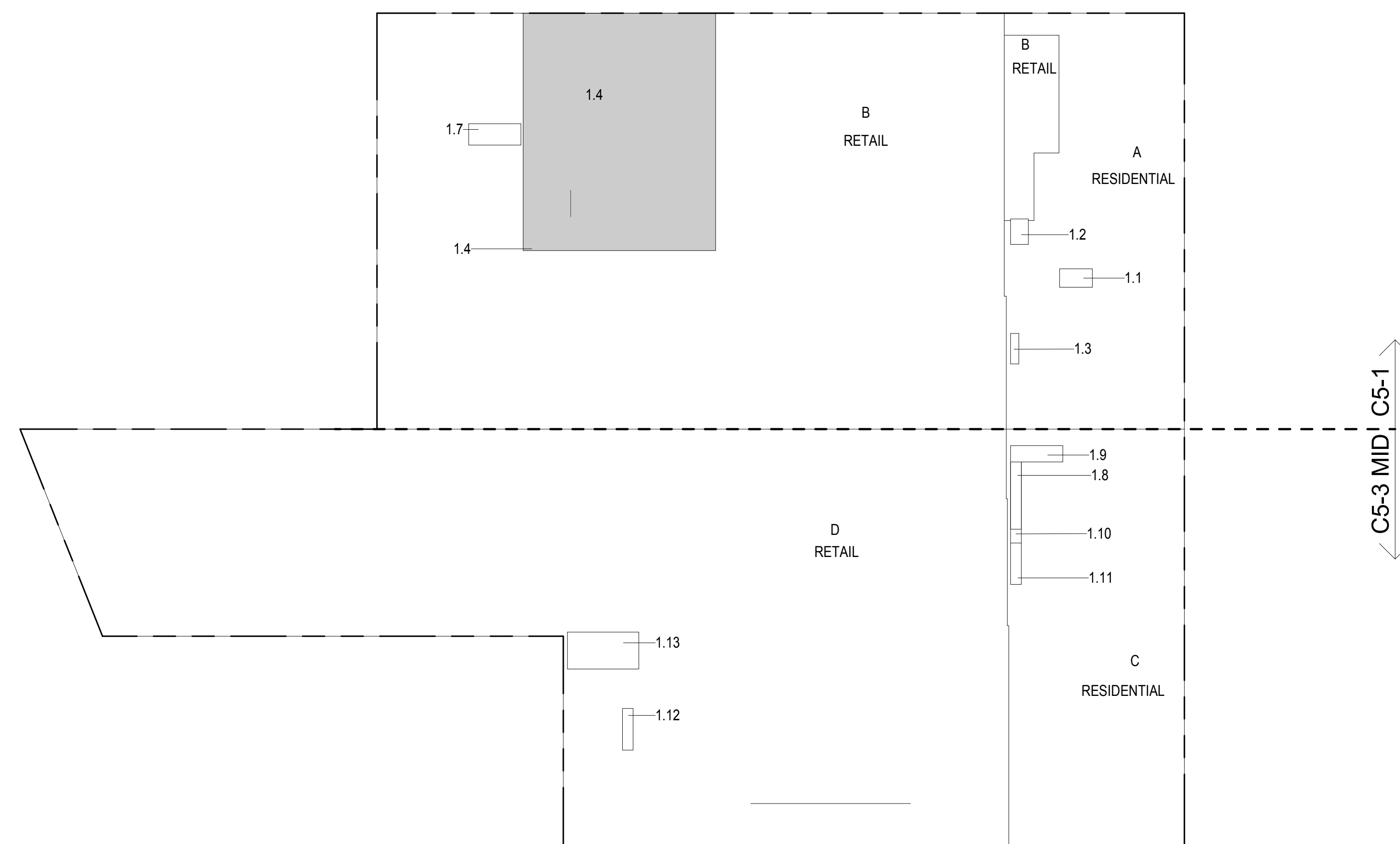
GROUND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	1.1	4'-5"	7'-11"	35.2
RESIDENTIAL	M	1.2	4'-4"	6'-2"	26.7
RESIDENTIAL	P	1.3	2'-0"	7'-4"	14.7
SUBTOTAL					76.6
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	L*	1.4	46'-6"	57'-4"	2,664.0
RETAIL	M	1.7	5'-2"	12'-8"	65.2
SUBTOTAL					2,729.2

* PERMITTED FLOOR AREA DEDUCTION FOR REQUIRED LOADING BERTHS: 200% OF 12 X 37' X 3 NOS. = 2,664 SF

GROUND FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	C	4,279	127	4,153	
RETAIL	D	16,844	180	16,663	
TOTAL		21,123	307	20,816	

GROUND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	1.8	2'-7"	16'-3"	42.3
RESIDENTIAL	M	1.9	3'-11"	12'-8"	49.8
RESIDENTIAL	M	1.10	2'-7"	3'-4"	8.7
RESIDENTIAL	P	1.11	2'-7"	10'-0"	26.0
SUBTOTAL					126.7
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	M	1.12	2'-7"	10'-1"	25.8
RETAIL	M	1.13	8'-11"	17'-3"	154.4
SUBTOTAL					180.2

GROUND FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,141	203	7,938	
RETAIL		32,563	2,909	29,654	
TOTAL		40,704	3,113	37,591	



ZONING AND DEDUCT LEGEND	
<input type="checkbox"/>	DEDUCTIONS
M -	MECHANICAL ROOM / RISER
E -	ELECTRICAL SHAFT / RISER
P -	PLUMBING RISER
BG -	BELOW GRADE
O -	OPENING TO BELOW
L -	LOADING BAYS
ST -	44\"/>

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

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*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

GROUND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

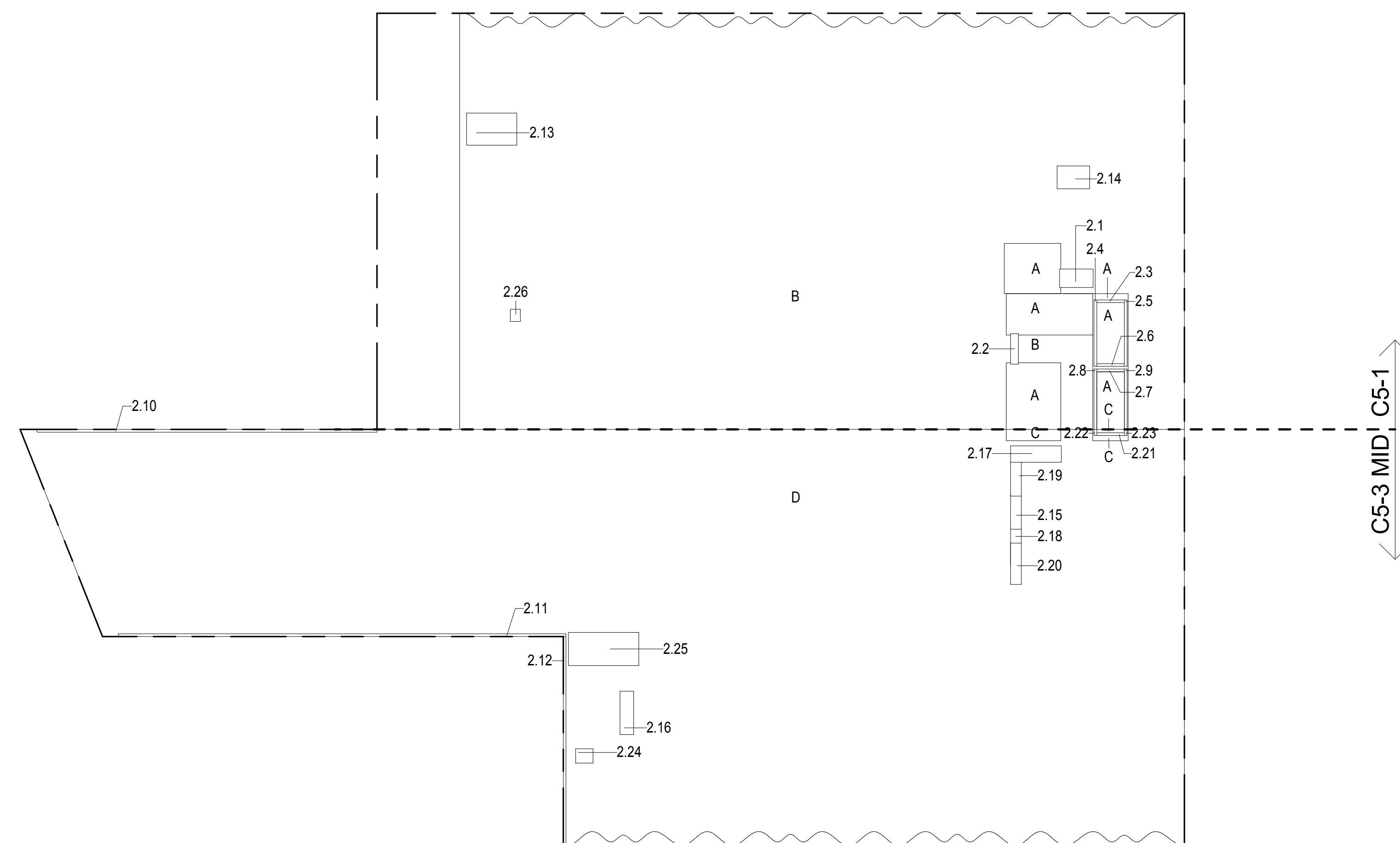
2ND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	913	104	809	
RETAIL	B	16,505	305	16,200	
TOTAL		17,418	409	17,009	

2ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	2.1	4'-5"	8'-2"	36.1
RESIDENTIAL	P	2.2	1'-11"	7'-4"	13.8
RESIDENTIAL	ST	2.3	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	2.4	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	2.5	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	2.6	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	2.7	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	2.8	0'-8"	14'-7"	9.7
RESIDENTIAL	ST	2.9	0'-8"	14'-7"	9.7
SUBTOTAL					104.1
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	G	2.10	0'-8"	82'-2"	54.8
RETAIL	G	2.11	0'-8"	108'-1"	72.0
RETAIL	G	2.12	0'-8"	50'-1"	33.6
RETAIL	M	2.13	7'-9"	12'-2"	94.0
RETAIL	M	2.14	5'-6"	7'-10"	43.2
RETAIL	M	2.26	2'-5"	2'-11"	7.0
SUBTOTAL					304.7

2ND FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	C	219	166	53	
RETAIL	D	20,478	150	20,327	
TOTAL		20,697	317	20,380	

2ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	2.15	2'-7"	8'-0"	20.8
RESIDENTIAL	E	2.16	3'-3"	10'-5"	34.5
RESIDENTIAL	M	2.17	3'-11"	12'-3"	48.3
RESIDENTIAL	M	2.18	2'-7"	3'-4"	8.7
RESIDENTIAL	M	2.19	2'-7"	8'-1"	21.3
RESIDENTIAL	P	2.20	2'-7"	10'-0"	26.0
RESIDENTIAL	ST	2.21	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	2.22	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	2.23	0'-8"	1'-6"	1.0
SUBTOTAL					166.1
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	M	2.24	3'-6"	4'-2"	14.5
RETAIL	M	2.25	8'-0"	17'-0"	136.0
SUBTOTAL					150.5

2ND FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,133	270	862	
RETAIL		36,982	455	36,527	
TOTAL		38,115	725	37,390	



2ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

3RD FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	930	121	809	
RETAIL	B	16,476	378	16,098	
TOTAL		17,406	499	16,907	

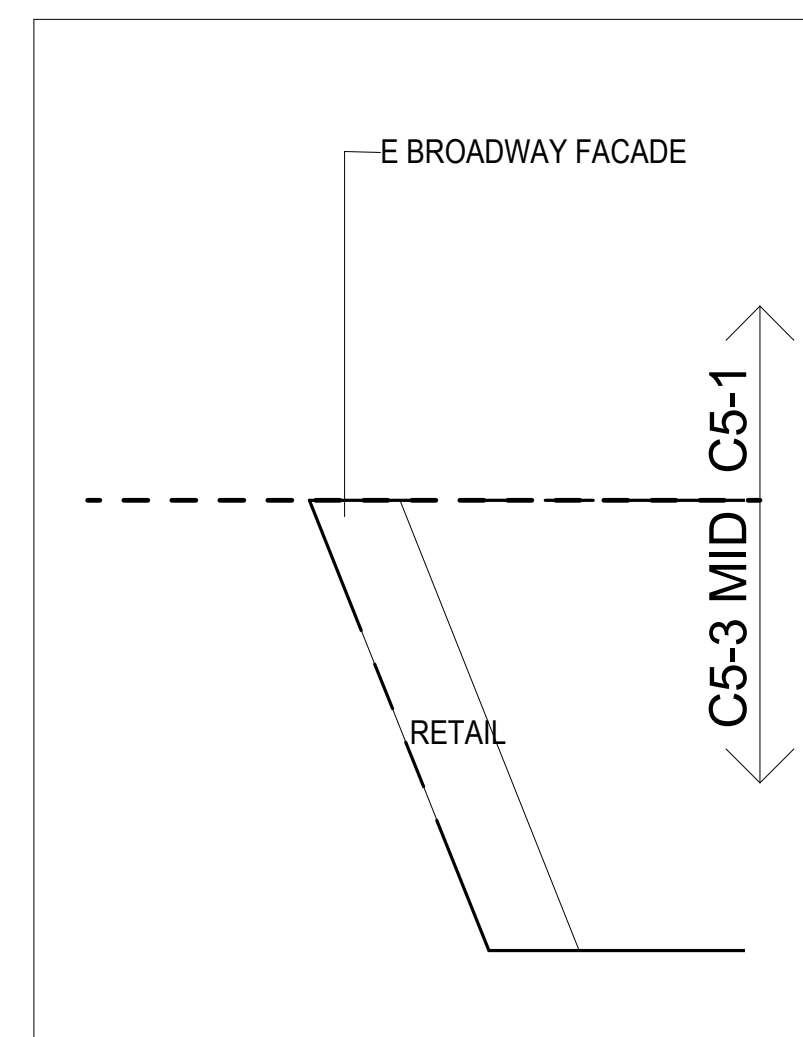
3RD FLOOR FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	3.1	4'-5"	8'-2"	36.1
RESIDENTIAL	P	3.2	1'-9"	7'-4"	13.0
RESIDENTIAL	ST	3.3	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	3.4	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	3.5	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	3.6	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	3.7	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	3.8	0'-8"	14'-7"	9.7
RESIDENTIAL	ST	3.9	0'-8"	14'-7"	9.7
RESIDENTIAL	P	3.30	1'-6"	11'-9"	17.3
SUBTOTAL					120.3
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	G	3.10	0'-7"	82'-2"	51.3
RETAIL	G	3.11	0'-8"	107'-11"	71.9
RETAIL	G	3.12	0'-6"	50'-2"	26.2
RETAIL	M	3.13	7'-9"	11'-8"	90.1
RETAIL	M	3.14	4'-4"	10'-6"	45.2
RETAIL	M	3.25	2'-5"	2'-11"	7.0
RETAIL	M	3.28	2'-10"	5'-9"	16.2
RETAIL	M	3.29	8'-0"	8'-10"	71.1
SUBTOTAL					378.1

3RD FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	C	389	345	53	
RETAIL	D	20,311	49	20,262	
TOTAL		20,700	393	20,316	

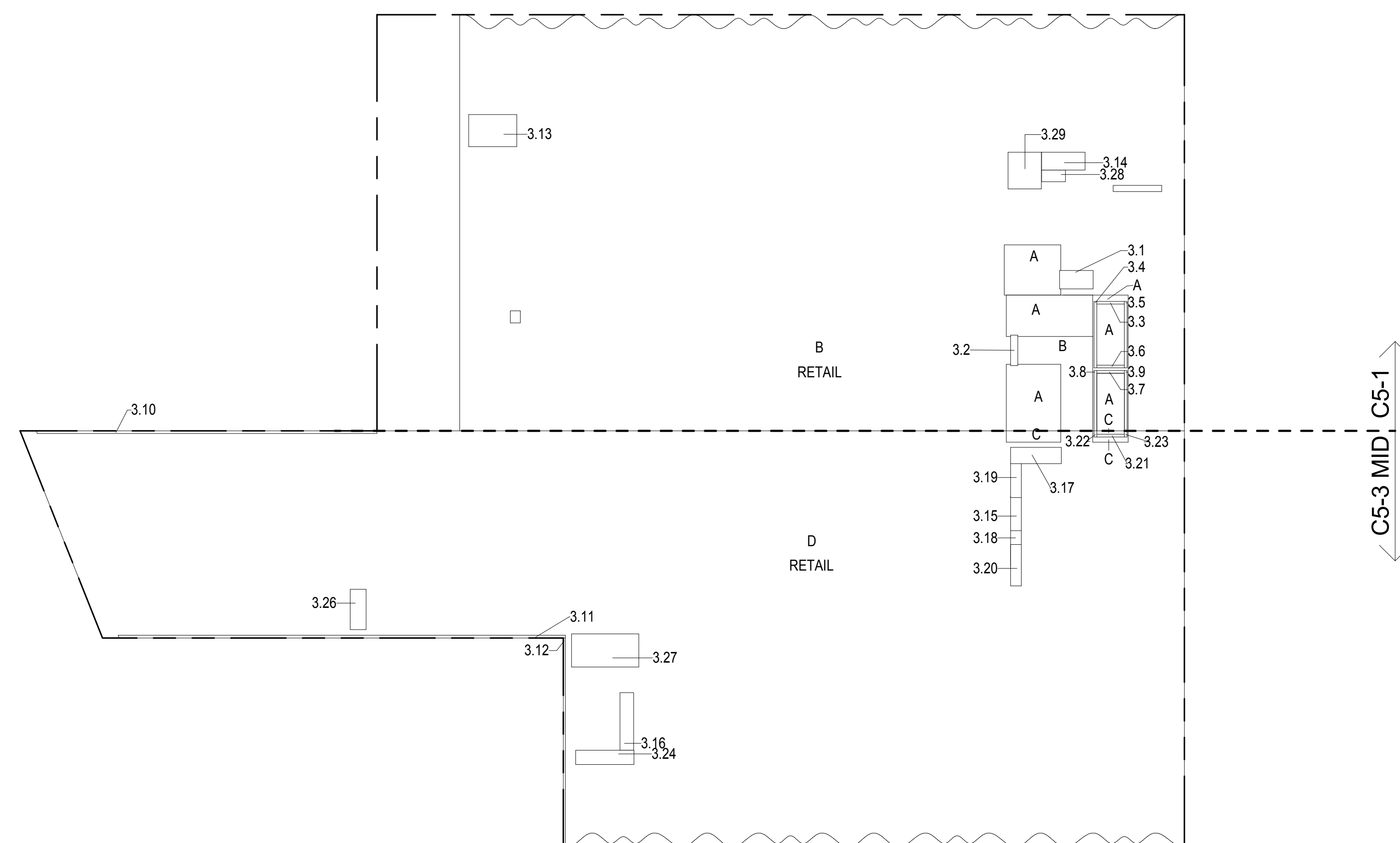
3RD FLOOR FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	3.15	2'-7"	8'-0"	20.8
RESIDENTIAL	E	3.16	3'-3"	13'-11"	45.7
RESIDENTIAL	M	3.17	3'-11"	12'-3"	48.3
RESIDENTIAL	M	3.18	2'-7"	3'-4"	8.7
RESIDENTIAL	M	3.19	2'-7"	8'-1"	21.3
RESIDENTIAL	P	3.20	2'-7"	10'-0"	26.0
RESIDENTIAL	ST	3.21	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	3.22	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	3.23	0'-8"	1'-6"	1.0
RESIDENTIAL	M	3.26	3'-10"	9'-9"	37.4
RESIDENTIAL	M	3.27	8'-0"	16'-3"	130.0
SUBTOTAL					344.7
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	M	3.24	3'-6"	14'-1"	49.7
SUBTOTAL					48.7

3RD FLOOR BROADWAY FACADE AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RETAIL	E	502	0	502	
TOTAL		502	0	502	

3RD FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,328	465	863	
RETAIL		37,290	427	36,863	
TOTAL		38,617	892	37,725	



3RD FLOOR BROADWAY FACADE GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"



3RD FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

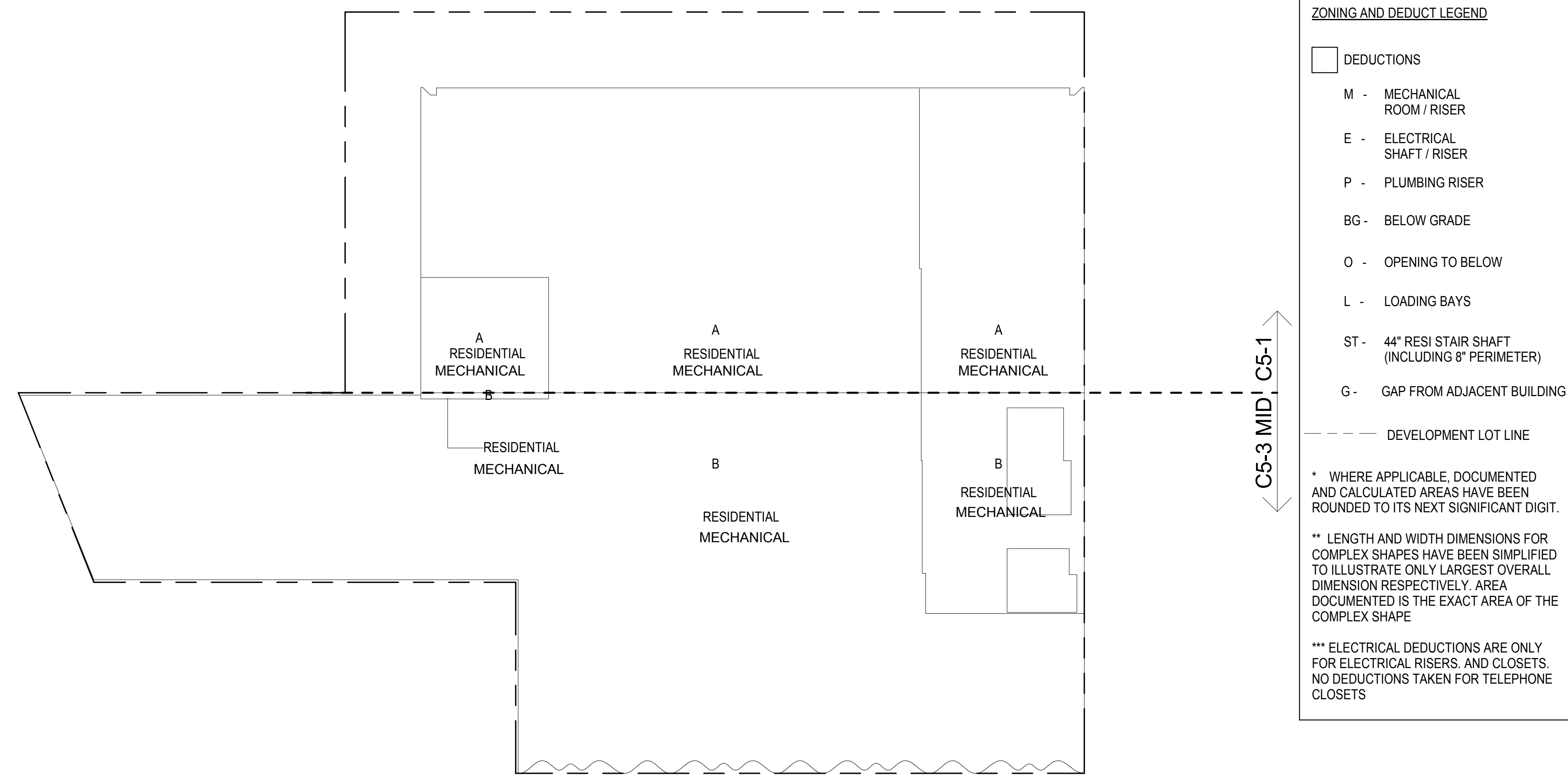
7TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	14,064	14,064	0
TOTAL		14,064	14,064	0

7TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	20,674	19,931	743
TOTAL		20,674	19,931	743

7TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		34,738	33,995	743
TOTAL		34,738	33,995	743

7TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	7.1	63'- 9"	150'- 0"	9,561.9
RESIDENTIAL	M	7.2	41'- 7"	83'- 7"	3,477.7
RESIDENTIAL	M	7.3	30'- 5"	33'- 8"	1,024.5
SUBTOTAL					14,064.2

7TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	7.4	54'- 9"	331'- 2"	18,132.4
RESIDENTIAL	M	7.5	22'- 0"	79'- 2"	1,742.4
RESIDENTIAL	M	7.6	1'- 8"	33'- 8"	55.6
SUBTOTAL					19,930.4

7TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 1

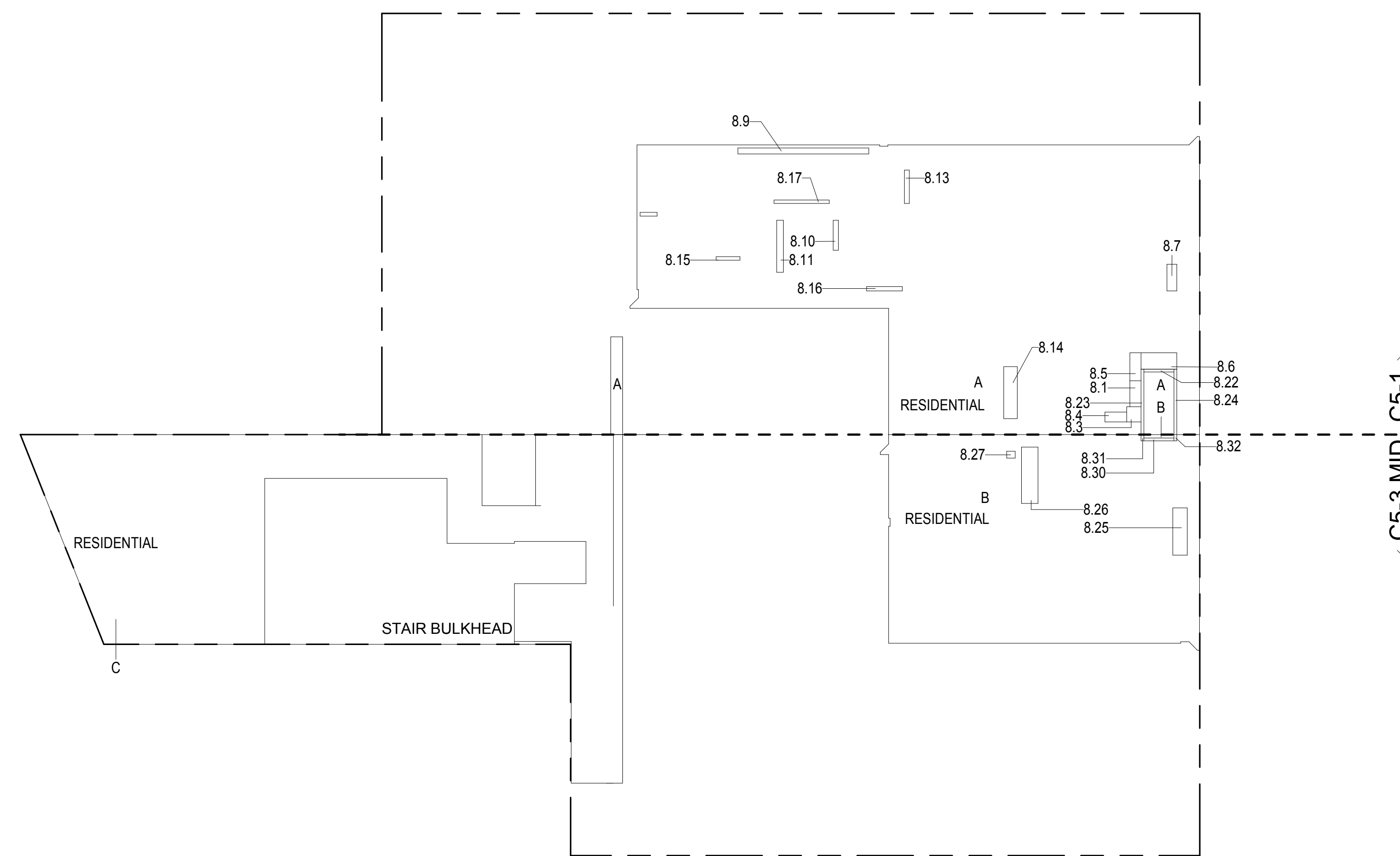
8TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,528	284	7,243
TOTAL		7,528	284	7,243

8TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	3,690	102	3,588
RESIDENTIAL	C	4,587	0	4,587
TOTAL		8,276	102	8,174

8TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		15,804	386	15,418
TOTAL		15,804	386	15,418

8TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	8.1	2'-8"	6'-2"	16.7
RESIDENTIAL	M	8.3	3'-5"	3'-8"	12.5
RESIDENTIAL	P	8.4	2'-4"	5'-2"	12.3
RESIDENTIAL	P	8.5	2'-8"	6'-8"	17.9
RESIDENTIAL	P	8.6	3'-11"	8'-6"	33.3
RESIDENTIAL	P	8.7	2'-4"	6'-5"	14.9
RESIDENTIAL	P	8.9	1'-5"	31'-2"	44.8
RESIDENTIAL	P	8.10	1'-3"	7'-2"	8.9
RESIDENTIAL	P	8.11	1'-7"	12'-5"	19.9
RESIDENTIAL	P	8.13	1'-2"	7'-11"	9.4
RESIDENTIAL	P	8.14	3'-3"	12'-5"	40.3
RESIDENTIAL	P	8.15	0'-10"	5'-8"	4.9
RESIDENTIAL	P	8.16	1'-0"	8'-6"	8.5
RESIDENTIAL	P	8.17	0'-10"	13'-3"	11.1
RESIDENTIAL	P	8.18	0'-11"	4'-1"	3.7
RESIDENTIAL	ST	8.22	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	8.23	0'-8"	15'-7"	10.4
RESIDENTIAL	ST	8.24	0'-8"	15'-7"	10.4
SUBTOTAL					284.4

8TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	8.25	3'-5"	11'-3"	38.6
RESIDENTIAL	M	8.26	3'-11"	13'-5"	52.9
RESIDENTIAL	M	8.27	1'-7"	2'-1"	3.3
RESIDENTIAL	ST	8.30	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	8.31	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	8.32	0'-8"	1'-6"	1.0
SUBTOTAL					101.6

8TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 2

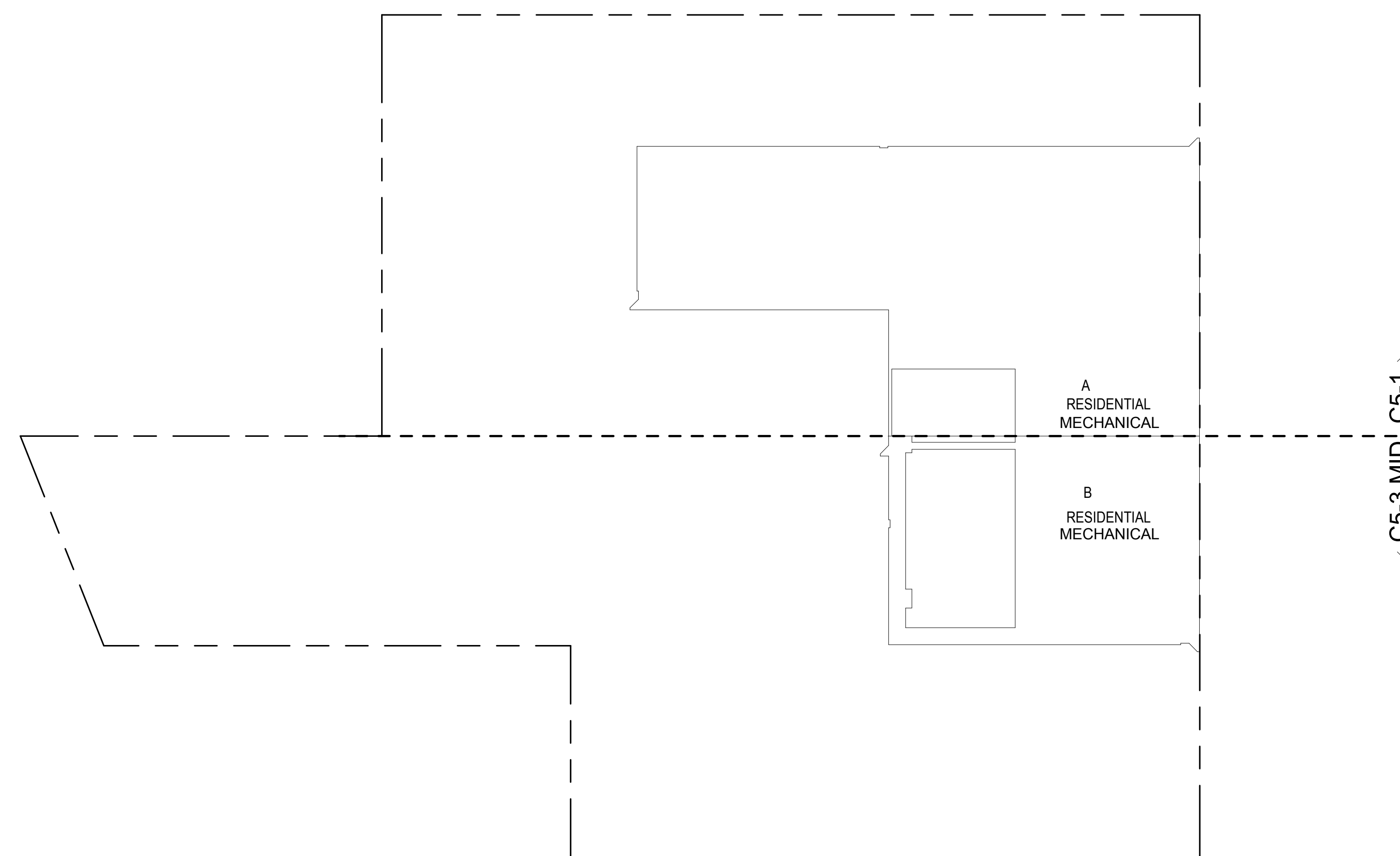
9TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,462	7,462	0
TOTAL		7,462	7,462	0

9TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	3,690	3,690	0
TOTAL		3,690	3,690	0

9TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		11,151	11,151	0
TOTAL		11,151	11,151	0

9TH FLOOR FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	9.1	37' - 11"	184' - 4"	6,990.
RESIDENTIAL	O	9.2	16' - 0"	29' - 5"	471.
SUBTOTAL					7,461.

9TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	9.3	24'- 6"	103'- 11"	2,549.2
RESIDENTIAL	O	9.4	23'- 10"	46'- 4"	1,103.4
RESIDENTIAL	O	9.5	1'- 6"	24'- 8"	36.9
SUBTOTAL					3,689.5

9TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 3

ZONING AND DEDUCT LEGEND

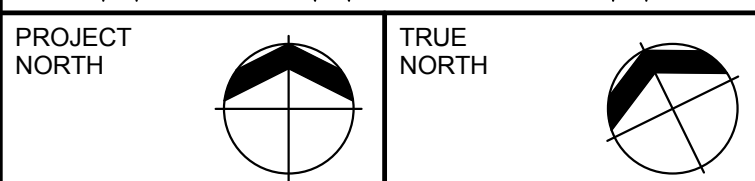
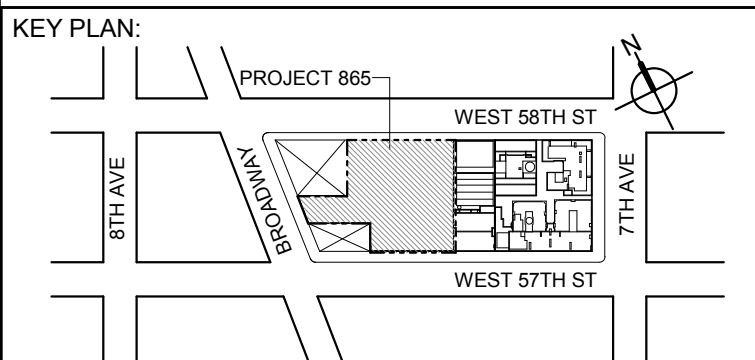
DEDUCTIONS

- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



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805 THIRD AVENUE, 7TH FLOOR
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12th
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

0 10' - 8" 21' - 4" 42' - 8"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
7TH, 8TH, 9TH FLOOR

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
DWG No:	SCALE: 3/64" = 1'-0"	
	Z-011.00	
DOB PAGE No: 12 of 600		

DOB EMPLOYEE STAMP: DOB B-SCAN:

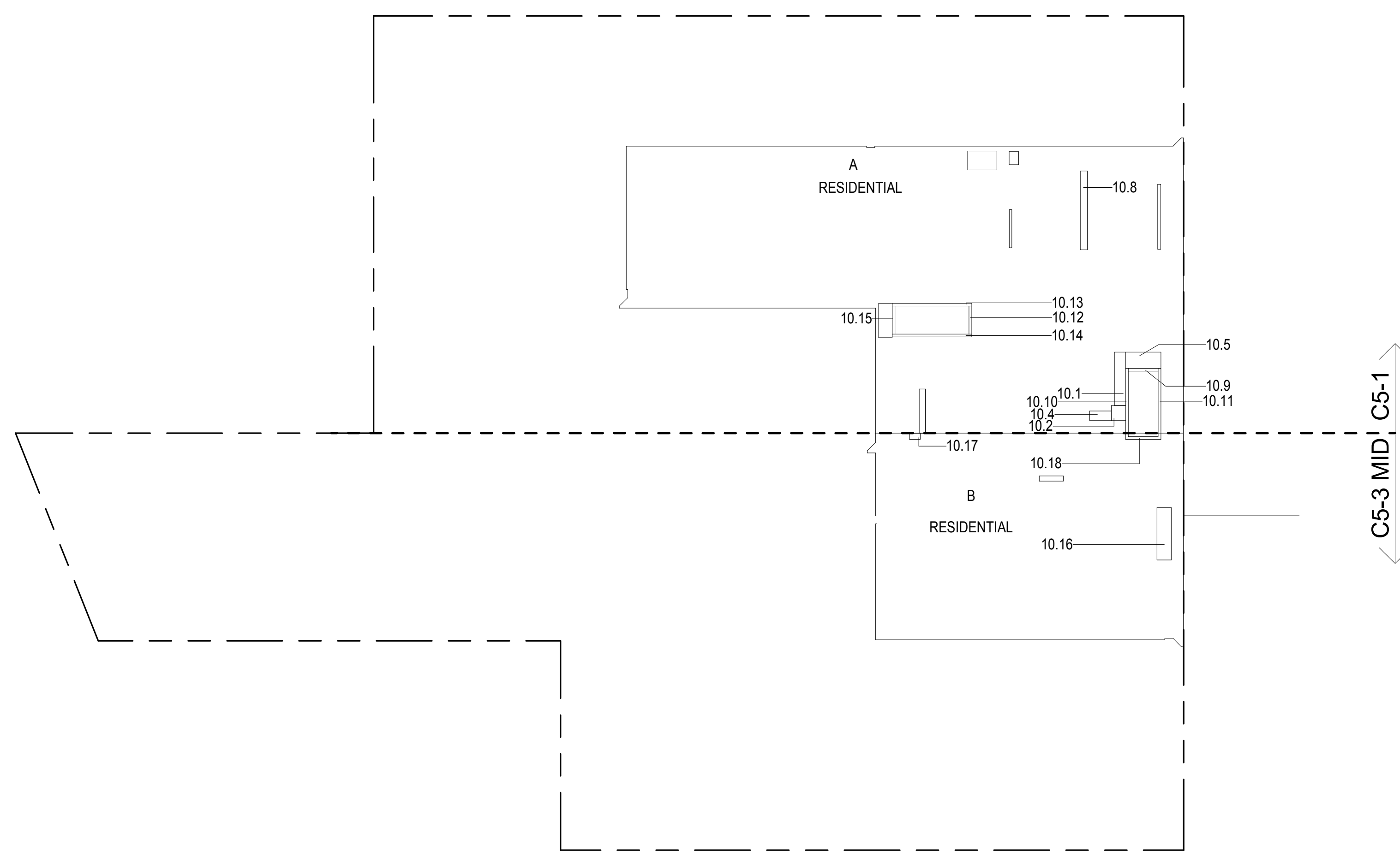
10TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,462	284	7,178
TOTAL		7,462	284	7,178

10TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	10.1	2'-8"	12'-11"	34.3
RESIDENTIAL	M	10.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	10.3	4'-7"	7'-0"	32.1
RESIDENTIAL	P	10.4	2'-4"	5'-3"	12.2
RESIDENTIAL	P	10.5	4'-0"	6'-4"	33.3
RESIDENTIAL	P	10.8	1'-8"	19'-0"	32.0
RESIDENTIAL	ST	10.9	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	10.10	0'-8"	15'-7"	10.4
RESIDENTIAL	ST	10.11	0'-8"	15'-7"	10.4
RESIDENTIAL	ST	10.12	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	10.13	0'-8"	19'-2"	12.8
RESIDENTIAL	ST	10.14	0'-8"	19'-2"	12.8
RESIDENTIAL	ST	10.15	0'-8"	6'-9"	4.5
RESIDENTIAL	M	10.19	2'-4"	3'-2"	7.2
RESIDENTIAL	M	10.20	3'-3"	8'-3"	27.1
RESIDENTIAL	P	10.21	0'-7"	9'-2"	5.5
RESIDENTIAL	P	10.22	0'-9"	15'-8"	11.5
RESIDENTIAL	P	10.23	1'-6"	10'-8"	16.1
SUBTOTAL					283.8

10TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	3,690	61	3,628
TOTAL		3,690	61	3,628

10TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.16	3'-5"	12'-7"	43
RESIDENTIAL	M	10.17	1'-6"	2'-7"	3
RESIDENTIAL	ST	10.18	0'-8"	10'-2"	6
RESIDENTIAL	P	10.24	1'-3"	5'-9"	7
SUBTOTAL					61

10TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		11,151	345	10,806
TOTAL		11,151	345	10,806

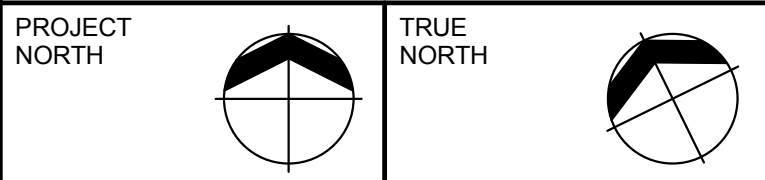
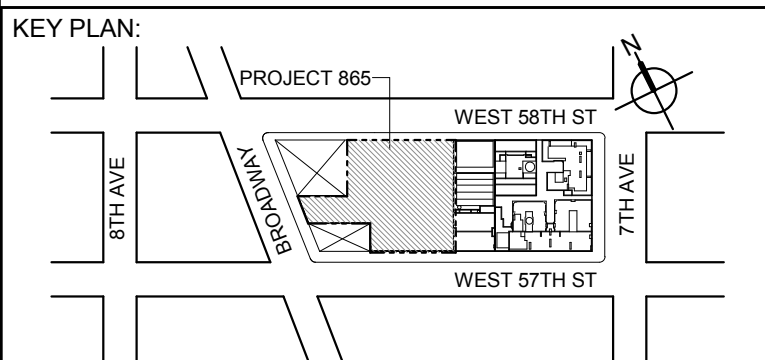


10TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

1

- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



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No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

0 10'-8" 21'-4" 42'-8"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
10TH, 10A, 11TH, 12TH FLOOR

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: 3/64" = 1'-0"	
	DWG No:	
	Z-012.00	
	DOB PAGE No: 13 of 600	
	DOB EMPLOYEE STAMP:	DOB B-SCAN:

CD PROGRESS ISSUE 1

12TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	9,396	4,078	5,318
TOTAL		9,396	4,078	5,318

12TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	12.1	2'-7"	4'-7"	11.6
RESIDENTIAL	ST	12.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	12.3	3'-2"	9'-6"	30.1
RESIDENTIAL	M	12.4	2'-9"	4'-7"	12.4
RESIDENTIAL	M	12.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	12.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	12.7	0'-8"	12'-1"	8.0
RESIDENTIAL	E	12.8	4'-10"	8'-8"	41.8
RESIDENTIAL	M	12.9	4'-11"	3'-11"	3.4
RESIDENTIAL	M	12.10	1'-3"	1'-3"	1.6
RESIDENTIAL	M	12.11	2'-5"	4'-0"	9.5
RESIDENTIAL	M	12.12	4'-2"	7'-11"	32.8
RESIDENTIAL	M	12.13	4'-5"	4'-8"	20.7
RESIDENTIAL	M	12.14	3'-0"	4'-11"	14.8
RESIDENTIAL	M	12.15	1'-6"	3'-2"	4.8
RESIDENTIAL	M	12.16	2'-1"	3'-2"	6.6
RESIDENTIAL	O	12.17	24'-0"	28'-9"	689.8
RESIDENTIAL	ST	12.18	0'-9"	8'-11"	5.9
RESIDENTIAL	ST	12.19	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	12.20	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	12.21	0'-8"	16'-5"	11.0
RESIDENTIAL	M	12.22	0'-5"	0'-8"	0.3
RESIDENTIAL	P	12.23	1'-6"	3'-1"	4.8
RESIDENTIAL	M	12.24	4'-6"	7'-8"	34.7
RESIDENTIAL	M	12.25	1'-3"	2'-1"	2.7
RESIDENTIAL	M	12.26	0'-11"	2'-6"	2.3
SUBTOTAL					

12TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	4,243	1,389	2,854
TOTAL		4,243	1,389	2,854

12TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	12.27	1'-5"	3'-5"	4.8
RESIDENTIAL	M	12.28	3'-4"	8'-6"	28.0
RESIDENTIAL	P	12.29	0'-11"	11'-4"	10.4
RESIDENTIAL	P	12.30	0'-7"	10'-0"	5.6
RESIDENTIAL	O	12.31	19'-9"	39'-3"	776.3
RESIDENTIAL	P	12.32	0'-11"	6'-2"	5.5
RESIDENTIAL	P	12.33	0'-10"	7'-5"	6.2
RESIDENTIAL	P	12.34	1'-0"	4'-7"	4.6
RESIDENTIAL	P	12.35	1'-0"	6'-2"	6.1
RESIDENTIAL	P	12.36	1'-0"	6'-0"	6.0
RESIDENTIAL	E	12.37	1'-5"	4'-7"	6.6
RESIDENTIAL	M	12.38	1'-6"	2'-1"	3.2
RESIDENTIAL	O	12.39	24'-11"	43'-9"	1,091.2
RESIDENTIAL	O	12.40	15'-1"	25'-9"	388.1
RESIDENTIAL	P	12.41	0'-9"	3'-0"	2.2
RESIDENTIAL	O	12.42	23'-3"	31'-11"	743.1
SUBTOTAL					4,078.0

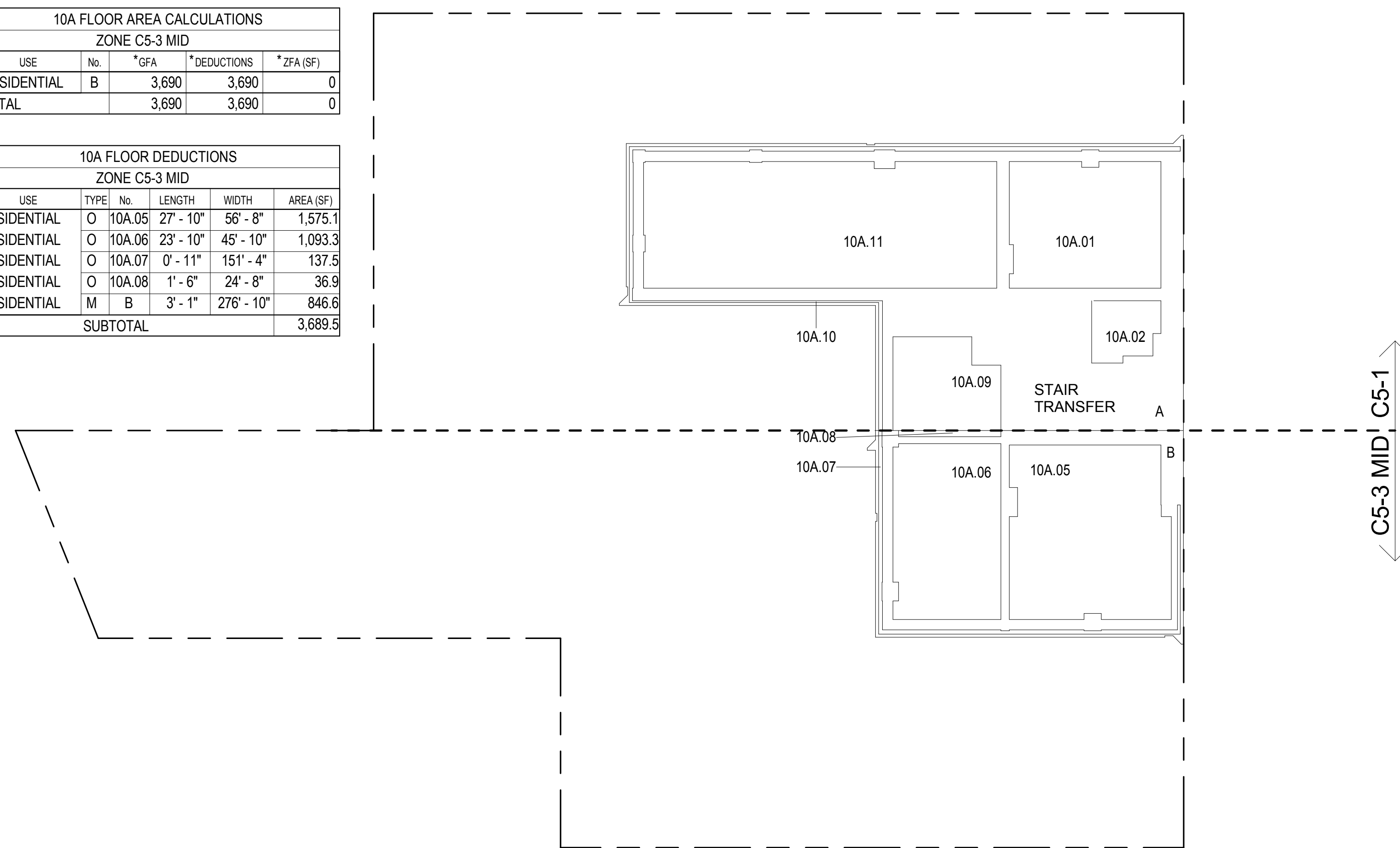
12TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		13,640	5,467	8,172
TOTAL		13,640	5,467	8,172

12TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	12.43	0'-8"	1'-6"	1.0
RESIDENTIAL	M	12.44	2'-7"	3'-8"	9.5
RESIDENTIAL	M	12.45	0'-3"	0'-10"	0.2
RESIDENTIAL	M	12.46	4'-5"	4'-10"	21.4
RESIDENTIAL	M	12.47	1'-8"	2'-6"	4.2
RESIDENTIAL	M	12.48	1'-5"	2'-5"	3.4
RESIDENTIAL	M	12.49	4'-7"	6'-1"	27.7
RESIDENTIAL	M	12.50	2'-8"	6'-9"	17.8
RESIDENTIAL	M	12.51	1'-10"	2'-6"	4.5
RESIDENTIAL	P	12.52	0'-10"	3'-2"	2.6
RESIDENTIAL	M	12.53	2'-8"	6'-2"	16.2
RESIDENTIAL	P	12.54	1'-0"	4'-7"	4.6
RESIDENTIAL	P	12.55	0'-9"	3'-0"	2.2
RESIDENTIAL	P	12.56	1'-0"	2'-11"	2.9
RESIDENTIAL	P	12.57	1'-0"	6'-10"	6.8
RESIDENTIAL	P	12.58	0'-9"	4'-0"	2.9
RESIDENTIAL	P	12.59	1'-0"	6'-3"	6.3
RESIDENTIAL	P	12.60	0'-11"	4'-10"	4.3
RESIDENTIAL	P	12.61	1'-0"	4'-9"	4.9
RESIDENTIAL	M	12.62	1'-7"	2'-4"	3.7
RESIDENTIAL	O	12.63	24'-1"	48'-4"	1,163.7
RESIDENTIAL	O	12.64	1'-6"	24'-0"	35.9
RESIDENTIAL	O	12.65	1'-6"	24'-7"	36.9
RESIDENTIAL	ST	12.66	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	12.67	0'-8"	7'-2"	4.8
SUBTOTAL					1,389.4

12TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

4



10A FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

2

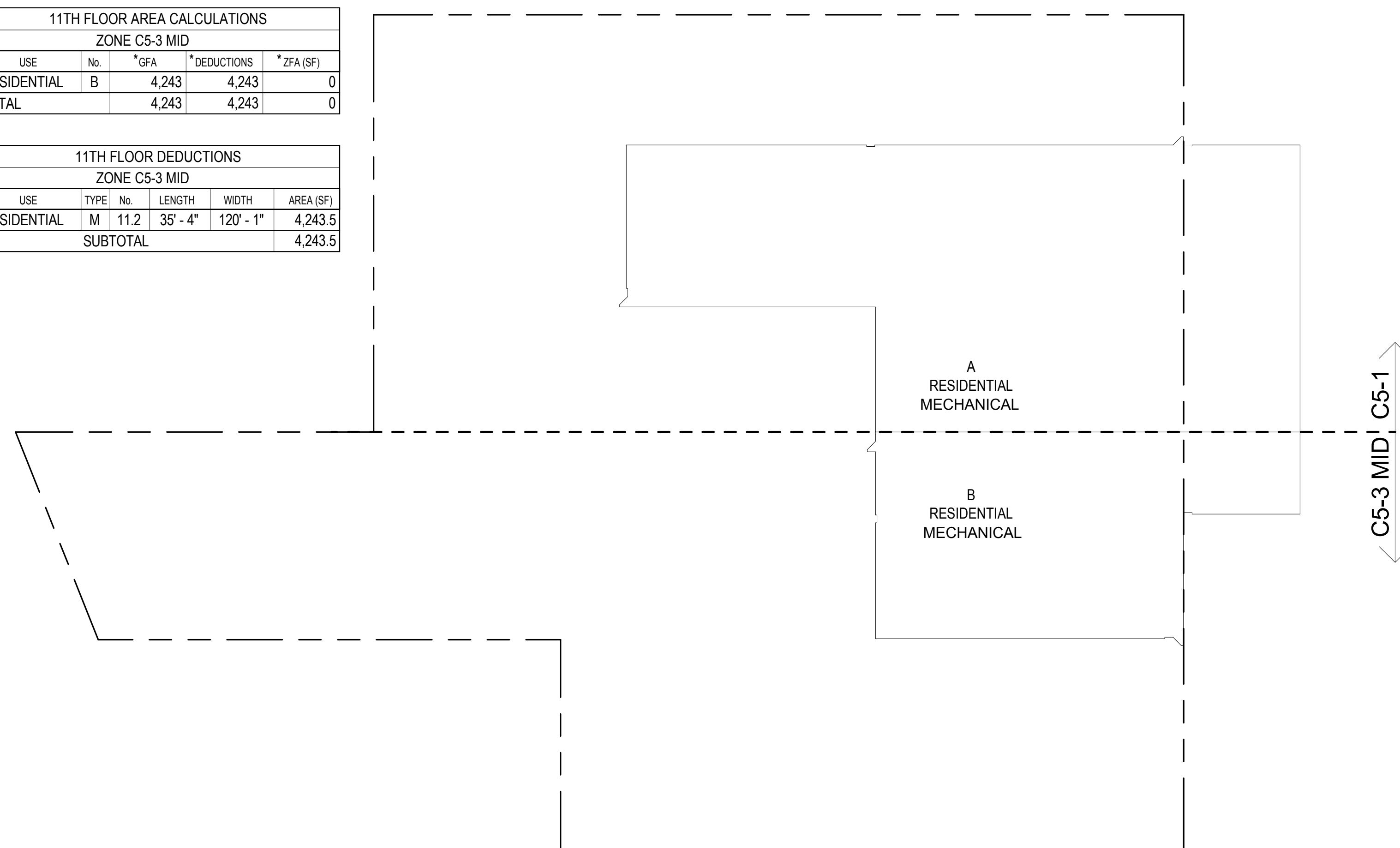
11TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	9,401	9,401	0
TOTAL		9,401	9,401	0

11TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		13,645	13,645	0
TOTAL		13,645	13,645	0

11TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	11.1	51' - 3"	183' - 5"	9,401.3
SUBTOTAL					9,401.3

11TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	4,243	4,243	0
TOTAL		4,243	4,243	0

11TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
SIDENTIAL	M	11.2	35' - 4"	120' - 1"	4,243.5
SUBTOTAL					4,243.5



11TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

3

13TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	681	8,721
TOTAL		9,401	681	8,721

13TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	13.1	2'-6"	4'-7"	11.6
RESIDENTIAL	E	13.2	5'-0"	8'-10"	43.7
RESIDENTIAL	E	13.3	1'-5"	4'-7"	6.6
RESIDENTIAL	M	13.4	3'-3"	9'-7"	31.2
RESIDENTIAL	M	13.5	2'-9"	4'-7"	12.6
RESIDENTIAL	M	13.6	3'-5"	3'-8"	12.5
RESIDENTIAL	M	13.7	3'-9"	8'-7"	32.2
RESIDENTIAL	M	13.8	3'-3"	5'-0"	16.1
RESIDENTIAL	M	13.9	0'-3"	1'-2"	0.3
RESIDENTIAL	M	13.10	4'-4"	4'-7"	19.9
RESIDENTIAL	M	13.11	1'-9"	2'-4"	4.2
RESIDENTIAL	M	13.12	2'-6"	3'-9"	9.3
RESIDENTIAL	M	13.13	1'-1"	3'-2"	3.5
RESIDENTIAL	M	13.14	4'-9"	4'-10"	22.9
RESIDENTIAL	M	13.15	2'-8"	2'-10"	7.5
RESIDENTIAL	M	13.16	4'-7"	5'-5"	25.1
RESIDENTIAL	M	13.17	1'-9"	3'-10"	6.9
RESIDENTIAL	M	13.18	1'-0"	1'-0"	0.9
RESIDENTIAL	M	13.19	2'-5"	4'-0"	9.6
RESIDENTIAL	M	13.20	4'-6"	7'-11"	35.4
RESIDENTIAL	M	13.21	4'-5"	4'-8"	20.7
RESIDENTIAL	M	13.22	3'-1"	4'-11"	15.0
RESIDENTIAL	M	13.23	1'-6"	3'-2"	4.7
RESIDENTIAL	M	13.24	2'-2"	3'-0"	6.5
RESIDENTIAL	M	13.25	2'-1"	3'-2"	6.6
RESIDENTIAL	M	13.26	2'-0"	3'-3"	6.6
RESIDENTIAL	M	13.27	1'-6"	2'-1"	3.2
RESIDENTIAL	M	13.28	1'-7"	2'-7"	4.0
RESIDENTIAL	M	13.29	0'-5"	0'-8"	0.3
RESIDENTIAL	M	13.30	2'-4"	2'-9"	6.5
RESIDENTIAL	M	13.31	4'-6"	7'-8"	34.5
RESIDENTIAL	M	13.32	1'-4"	2'-1"	2.7
RESIDENTIAL	M	13.33	0'-11"	2'-6"	2.3
RESIDENTIAL	P	13.34	0'-9"	1'-6"	1.1
RESIDENTIAL	M	13.35	2'-11"	2'-11"	8.5
SUBTOTAL					

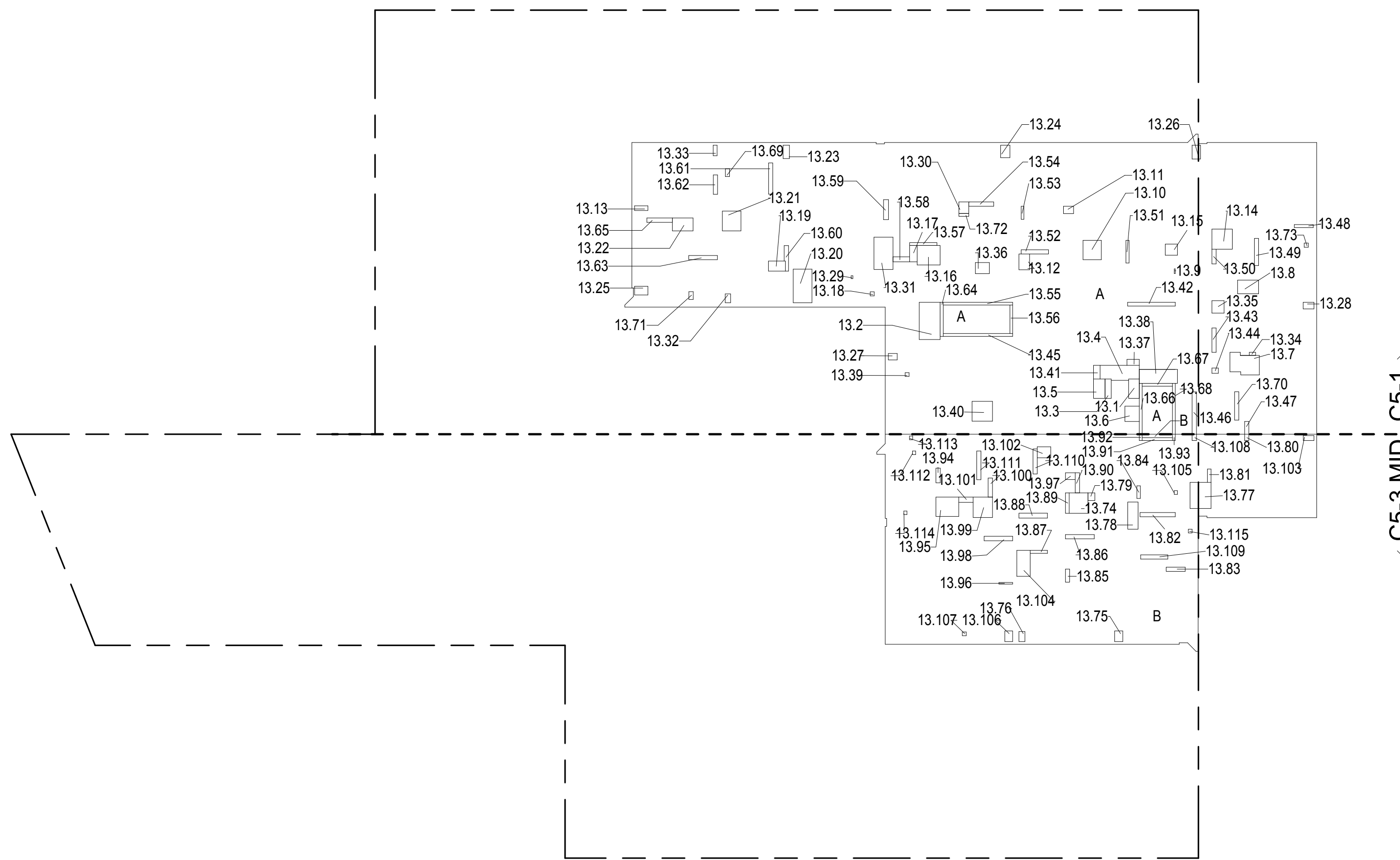
13TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	13.36	2'-8"	3'-4"	8.7
RESIDENTIAL	M	13.37	1'-5"	2'-11"	4.2
RESIDENTIAL	M	13.38	3'-4"	9'-0"	29.6
RESIDENTIAL	M	13.39	0'-11"	0'-11"	0.9
RESIDENTIAL	M	13.40	4'-8"	4'-10"	22.7
RESIDENTIAL	P	13.41	1'-7"	3'-3"	5.1
RESIDENTIAL	P	13.42	0'-11"	11'-4"	10.4
RESIDENTIAL	P	13.43	1'-0"	5'-9"	5.9
RESIDENTIAL	P	13.44	1'-3"	1'-7"	2.0
RESIDENTIAL	ST	13.45	0'-8"	16'-5"	11.0
RESIDENTIAL	P	13.46	1'-0"	10'-0"	10.3
RESIDENTIAL	P	13.47	1'-0"	3'-0"	3.0
RESIDENTIAL	P	13.48	0'-9"	4'-6"	3.2
RESIDENTIAL	P	13.49	1'-0"	6'-5"	6.4
RESIDENTIAL	P	13.50	1'-0"	3'-6"	3.5
RESIDENTIAL	P	13.51	0'-9"	5'-5"	4.0
RESIDENTIAL	P	13.52	1'-0"	6'-6"	6.5
RESIDENTIAL	P	13.53	0'-8"	3'-1"	2.1
RESIDENTIAL	P	13.54	1'-0"	5'-11"	6.1
RESIDENTIAL	ST	13.55	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	13.56	0'-8"	6'-9"	4.5
RESIDENTIAL	P	13.57	0'-8"	6'-5"	4.4
RESIDENTIAL	P	13.58	1'-2"	3'-11"	4.6
RESIDENTIAL	P	13.59	1'-2"	4'-9"	5.5
RESIDENTIAL	P	13.60	0'-11"	6'-2"	5.4
RESIDENTIAL	P	13.61	1'-0"	7'-5"	7.4
RESIDENTIAL	P	13.62	1'-0"	4'-7"	4.6
RESIDENTIAL	P	13.63	1'-0"	6'-10"	6.8
RESIDENTIAL	ST	13.64	0'-9"	8'-1"	5.9
RESIDENTIAL	P	13.65	1'-1"	6'-1"	6.4
RESIDENTIAL	ST	13.66	0'-8"	12'-1"	8.0
RESIDENTIAL	ST	13.67	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	13.68	0'-8"	12'-1"	8.0
RESIDENTIAL	P	13.69	1'-0"	1'-10"	1.9
RESIDENTIAL	P	13.70	1'-0"	6'-9"	6.7
RESIDENTIAL	P	13.71	1'-0"	1'-10"	1.9
RESIDENTIAL	P	13.72	0'-8"	2'-4"	0.6
RESIDENTIAL	M	13.73	1'-0"	1'-0"	0.5
SUBTOTAL					680.8

13TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	4,243	267	3,976
TOTAL		4,243	267	3,976

13TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	13.74	4'-5"	4'-10"	21.4
RESIDENTIAL	M	13.75	1'-11"	2'-6"	4.8
RESIDENTIAL	M	13.76	1'-5"	2'-5"	3.4
RESIDENTIAL	M	13.77	5'-1"	6'-0"	30.8
RESIDENTIAL	M	13.78	2'-6"	6'-6"	15.9
RESIDENTIAL	M	13.79	1'-7"	1'-10"	2.9
RESIDENTIAL	P	13.80	1'-0"	1'-6"	1.5
RESIDENTIAL	P	13.81	0'-10"	3'-2"	2.6
RESIDENTIAL	P	13.82	1'-0"	8'-4"	8.3
RESIDENTIAL	P	13.83	1'-0"	4'-6"	4.5
RESIDENTIAL	P	13.84	0'-10"	3'-0"	2.5
RESIDENTIAL	P	13.85	1'-0"	3'-1"	3.1
RESIDENTIAL	P	13.86	1'-0"	6'-10"	6.8
RESIDENTIAL	P	13.87	0'-9"	4'-1"	3.0
RESIDENTIAL	P	13.88	1'-2"	6'-9"	7.8
RESIDENTIAL	P	13.89	0'-11"	4'-10"	4.3
RESIDENTIAL	P	13.90	1'-0"	4'-9"	4.9
RESIDENTIAL	ST	13.91	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	13.92	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	13.93	0'-8"	1'-6"	1.0
RESIDENTIAL	P	13.94	1'-0"	3'-6"	3.6
RESIDENTIAL	M	13.95	4'-7"	5'-5"	24.9
RESIDENTIAL	P	13.96	0'-5"	3'-3"	1.3
RESIDENTIAL	M	13.97	1'-7"	2'-4"	3.7
RESIDENTIAL	P	13.98	1'-1"	6'-9"	7.2
RESIDENTIAL	M	13.99	4'-7"	4'-10"	22.1
RESIDENTIAL	P	13.100	1'-0"	4'-6"	4.7
RESIDENTIAL	P	13.101	1'-3"	3'-5"	4.2
RESIDENTIAL	M	13.102	2'-7"	3'-2"	8.2
RESIDENTIAL	M	13.103	1'-2"	2'-6"	3.0
RESIDENTIAL	M	13.104	3'-2"	6'-2"	19.3
RESIDENTIAL	M	13.105	0'-9"	0'-10"	0.6
RESIDENTIAL	M	13.106	1'-10"	2'-6"	4.7
RESIDENTIAL	M	13.107	0'-11"	0'-11"	0.8
SUBTOTAL					

13TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL		13,645	948	12,697
TOTAL		13,645	948	12,697

13TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	13.108	1'-0"	1'-6"	1.5
RESIDENTIAL	P	13.109	1'-0"	6'-5"	6.4
RESIDENTIAL	P	13.110	1'-0"	5'-11"	5.9
RESIDENTIAL	P	13.111	1'-0"	6'-9"	6.8
RESIDENTIAL	P	13.112	0'-9"	0'-10"	0.6
RESIDENTIAL	M	13.113	0'-9"	0'-10"	0.6
RESIDENTIAL	M	13.114	0'-9"	0'-10"	0.6
RESIDENTIAL	M	13.115	0'-11"	0'-11"	0.8
SUBTOTAL					267.1



13TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

14TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	687	8,714
TOTAL		9,401	687	8,714

14TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	14.1	2'-6"	4'-7"	11.6
RESIDENTIAL	E	14.2	5'-0"	8'-10"	43.7
RESIDENTIAL	E	14.3	1'-5"	4'-7"	6.6
RESIDENTIAL	M	14.4	3'-3"	9'-7"	31.2
RESIDENTIAL	M	14.5	2'-9"	4'-7"	12.6
RESIDENTIAL	M	14.6	3'-5"	3'-8"	12.5
RESIDENTIAL	M	14.7	4'-5"	7'-6"	33.0
RESIDENTIAL	M	14.8	3'-3"	5'-0"	16.1
RESIDENTIAL	M	14.9	0'-3"	1'-2"	0.3
RESIDENTIAL	M	14.10	4'-4"	4'-7"	19.9
RESIDENTIAL	ST	14.11	0'-8"	12'-1"	8.0
RESIDENTIAL	ST	14.12	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	14.13	0'-8"	12'-1"	8.0
RESIDENTIAL	M	14.14	1'-9"	2'-4"	4.2
RESIDENTIAL	M	14.15	2'-6"	3'-9"	9.3
RESIDENTIAL	M	14.16	1'-6"	3'-2"	4.7
RESIDENTIAL	M	14.17	4'-9"	4'-10"	22.9
RESIDENTIAL	M	14.18	2'-8"	2'-10"	7.5
RESIDENTIAL	M	14.19	4'-7"	5'-5"	25.1
RESIDENTIAL	M	14.20	1'-9"	3'-10"	6.9
RESIDENTIAL	M	14.21	1'-0"	1'-0"	0.9
RESIDENTIAL	M	14.22	2'-5"	4'-9"	9.6
RESIDENTIAL	M	14.23	4'-6"	7'-11"	35.4
RESIDENTIAL	M	14.24	4'-5"	4'-8"	20.7
RESIDENTIAL	M	14.25	3'-1"	4'-11"	15.0
RESIDENTIAL	M	14.26	1'-1"	3'-2"	3.5
RESIDENTIAL	M	14.27	2'-2"	3'-0"	6.5
RESIDENTIAL	M	14.28	2'-1"	3'-2"	6.6
RESIDENTIAL	M	14.29	2'-0"	3'-3"	6.6
RESIDENTIAL	M	14.30	1'-7"	2'-7"	4.0
RESIDENTIAL	ST	14.31	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	14.32	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	14.33	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	14.34	0'-8"	16'-5"	11.0
RESIDENTIAL	M	14.35	0'-5"	0'-8"	0.3
SUBTOTAL					

14TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	14.36	1'-7"	3'-3"	5.1
RESIDENTIAL	M	14.37	2'-4"	2'-9"	6.5
RESIDENTIAL	M	14.38	4'-6"	7'-8"	34.5
RESIDENTIAL	M	14.39	1'-4"	2'-1"	2.7
RESIDENTIAL	M	14.40	0'-11"	2'-6"	2.3
RESIDENTIAL	M	14.41	2'-11"	2'-11"	8.5
RESIDENTIAL	M	14.42	2'-8"	3'-4"	8.7
RESIDENTIAL	M	14.43	1'-5"	2'-11"	4.2
RESIDENTIAL	M	14.44	3'-4"	9'-0"	29.6
RESIDENTIAL	M	14.45	0'-11"	0'-11"	0.9
RESIDENTIAL	P	14.46	0'-11"	11'-4"	10.4
RESIDENTIAL	P	14.47	1'-0"	5'-9"	5.9
RESIDENTIAL	P	14.48	1'-3"	3'-9"	4.7
RESIDENTIAL	P	14.49	1'-0"	10'-0"	10.3
RESIDENTIAL	P	14.50	1'-0"	3'-0"	3.0
RESIDENTIAL	P	14.51	0'-9"	4'-6"	3.2
RESIDENTIAL	P	14.52	1'-0"	6'-5"	6.4
RESIDENTIAL	P	14.53	1'-0"	3'-6"	3.5
RESIDENTIAL	P	14.54	0'-9"	5'-5"	4.0
RESIDENTIAL	P	14.55	1'-0"	6'-6"	6.5
RESIDENTIAL	P	14.56	0'-8"	3'-1"	2.1
RESIDENTIAL	P	14.57	1'-0"	5'-11"	6.1
RESIDENTIAL	P	14.58	0'-8"	6'-5"	4.4
RESIDENTIAL	P	14.59	1'-2"	3'-11"	4.6
RESIDENTIAL	P	14.60	1'-2"	4'-9"	5.5
RESIDENTIAL	P	14.61	0'-11"	6'-2"	5.4
RESIDENTIAL	P	14.62	1'-0"	7'-5"	7.4
RESIDENTIAL	P	14.63	1'-0"	4'-7"	4.6
RESIDENTIAL	P	14.64	1'-0"	6'-10"	6.8
RESIDENTIAL	P	14.65	1'-1"	6'-1"	6.4
RESIDENTIAL	M	14.66	1'-6"	2'-1"	3.2
RESIDENTIAL	M	14.67	4'-8"	4'-10"	22.7
RESIDENTIAL	P	14.68	1'-0"	1'-10"	1.9
RESIDENTIAL	P	14.69	1'-0"	6'-0"	6.7
RESIDENTIAL	P	14.70	1'-0"	1'-10"	1.9
RESIDENTIAL	P	14.71	0'-8"	2'-4"	1.6
RESIDENTIAL	M	14.72	1'-0"	1'-0"	0.9
RESIDENTIAL	P	14.73	0'-7"	4'-6"	2.5
RESIDENTIAL	M	14.74	0'-7"	3'-0"	1.7
SUBTOTAL					687.5

16TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	681	8,721
TOTAL		9,401	681	8,721

16TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	16.1	2'-6"	4'-7"	11.6
RESIDENTIAL	ST	16.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	16.3	3'-3"	9'-7"	31.2
RESIDENTIAL	M	16.4	2'-9"	4'-7"	12.6
RESIDENTIAL	M	16.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	16.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	16.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M	16.8	3'-9"	8'-7"	32.2
RESIDENTIAL	M	16.9	3'-3"	5'-0"	16.1
RESIDENTIAL	M	16.10	0'-3"	1'-2"	0.3
RESIDENTIAL	M	16.11	4'-4"	4'-7"	19.9
RESIDENTIAL	M	16.12	1'-9"	2'-4"	4.2
RESIDENTIAL	M	16.13	2'-6"	3'-9"	9.3
RESIDENTIAL	E	16.14	5'-0"	8'-10"	43.7
RESIDENTIAL	M	16.15	1'-1"	3'-2"	3.5
RESIDENTIAL	M	16.16	4'-9"	4'-10"	22.9
RESIDENTIAL	M	16.17	2'-8"	2'-10"	7.5
RESIDENTIAL	M	16.18	4'-7"	5'-5"	25.1
RESIDENTIAL	M	16.19	1'-9"	3'-10"	6.9
RESIDENTIAL	M	16.20	1'-0"	1'-0"	0.9
RESIDENTIAL	M	16.21	2'-5"	4'-7"	9.6
RESIDENTIAL	M	16.22	4'-6"	7'-11"	35.4
RESIDENTIAL	M	16.23	4'-5"	4'-8"	20.7
RESIDENTIAL	M	16.24	3'-1"	4'-11"	15.0
RESIDENTIAL	M	16.25	1'-6"	3'-2"	4.7
RESIDENTIAL	M	16.26	2'-2"	3'-0"	6.5
RESIDENTIAL	M	16.27	2'-1"	3'-2"	6.6
RESIDENTIAL	M	16.28	2'-0"	3'-3"	6.6
RESIDENTIAL	M	16.29	1'-7"	2'-7"	4.0
RESIDENTIAL	ST	16.30	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	16.31	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	16.32	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	16.33	0'-8"	16'-5"	11.0
RESIDENTIAL	M	16.34	0'-5"	0'-8"	0.3
RESIDENTIAL	P	16.35	1'-7"	3'-3"	5.1
SUBTOTAL					

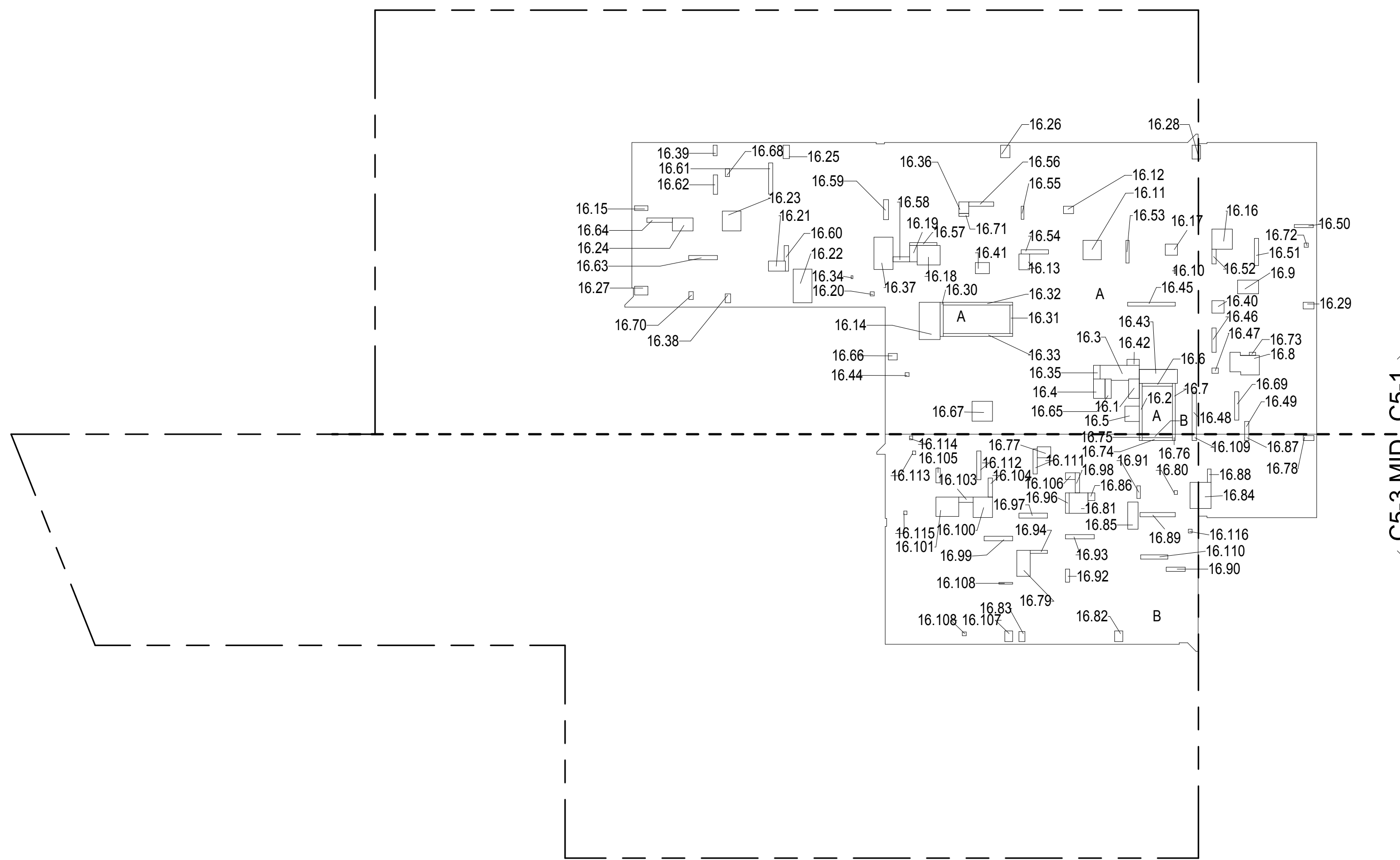
16TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	16.36	2'-4"	2'-9"	6.5
RESIDENTIAL	M	16.37	4'-6"	7'-8"	34.5
RESIDENTIAL	M	16.38	1'-4"	2'-1"	2.7
RESIDENTIAL	M	16.39	0'-11"	2'-6"	2.3
RESIDENTIAL	M	16.40	2'-11"	2'-11"	8.7
RESIDENTIAL	M	16.41	2'-8"	3'-4"	9.7
RESIDENTIAL	M	16.42	1'-3"	2'-11"	4.2
RESIDENTIAL	M	16.43	3'-4"	9'-0"	29.6
RESIDENTIAL	M	16.44	0'-11"	0'-11"	0.8
RESIDENTIAL	P	16.45	0'-11"	11'-4"	10.4
RESIDENTIAL	P	16.46	1'-0"	5'-9"	5.9
RESIDENTIAL	P	16.47	1'-3"	1'-7"	2.0
RESIDENTIAL	P	16.48	1'-0"	10'-0"	10.3
RESIDENTIAL	P	16.49	1'-0"	3'-0"	3.0
RESIDENTIAL	P	16.50	0'-9"	4'-6"	3.2
RESIDENTIAL	P	16.51	1'-0"	6'-5"	6.4
RESIDENTIAL	P	16.52	1'-0"	3'-6"	3.5
RESIDENTIAL	P	16.53	0'-9"	5'-5"	4.0
RESIDENTIAL	P	16.54	1'-0"	6'-6"	6.5
RESIDENTIAL	P	16.55	0'-8"	3'-1"	2.1
RESIDENTIAL	P	16.56	1'-0"	5'-11"	6.1
RESIDENTIAL	P	16.57	0'-8"	6'-5"	4.4
RESIDENTIAL	P	16.58	1'-2"	3'-11"	4.6
RESIDENTIAL	P	16.59	1'-2"	4'-9"	5.5
RESIDENTIAL	P	16.60	0'-11"	6'-2"	5.4
RESIDENTIAL	P	16.61	1'-0"	7'-5"	7.4
RESIDENTIAL	P	16.62	1'-0"	4'-7"	4.6
RESIDENTIAL	P	16.63	1'-0"	6'-10"	6.8
RESIDENTIAL	P	16.64	1'-1"	6'-1"	6.4
RESIDENTIAL	E	16.65	1'-5"	4'-7"	6.6
RESIDENTIAL	M	16.66	1'-6"	2'-1"	3.2
RESIDENTIAL	M	16.67	4'-8"	4'-10"	22.7
RESIDENTIAL	P	16.68	0'-11"	1'-10"	1.9
RESIDENTIAL	P	16.69	1'-0"	6'-9"	6.7
RESIDENTIAL	P	16.70	1'-0"	1'-10"	1.9
RESIDENTIAL	P	16.71	0'-8"	2'-4"	1.6
RESIDENTIAL	M	16.72	1'-0"	1'-0"	0.9
RESIDENTIAL	P	16.73	0'-9"	1'-6"	1.1
SUBTOTAL					680.8

16TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	4,243	267	3,976
TOTAL		4,243	267	3,976

16TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	16.74	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	16.75	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	16.76	0'-8"	1'-6"	1.0
RESIDENTIAL	M	16.77	2'-7"	3'-2"	8.2
RESIDENTIAL	M	16.78	1'-2"	2'-6"	3.0
RESIDENTIAL	M	16.79	3'-2"	6'-2"	19.3
RESIDENTIAL	M	16.80	0'-9"	0'-10"	0.6
RESIDENTIAL	M	16.81	4'-5"	4'-10"	21.4
RESIDENTIAL	M	16.82	1'-11"	2'-6"	4.8
RESIDENTIAL	M	16.83	1'-5"	2'-5"	3.4
RESIDENTIAL	M	16.84	5'-1"	6'-0"	30.8
RESIDENTIAL	M	16.85	2'-6"	6'-6"	15.9
RESIDENTIAL	M	16.86	1'-7"	1'-10"	2.9
RESIDENTIAL	P	16.87	1'-0"	1'-6"	1.5
RESIDENTIAL	P	16.88	0'-10"	3'-2"	2.6
RESIDENTIAL	P	16.89	1'-0"	8'-4"	8.3
RESIDENTIAL	P	16.90	1'-0"	4'-6"	4.5
RESIDENTIAL	P	16.91	0'-10"	3'-0"	2.5
RESIDENTIAL	P	16.92	1'-0"	3'-1"	3.1
RESIDENTIAL	P	16.93	1'-0"	6'-10"	6.8
RESIDENTIAL	P	16.94	0'-9"	4'-1"	3.8
RESIDENTIAL	P	16.96	0'-11"	4'-10"	4.3
RESIDENTIAL	P	16.97	1'-2"	6'-9"	7.8
RESIDENTIAL	P	16.98	1'-0"	4'-9"	4.9
RESIDENTIAL	P	16.99	1'-1"	6'-9"	7.2
RESIDENTIAL	M	16.100	4'-7"	4'-10"	22.1
RESIDENTIAL	M	16.101	4'-7"	5'-5"	24.9
RESIDENTIAL	P	16.103	1'-3"	3'-5"	4.2
RESIDENTIAL	P	16.104	1'-0"	4'-6"	4.7
RESIDENTIAL	P	16.105	1'-0"	3'-6"	3.6
RESIDENTIAL	M	16.106	1'-7"	2'-4"	3.7
RESIDENTIAL	M	16.107	1'-10"	2'-6"	4.7
SUBTOTAL					

16TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA(SF)	
RESIDENTIAL	13,645	948	12,697	
TOTAL	13,645	948	12,697	

16TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	LENGTH	WIDTH	AREA(SF)	
RESIDENTIAL	P	16.108	0'-5"	3'-3"	1.3
RESIDENTIAL	M	16.109	0'-11"	0'-11"	0.8
RESIDENTIAL	P	16.110	1'-0"	1'-8"	1.5
RESIDENTIAL	P	16.111	1'-0"	5'-11"	5.9
RESIDENTIAL	P	16.112	1'-0"	6'-9"	6.8
RESIDENTIAL	P	16.113	0'-9"	0'-10"	0.6
RESIDENTIAL	M	16.114	0'-9"	0'-10"	0.6
RESIDENTIAL	M	16.115	0'-9"	0'-10"	0.6
RESIDENTIAL	M	16.116	0'-11"	0'-11"	0.8
SUBTOTAL					267.1



16TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0"

17TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	681	8,721
TOTAL		9,401	681	8,721

17TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	17.1	2'-6"	4'-7"	11.6
RESIDENTIAL	E	17.2	5'-0"	8'-10"	43.7
RESIDENTIAL	E	17.3	1'-5"	4'-7"	6.6
RESIDENTIAL	M	17.4	3'-3"	9'-7"	31.2
RESIDENTIAL	M	17.5	2'-9"	4'-7"	12.6
RESIDENTIAL	M	17.6	3'-5"	3'-8"	12.5
RESIDENTIAL	M	17.7	3'-9"	8'-7"	32.2
RESIDENTIAL	M	17.8	3'-3"	5'-0"	16.1
RESIDENTIAL	M	17.9	0'-3"	1'-2"	0.3
RESIDENTIAL	M	17.10	4'-4"	4'-7"	19.9
RESIDENTIAL	M	17.11	1'-9"	2'-4"	4.2
RESIDENTIAL	M	17.12	2'-6"	3'-9"	9.3
RESIDENTIAL	M	17.13	1'-1"	3'-2"	3.5
RESIDENTIAL	M	17.14	4'-9"	4'-10"	22.9
RESIDENTIAL	M	17.15	2'-8"	2'-10"	7.5
RESIDENTIAL	M	17.16	4'-7"	5'-5"	25.1
RESIDENTIAL	M	17.17	1'-9"	3'-10"	6.9
RESIDENTIAL	M	17.18	1'-0"	1'-0"	0.9
RESIDENTIAL	M	17.19	2'-5"	4'-0"	9.6
RESIDENTIAL	M	17.20	4'-6"	7'-11"	35.4
RESIDENTIAL	M	17.21	4'-5"	4'-8"	20.7
RESIDENTIAL	M	17.22	3'-1"	4'-11"	15.0
RESIDENTIAL	M	17.23	1'-6"	3'-2"	4.7
RESIDENTIAL	M	17.24	2'-2"	3'-0"	6.5
RESIDENTIAL	M	17.25	2'-1"	3'-2"	6.6
RESIDENTIAL	M	17.26	2'-0"	3'-3"	6.6
RESIDENTIAL	M	17.27	1'-7"	2'-7"	4.0
RESIDENTIAL	M	17.28	0'-5"	0'-8"	0.3
RESIDENTIAL	M	17.29	2'-4"	2'-9"	6.5
RESIDENTIAL	M	17.30	4'-6"	7'-8"	32.2
RESIDENTIAL	M	17.31	1'-4"	2'-1"	2.7
RESIDENTIAL	M	17.32	0'-11"	2'-6"	2.3
RESIDENTIAL	M	17.33	2'-11"	2'-11"	8.5
RESIDENTIAL	M	17.34	2'-8"	3'-4"	8.7
RESIDENTIAL	M	17.35	1'-5"	2'-11"	4.2
SUBTOTAL					

17TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	17.36	3'-4"	9'-0"	29.6
RESIDENTIAL	M	17.37	0'-11"	0'-11"	0.8
RESIDENTIAL	M	17.38	1'-6"	2'-1"	3.2
RESIDENTIAL	M	17.39	4'-8"	4'-10"	22.7
RESIDENTIAL	M	17.40	1'-0"	1'-0"	0.9
RESIDENTIAL	P	17.41	1'-7"	3'-3"	5.1
RESIDENTIAL	P	17.42	0'-11"	11'-4"	10.4
RESIDENTIAL	P	17.43	1'-0"	5'-9"	5.9
RESIDENTIAL	P	17.44	1'-3"	1'-7"	2.0
RESIDENTIAL	P	17.45	1'-0"	10'-0"	10.3
RESIDENTIAL	P	17.46	1'-0"	3'-0"	3.0
RESIDENTIAL	P	17.47	0'-9"	4'-6"	3.2
RESIDENTIAL	P	17.48	1'-0"	6'-5"	6.4
RESIDENTIAL	P	17.49	1'-0"	3'-6"	3.5
RESIDENTIAL	P	17.50	0'-9"	5'-5"	4.0
RESIDENTIAL	P	17.51	1'-0"	6'-6"	6.5
RESIDENTIAL	P	17.52	0'-8"	3'-1"	2.1
RESIDENTIAL	P	17.53	1'-0"	5'-11"	6.1
RESIDENTIAL	P	17.54	0'-8"	6'-5"	4.4
RESIDENTIAL	P	17.55	1'-2"	3'-11"	4.6
RESIDENTIAL	P	17.56	1'-2"	4'-9"	5.5
RESIDENTIAL	P	17.57	0'-11"	6'-2"	5.4
RESIDENTIAL	P	17.58	1'-0"	7'-5"	7.4
RESIDENTIAL	P	17.59	1'-0"	4'-7"	4.6
RESIDENTIAL	P	17.60	1'-0"	6'-10"	6.8
RESIDENTIAL	P	17.61	1'-1"	6'-1"	6.4
RESIDENTIAL	P	17.62	1'-0"	1'-10"	1.9
RESIDENTIAL	P	17.63	1'-0"	6'-9"	6.7
RESIDENTIAL	P	17.64	1'-0"	1'-10"	1.9
RESIDENTIAL	P	17.65	0'-8"	2'-4"	1.6
RESIDENTIAL	P	17.66	0'-9"	1'-6"	1.1
RESIDENTIAL	ST	17.67	0'-8"	12'-1"	8.0
RESIDENTIAL	ST	17.68	0'-8"	12'-1"	8.0
RESIDENTIAL	ST	17.69	0'-8"	12'-1"	8.0
RESIDENTIAL	ST	17.70	0'-9"	8'-1"	5.5
RESIDENTIAL	ST	17.71	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	17.72	0'-8"	16'-5"	11.0
RESIDENTIAL	ST	17.73	0'-8"	16'-5"	11.0
SUBTOTAL					680.8

19TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	681	8,721
TOTAL		9,401	681	8,721

19TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	19.1	2'-6"	4'-7"
RESIDENTIAL	E	19.2	5'-0"	8'-10"
RESIDENTIAL	E	19.3	1'-5"	4'-7"
RESIDENTIAL	M	19.4	3'-3"	9'-7"
RESIDENTIAL	M	19.5	2'-9"	4'-7"
RESIDENTIAL	M	19.6	3'-5"	3'-8"
RESIDENTIAL	M	19.7	3'-9"	8'-7"
RESIDENTIAL	M	19.8	3'-3"	5'-0"
RESIDENTIAL	M	19.9	0'-3"	1'-2"
RESIDENTIAL	M	19.10	4'-4"	4'-7"
RESIDENTIAL	M	19.11	1'-9"	2'-4"
RESIDENTIAL	M	19.12	2'-6"	3'-9"
RESIDENTIAL	M	19.13	1'-1"	3'-2"
RESIDENTIAL	M	19.14	4'-9"	4'-10"
RESIDENTIAL	M	19.15	2'-8"	2'-10"
RESIDENTIAL	M	19.16	4'-7"	5'-5"
RESIDENTIAL	M	19.17	1'-9"	3'-10"
RESIDENTIAL	M	19.18	1'-0"	1'-0"
RESIDENTIAL	M	19.19	2'-5"	4'-0"
RESIDENTIAL	M	19.20	4'-6"	7'-11"
RESIDENTIAL	M	19.21	4'-5"	4'-8"
RESIDENTIAL	M	19.22	3'-1"	4'-11"
RESIDENTIAL	M	19.23	1'-6"	3'-2"
RESIDENTIAL	M	19.24	2'-2"	3'-0"
RESIDENTIAL	M	19.25	2'-1"	3'-2"
RESIDENTIAL	M	19.26	2'-0"	3'-3"
RESIDENTIAL	M	19.27	1'-7"	2'-7"
RESIDENTIAL	M	19.28	0'-5"	0'-8"
RESIDENTIAL	M	19.29	2'-4"	2'-9"
RESIDENTIAL	M	19.30	4'-6"	7'-8"
RESIDENTIAL	M	19.31	1'-4"	2'-1"
RESIDENTIAL	M	19.32	0'-11"	2'-6"
RESIDENTIAL	M	19.33	2'-11"	2'-11"
RESIDENTIAL	M	19.34	2'-8"	3'-4"
RESIDENTIAL	M	19.35	1'-5"	2'-11"
SUBTOTAL				4.2

20TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	620	8,782
TOTAL		9,401	620	8,782

20TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	20.1	4'-3"	8'-5"
RESIDENTIAL	M	20.2	3'-5"	9'-3"
RESIDENTIAL	M	20.3	2'-5"	4'-3"
RESIDENTIAL	M	20.4	3'-5"	3'-6"
RESIDENTIAL	M	20.5	3'-3"	8'-2"
RESIDENTIAL	M	20.6	0'-5"	1'-4"
RESIDENTIAL	M	20.7	0'-10"	1'-0"
RESIDENTIAL	M	20.8	1'-11"	2'-8"
RESIDENTIAL	M	20.9	2'-4"	3'-9"
RESIDENTIAL	M	20.10	3'-0"	4'-6"
RESIDENTIAL	M	20.11	0'-11"	1'-3"
RESIDENTIAL	M	20.12	3'-11"	7'-2"
RESIDENTIAL	M	20.13	0'-5"	1'-0"
RESIDENTIAL	M	20.14	2'-4"	3'-9"
RESIDENTIAL	M	20.15	4'-6"	4'-8"
RESIDENTIAL	M	20.16	0'-10"	2'-6"
RESIDENTIAL	M	20.17	1'-11"	3'-2"
RESIDENTIAL	M	20.18	1'-2"	1'-4"
RESIDENTIAL	M	20.19	1'-0"	2'-2"
RESIDENTIAL	M	20.20	1'-1"	2'-11"
RESIDENTIAL	M	20.21	4'-9"	7'-5"
RESIDENTIAL	M	20.22	2'-9"	3'-11"
RESIDENTIAL	M	20.23	4'-6"	7'-8"
RESIDENTIAL	M	20.24	2'-0"	3'-3"
RESIDENTIAL	M	20.25	1'-2"	2'-2"
RESIDENTIAL	M	20.26	1'-3"	2'-1"
RESIDENTIAL	M	20.27	4'-3"	4'-10"
RESIDENTIAL	M	20.28	2'-5"	4'-3"
RESIDENTIAL	M	20.29	2'-9"	5'-0"
RESIDENTIAL	M	20.30	1'-0"	2'-3"
RESIDENTIAL	M	20.31	2'-2"	3'-7"
RESIDENTIAL	M	20.32	2'-11"	3'-10"
RESIDENTIAL	M	20.33	3'-3"	5'-0"
RESIDENTIAL	P	20.34	0'-11"	6'-5"
RESIDENTIAL	P	20.35	1'-0"	7'-2"
SUBTOTAL				7.2

21ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	743	8,658
TOTAL		9,401	743	8,658

21ST FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	21.1	4'-7"	8'-1"
RESIDENTIAL	E	21.2	5'-0"	8'-10"
RESIDENTIAL	M	21.4	3'-4"	9'-6"
RESIDENTIAL	M	21.5	2'-9"	4'-7"
RESIDENTIAL	M	21.6	3'-5"	3'-8"
RESIDENTIAL	M	21.7	0'-3"	1'-0"
RESIDENTIAL	M	21.8	4'-4"	4'-7"
RESIDENTIAL	M	21.9	2'-0"	2'-10"
RESIDENTIAL	M	21.10	2'-8"	4'-1"
RESIDENTIAL	M	21.11	0'-11"	3'-2"
RESIDENTIAL	P	21.12	0'-7"	3'-2"
RESIDENTIAL	M	21.13	2'-3"	3'-11"
RESIDENTIAL	M	21.14	4'-3"	5'-11"
RESIDENTIAL	M	21.15	1'-5"	3'-8"
RESIDENTIAL	M	21.16	1'-2"	2'-3"
RESIDENTIAL	M	21.17	2'-3"	4'-1"
RESIDENTIAL	M	21.18	3'-11"	8'-5"
RESIDENTIAL	M	21.19	4'-5"	7'-5"
RESIDENTIAL	M	21.20	4'-0"	5'-1"
RESIDENTIAL	M	21.21	1'-0"	2'-6"
RESIDENTIAL	M	21.22	2'-1"	3'-0"
RESIDENTIAL	M	21.23	2'-1"	2'-9"
RESIDENTIAL	M	21.24	3'-0"	3'-0"
RESIDENTIAL	M	21.25	0'-9"	4'-8"
RESIDENTIAL	M	21.26	1'-7"	2'-5"
RESIDENTIAL	M	21.27	0'-5"	0'-8"
RESIDENTIAL	M	21.28	2'-7"	2'-8"
RESIDENTIAL	M	21.29	4'-8"	7'-8"
RESIDENTIAL	M	21.30	1'-4"	2'-1"
RESIDENTIAL	M	21.31	0'-10"	2'-6"
RESIDENTIAL	M	21.32	2'-8"	4'-8"
RESIDENTIAL	M	21.33	1'-0"	4'-10"
RESIDENTIAL	M	21.34	3'-4"	9'-0"
RESIDENTIAL	M	21.35	1'-3"	2'-8"
RESIDENTIAL	M	21.36	2'-9"	12'-1"
SUBTOTAL				33.2

19TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	19.36	3'-4"	9'-0"
RESIDENTIAL	M	19.37	0'-11"	0'-11"
RESIDENTIAL	M	19.38	1'-6"	2'-1"
RESIDENTIAL	M	19.39	4'-8"	4'-10"
RESIDENTIAL	M	19.40	1'-0"	1'-0"
RESIDENTIAL	P	19.41	1'-7"	5'-3"
RESIDENTIAL	P	19.42	0'-11"	11'-4"
RESIDENTIAL	P	19.43	1'-0"	5'-9"
RESIDENTIAL	P	19.44	1'-3"	1'-7"
RESIDENTIAL	P	19.45	1'-0"	10'-0"
RESIDENTIAL	P	19.46	1'-0"	3'-0"
RESIDENTIAL	P	19.47	0'-9"	4'-6"
RESIDENTIAL	P	19.48	1'-0"	6'-5"
RESIDENTIAL	P	19.49	1'-0"	3'-6"
RESIDENTIAL	P	19.50	0'-9"	5'-5"
RESIDENTIAL	P	19.51	1'-0"	6'-6"
RESIDENTIAL	P	19.52	0'-8"	3'-1"
RESIDENTIAL	P	19.53	1'-0"	5'-11"
RESIDENTIAL	P	19.54	0'-8"	6'-5"
RESIDENTIAL	P	19.55	1'-2"	3'-11"
RESIDENTIAL	P	19.56	1'-2"	4'-9"
RESIDENTIAL	P	19.57	0'-11"	6'-2"
RESIDENTIAL	P	19.58	1'-0"	7'-5"
RESIDENTIAL	P	19.59	1'-0"	4'-7"
RESIDENTIAL	P	19.60	1'-0"	6'-10"
RESIDENTIAL	P	19.61	1'-1"	6'-1"
RESIDENTIAL	P	19.62	1'-0"	1'-10"
RESIDENTIAL	P	19.63	1'-0"	6'-9"
RESIDENTIAL	P	19.64	1'-0"	1'-10"
RESIDENTIAL	P	19.65	0'-8"	2'-4"
RESIDENTIAL	P	19.66	0'-9"	1'-6"
RESIDENTIAL	ST	19.67	0'-8"	12'-1"
RESIDENTIAL	ST	19.68	0'-8"	7'-2"
RESIDENTIAL	ST	19.69	0'-8"	12'-1"
RESIDENTIAL	ST	19.70	0'-9"	8'-1"
RESIDENTIAL	ST	19.71	0'-8"	6'-9"
RESIDENTIAL	ST	19.72	0'-8"	16'-5"
RESIDENTIAL	ST	19.73	0'-8"	16'-5"
SUBTOTAL				680.8

20TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	20.36	1'-0"	6'-0"
RESIDENTIAL	P	20.37	1'-0"	4'-7"
RESIDENTIAL	P	20.38	0'-8"	4'-2"
RESIDENTIAL	P	20.39	3'-5"	4'-6"
RESIDENTIAL	P	20.40	1'-0"	11'-9"
RESIDENTIAL	P	20.41	1'-7"	3'-5"
RESIDENTIAL	P	20.42	1'-0"	6'-5"
RESIDENTIAL	P	20.43	1'-5"	3'-5"
RESIDENTIAL	M	20.44	4'-7"	4'-11"
RESIDENTIAL	P	20.45	1'-0"	5'-7"
RESIDENTIAL	P	20.46	1'-0"	7'-5"
RESIDENTIAL	P	20.47	0'-11"	10'-10"
RESIDENTIAL	M	20.48	0'-8"	16'-5"
RESIDENTIAL	P	20.49	1'-1"	11'-9"
RESIDENTIAL	P	20.50	0'-11"	1'-3"
RESIDENTIAL	P	20.51	0'-5"	4'-5"
RESIDENTIAL	P	20.52	1'-2"	4'-5"
RESIDENTIAL	P	20.53	1'-0"	3'-11"
RESIDENTIAL	P	20.54	1'-0"	11'-9"
RESIDENTIAL	ST	20.55	0'-8"	16'-5"
RESIDENTIAL	P	20.56	0'-8"	7'-3"
RESIDENTIAL	P	20.57	3'-4"	9'-6"
RESIDENTIAL	ST	20.58	0'-8"	12'-1"
RESIDENTIAL	ST	20.59	0'-8"	7'-2"
RESIDENTIAL	ST	20.60	0'-8"	12'-1"
RESIDENTIAL	ST	20.61	0'-9"	8'-1"
RESIDENTIAL	ST	20.62	0'-8"	6'-9"
SUBTOTAL				619.5

21ST FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	21.37	3'-1"	5'-1"
RESIDENTIAL	M	21.38	2'-8"	8'-2"
RESIDENTIAL	P	21.39	1'-4"	3'-4"
RESIDENTIAL	P	21.40	0'-11"	11'-3"
RESIDENTIAL	P	21.41	1'-0"	6'-2"
RESIDENTIAL	P	21.42	1'-0"	6'-8"
RESIDENTIAL	P	21.43	1'-1"	7'-5"
RESIDENTIAL	P	21.44	0'-9"	6'-0"
RESIDENTIAL	M	21.45	4'-4"	4'-9"
RESIDENTIAL	P	21.46	0'-9"	5'-5"
RESIDENTIAL	P	21.47	1'-1"	6'-4"
RESIDENTIAL	M	21.48	0'-7"	3'-1"
RESIDENTIAL	P	21.49	1'-0"	6'-1"
RESIDENTIAL	P	21.50	0'-6"	4'-5"
RESIDENTIAL	ST	21.51	0'-8"	16'-5"
RESIDENTIAL	P	21.52	0'-8"	6'-7"
RESIDENTIAL	P	21.53	1'-0"	4'-0"
RESIDENTIAL	P	21.54	1'-0"	17'-1"
RESIDENTIAL	P	21.55	0'-10"	6'-2"
RESIDENTIAL	P	21.56	1'-0"	11'-8"
RESIDENTIAL	P	21.57	1'-0"	4'-8"
RESIDENTIAL	P	21.58	1'-0"	6'-10"
RESIDENTIAL	P	21.59	1'-0"	3'-1"
RESIDENTIAL	P	21.60	0'-11"	8'-11"
RESIDENTIAL	P	21.61	1'-0"	4'-4"
RESIDENTIAL	P	21.62	0'-10"	3'-3"
RESIDENTIAL	P	21.63	1'-0"	10'-3"
RESIDENTIAL	P	21.64	1'-0"	10'-3"
RESIDENTIAL	P	21.65	1'-0"	5'-2"
RESIDENTIAL	ST	21.66	0'-8"	12'-1"
RESIDENTIAL	ST	21.67	0'-8"	7'-2"
RESIDENTIAL	ST	21.68	0'-8"	12'-1"
RESIDENTIAL	ST	21.69	0'-9"	8'-1"
RESIDENTIAL	ST	21.70	0'-8"	6'-9"
RESIDENTIAL	ST	21.71	0'-8"	16'-5"
SUBTOTAL				743.4

19TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	4,243	267	3,976
TOTAL		4,243	267	3,976

19TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	19.74	2'-7"	3'-2"	8.2
RESIDENTIAL	M	19.75	1'-2"	2'-6"	3.0
RESIDENTIAL	M	19.76	3'-2"	6'-2"	19.3
RESIDENTIAL	M	19.77	0'-9"	0'-10"	0.6
RESIDENTIAL	M	19.78	4'-5"	4'-10"	21.6
RESIDENTIAL	M	19.79	1'-11"	2'-6"	4.8
RESIDENTIAL	M	19.80	1'-5"	2'-2"	3.4
RESIDENTIAL	M	19.81	5'-1"	6'-0"	30.8
RESIDENTIAL	M	19.82	2'-6"	6'-6"	15.9
RESIDENTIAL	M	19.83	1'-7"	1'-10"	2.9
RESIDENTIAL	M	19.84	4'-7"	4'-10"	22.1
RESIDENTIAL	M	19.85	4'-7"	5'-5"	24.9
RESIDENTIAL	M	19.86	1'-7"	2'-4"	3.7
RESIDENTIAL	M	19.87	1'-10"	2'-6"	4.7
RESIDENTIAL	M	19.88	0'-11"	0'-11"	0.8
RESIDENTIAL	M	19.89	0'-9"	0'-10"	0.6
RESIDENTIAL	M	19.90	0'-10"	0'-10"	0.6
RESIDENTIAL	M	19.91	0'-11"	0'-11"	0.8
RESIDENTIAL	P	19.92	1'-0"	1'-6"	1.5
RESIDENTIAL	P	19.93	0'-10"	3'-2"	2.6
RESIDENTIAL	P	19.94	1'-0"	8'-4"	8.3
RESIDENTIAL	P	19.95	1'-0"	4'-6"	4.5
RESIDENTIAL	P	19.96	0'-10"	3'-0"	2.5
RESIDENTIAL	P	19.97	1'-0"	3'-1"	3.1
RESIDENTIAL	P	19.98	1'-0"	6'-10"	6.8
RESIDENTIAL	P	19.99	0'-9"	4'-1"	3.0
RESIDENTIAL	P	19.100	1'-2"	6'-9"	7.8
RESIDENTIAL	P	19.101	0'-11"	4'-10"	4.3
RESIDENTIAL	P	19.102	1'-0"	6'-9"	4.9
RESIDENTIAL	P	19.103	1'-0"	6'-9"	4.9
RESIDENTIAL	P	19.104	0'-5"	3'-3"	1.3
RESIDENTIAL	P	19.105	1'-3"	3'-3"	4.2
RESIDENTIAL	P	19.106	1'-0"	4'-6"	4.7
RESIDENTIAL	P	19.107	1'-0"	3'-6"	3.6
RESIDENTIAL	P	19.108	1'-0"	1'-6"	1.5
SUBTOTAL					

22ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	724	8,677
TOTAL		9,401	724	8,677

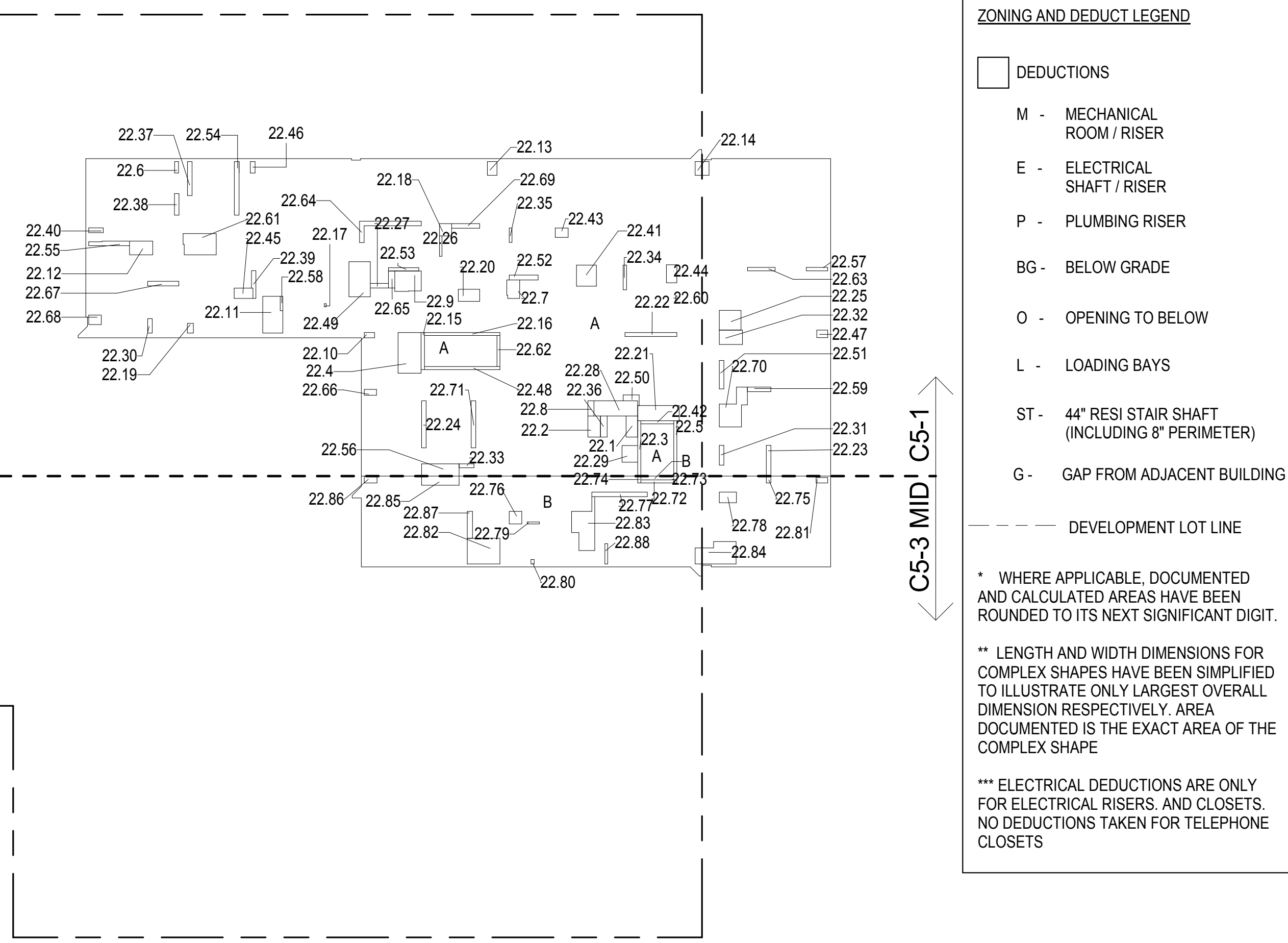
22ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	22.1	2'-7"	4'-7"	11.6
RESIDENTIAL	M	22.2	2'-9"	4'-7"	12.6
RESIDENTIAL	ST	22.3	0'-8"	12'-1"	8.0
RESIDENTIAL	E	22.4	5'-0"	8'-10"	44.6
RESIDENTIAL	ST	22.5	0'-8"	12'-1"	8.0
RESIDENTIAL	M	22.6	0'-10"	2'-6"	2.1
RESIDENTIAL	M	22.7	2'-8"	4'-1"	11.0
RESIDENTIAL	P	22.8	1'-4"	3'-4"	4.3
RESIDENTIAL	M	22.9	4'-3"	5'-11"	25.3
RESIDENTIAL	M	23.0	1'-2"	2'-3"	2.6
RESIDENTIAL	M	23.1	3'-11"	8'-5"	33.3
RESIDENTIAL	M	23.2	3'-0"	5'-1"	15.1
RESIDENTIAL	M	23.3	2'-1"	3'-0"	6.2
RESIDENTIAL	M	23.4	3'-0"	3'-0"	9.0
RESIDENTIAL	ST	23.5	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	23.6	0'-8"	16'-5"	11.0
RESIDENTIAL	M	23.7	0'-5"	0'-8"	0.3
RESIDENTIAL	M	23.8	2'-7"	2'-8"	7.0
RESIDENTIAL	M	23.9	1'-4"	2'-1"	2.8
RESIDENTIAL	M	24.0	2'-6"	4'-8"	12.3
RESIDENTIAL	M	24.1	3'-4"	9'-0"	29.6
RESIDENTIAL	P	24.2	0'-11"	11'-3"	9.9
RESIDENTIAL	P	24.3	1'-0"	6'-8"	6.7
RESIDENTIAL	P	24.4	1'-0"	10'-3"	10.2
RESIDENTIAL	M	24.5	4'-4"	4'-9"	20.6
RESIDENTIAL	P	24.6	0'-6"	4'-5"	2.3
RESIDENTIAL	P	24.7	1'-0"	4'-0"	4.0
RESIDENTIAL	M	24.8	3'-4"	9'-6"	31.4
RESIDENTIAL	M	24.9	3'-5"	3'-8"	12.5
RESIDENTIAL	P	25.0	1'-0"	3'-1"	3.1
RESIDENTIAL	P	25.1	1'-0"	4'-4"	4.3
RESIDENTIAL	M	25.2	3'-1"	5'-1"	15.7
RESIDENTIAL	P	25.3	0'-10"	3'-3"	2.7
RESIDENTIAL	P	25.4	0'-9"	5'-5"	4.0
RESIDENTIAL	P	25.5	0'-7"	3'-1"	1.9
SUBTOTAL					

22ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	22.36	1'-5"	4'-7"	6.6
RESIDENTIAL	P	22.37	1'-0"	7'-5"	7.3
RESIDENTIAL	P	22.38	1'-0"	4'-8"	4.7
RESIDENTIAL	P	22.39	0'-10"	6'-2"	5.0
RESIDENTIAL	M	22.40	1'-0"	3'-2"	3.2
RESIDENTIAL	M	22.41	4'-4"	4'-7"	19.9
RESIDENTIAL	ST	22.42	0'-8"	7'-2"	4.8
RESIDENTIAL	M	22.43	2'-0"	2'-10"	5.6
RESIDENTIAL	M	22.44	2'-3"	3'-11"	8.7
RESIDENTIAL	M	22.45	2'-3"	4'-1"	9.1
RESIDENTIAL	M	22.46	1'-0"	2'-6"	2.5
RESIDENTIAL	M	22.47	1'-7"	2'-5"	3.8
RESIDENTIAL	ST	22.48	0'-8"	16'-5"	11.0
RESIDENTIAL	P	22.49	4'-8"	7'-5"	35.7
RESIDENTIAL	M	22.50	1'-0"	4'-10"	4.8
RESIDENTIAL	P	22.51	1'-0"	6'-2"	6.3
RESIDENTIAL	P	22.52	1'-1"	6'-4"	6.6
RESIDENTIAL	P	22.53	0'-8"	6'-7"	4.5
RESIDENTIAL	P	22.54	1'-0"	11'-8"	12.0
RESIDENTIAL	P	22.55	0'-11"	8'-11"	8.4
RESIDENTIAL	M	22.56	2'-8"	8'-2"	21.6
RESIDENTIAL	M	22.57	0'-9"	4'-8"	3.5
RESIDENTIAL	P	22.58	0'-7"	3'-2"	1.8
RESIDENTIAL	P	22.59	1'-0"	5'-2"	5.1
RESIDENTIAL	M	22.60	0'-3"	1'-0"	0.3
RESIDENTIAL	M	22.61	4'-5"	7'-5"	32.8
RESIDENTIAL	ST	22.62	0'-8"	6'-9"	4.5
RESIDENTIAL	P	22.63	0'-9"	6'-0"	4.5
RESIDENTIAL	P	22.64	1'-0"	17'-1"	17.1
RESIDENTIAL	M	22.65	1'-5"	3'-8"	5.1
RESIDENTIAL	M	22.66	1'-3"	2'-8"	3.4
RESIDENTIAL	P	22.67	1'-0"	6'-10"	6.8
RESIDENTIAL	M	22.68	2'-1"	2'-9"	6.7
RESIDENTIAL	P	22.69	1'-0"	6'-1"	6.1
RESIDENTIAL	M	22.70	2'-9"	12'-1"	33.2
RESIDENTIAL	P	22.71	1'-0"	10'-3"	10.2
SUBTOTAL					724.5

22ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	2,023	188	1,836
TOTAL		2,023	188	1,836

22ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	22.72	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	22.73	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	22.74	0'-8"	1'-6"	1.0
RESIDENTIAL	P	22.75	1'-0"	1'-6"	1.5
RESIDENTIAL	M	22.76	2'-9"	2'-9"	7.5
RESIDENTIAL	P	22.77	1'-0"	12'-1"	12.1
RESIDENTIAL	M	22.78	2'-4"	3'-9"	8.6
RESIDENTIAL	P	22.79	0'-5"	2'-8"	1.1
RESIDENTIAL	M	22.80	0'-8"	0'-11"	0.7
RESIDENTIAL	M	22.81	1'-2"	2'-7"	3.0
RESIDENTIAL	M	22.82	5'-7"	7'-2"	39.8
RESIDENTIAL	M	22.83	2'-0"	14'-0"	39.1
RESIDENTIAL	M	22.84	3'-9"	10'-0"	37.7
RESIDENTIAL	M	22.85	2'-0"	8'-2"	16.3
RESIDENTIAL	M	22.86	1'-5"	2'-9"	3.9
RESIDENTIAL	P	22.87	1'-2"	5'-10"	6.8
RESIDENTIAL	P	22.88	0'-7"	4'-5"	2.7
SUBTOTAL					187.5

22ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA(SF)	
RESIDENTIAL	11,424	912	10,512	
TOTAL	11,424	912	10,512	



22ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 1

23RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	9,401	724	8,677
TOTAL		9,401	724	8,677

23RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	23.1	2'-7"	4'-7"	11.6
RESIDENTIAL	ST	23.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	23.3	2'-9"	4'-7"	12.6
RESIDENTIAL	ST	23.4	0'-8"	7'-2"	4.8
RESIDENTIAL	M	23.5	0'-3"	1'-0"	0.3
RESIDENTIAL	M	23.6	3'-5"	3'-8"	12.5
RESIDENTIAL	M	23.7	4'-4"	4'-7"	19.9
RESIDENTIAL	M	23.8	2'-8"	4'-1"	11.0
RESIDENTIAL	M	23.9	1'-0"	3'-2"	3.2
RESIDENTIAL	M	23.10	3'-0"	3'-0"	9.0
RESIDENTIAL	M	23.11	4'-3"	5'-11"	25.3
RESIDENTIAL	M	23.12	2'-0"	2'-10"	5.6
RESIDENTIAL	M	23.13	2'-3"	3'-11"	8.7
RESIDENTIAL	M	23.14	0'-9"	4'-8"	3.5
RESIDENTIAL	E	23.15	1'-5"	4'-7"	6.6
RESIDENTIAL	M	23.16	1'-2"	2'-3"	2.6
RESIDENTIAL	M	23.17	3'-11"	8'-5"	33.3
RESIDENTIAL	M	23.18	3'-0"	5'-1"	15.1
RESIDENTIAL	M	23.19	2'-1"	3'-0"	6.2
RESIDENTIAL	P	23.20	1'-0"	7'-5"	7.3
RESIDENTIAL	M	23.21	3'-4"	9'-6"	31.4
RESIDENTIAL	E	23.22	5'-0"	8'-10"	44.6
RESIDENTIAL	M	23.23	1'-0"	2'-6"	2.5
RESIDENTIAL	M	23.24	2'-3"	4'-1"	9.1
RESIDENTIAL	M	23.25	1'-7"	2'-5"	3.8
RESIDENTIAL	ST	23.26	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	23.27	0'-8"	16'-5"	11.0
RESIDENTIAL	P	23.28	1'-4"	3'-4"	4.3
RESIDENTIAL	M	23.29	4'-8"	7'-8"	35.7
RESIDENTIAL	M	23.30	1'-0"	4'-10"	4.8
RESIDENTIAL	M	23.31	1'-3"	2'-6"	3.4
RESIDENTIAL	P	23.32	0'-9"	6'-0"	4.5
RESIDENTIAL	P	23.33	1'-1"	6'-4"	6.6
RESIDENTIAL	P	23.34	1'-0"	6'-1"	6.1
RESIDENTIAL	P	23.35	0'-8"	6'-7"	4.5
SUBTOTAL					

23RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	P	23.36	1'-0"	17'-1"	17.1
RESIDENTIAL	P	23.37	1'-0"	11'-8"	12.0
RESIDENTIAL	P	23.38	1'-0"	6'-2"	6.3
RESIDENTIAL	M	23.39	0'-10"	2'-6"	2.1
RESIDENTIAL	ST	23.40	0'-8"	12'-1"	8.0
RESIDENTIAL	M	23.41	4'-5"	7'-5"	32.8
RESIDENTIAL	P	23.42	0'-11"	11'-3"	9.9
RESIDENTIAL	ST	23.43	0'-8"	16'-5"	11.0
RESIDENTIAL	M	23.44	0'-5"	0'-8"	0.3
RESIDENTIAL	ST	23.45	0'-9"	8'-1"	5.9
RESIDENTIAL	M	23.46	1'-5"	3'-8"	5.1
RESIDENTIAL	M	23.47	1'-4"	2'-1"	2.8
RESIDENTIAL	P	23.48	0'-9"	5'-5"	4.0
RESIDENTIAL	P	23.49	0'-6"	4'-5"	2.3
RESIDENTIAL	M	23.50	2'-8"	4'-8"	12.3
RESIDENTIAL	P	23.51	0'-10"	6'-2"	6.8
RESIDENTIAL	P	23.52	1'-0"	6'-10"	6.8
RESIDENTIAL	P	23.53	0'-11"	8'-11"	8.4
RESIDENTIAL	M	23.54	2'-9"	12'-1"	33.2
RESIDENTIAL	M	23.55	2'-8"	8'-2"	21.6
RESIDENTIAL	P	23.56	1'-0"	10'-3"	10.2
RESIDENTIAL	P	23.57	1'-0"	5'-2"	5.1
RESIDENTIAL	P	23.58	1'-0"	6'-8"	6.7
RESIDENTIAL	P	23.59	0'-7"	3'-2"	1.8
RESIDENTIAL	M	23.60	2'-7"	2'-8"	7.0
RESIDENTIAL	P	23.61	1'-0"	4'-0"	4.0
RESIDENTIAL	P	23.62	0'-7"	3'-1"	1.9
RESIDENTIAL	P	23.63	1'-0"	4'-4"	4.3
RESIDENTIAL	M	23.64	3'-4"	9'-0"	29.6
RESIDENTIAL	P	23.65	1'-0"	3'-1"	3.1
RESIDENTIAL	P	23.66	1'-0"	4'-8"	4.7
RESIDENTIAL	M	23.67	2'-1"	2'-9"	5.7
RESIDENTIAL	M	23.68	3'-1"	5'-1"	15.7
RESIDENTIAL	P	23.69	0'-10"	3'-3"	2.7
RESIDENTIAL	P	23.70	1'-0"	10'-3"	10.2
RESIDENTIAL	M	23.71	4'-4"	4'-9"	20.6
SUBTOTAL					724.5

23RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	2,023	188	1,836
TOTAL		2,023	188	1,836

23RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	23.72	0'-8"	7'-2"	4.8
RESIDENTIAL	M	23.73	1'-5"	2'-9"	3.9
RESIDENTIAL	ST	23.74	0'-8"	1'-6"	1.0
RESIDENTIAL	P	23.75	1'-0"	1'-6"	1.5
RESIDENTIAL	M	23.76	2'-9"	2'-9"	7.5
RESIDENTIAL	P	23.77	1'-0"	12'-1"	12.1
RESIDENTIAL	M	23.78	2'-4"	3'-9"	8.6
RESIDENTIAL	P	23.79	0'-5"	2'-8"	1.1
RESIDENTIAL	M	23.80	0'-8"	0'-11"	0.7
RESIDENTIAL	ST	23.81	0'-8"	1'-6"	1.0
RESIDENTIAL	M	23.82	5'-7"	7'-2"	39.8
RESIDENTIAL	M	23.83	3'-9"	10'-0"	37.7
RESIDENTIAL	P	23.84	0'-7"	4'-5"	2.7
RESIDENTIAL	M	23.85	1'-2"	2'-7"	3.0
RESIDENTIAL	M	23.86	2'-0"	8'-2"	16.3
RESIDENTIAL	P	23.87	1'-2"	5'-10"	6.8
RESIDENTIAL	M	23.88	2'-10"	14'-0"	39.1
SUBTOTAL					187.5

23RD FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	11,424	912	10,512
TOTAL	11,424	912	10,512

25TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	9,401	743	8,658
TOTAL		9,401	743	8,658

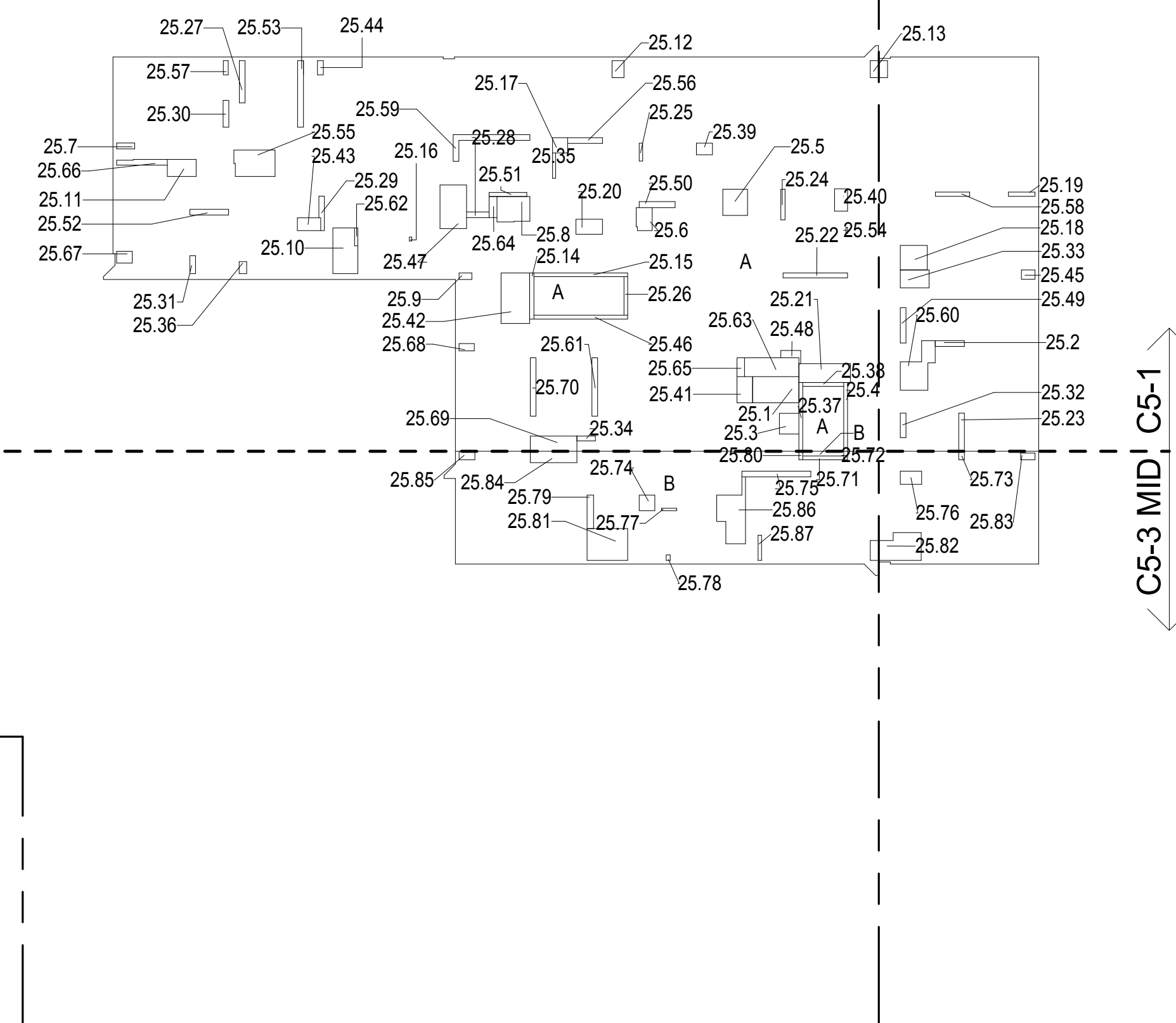
25TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	25.1	4'-7"	8'-1"	37.1
RESIDENTIAL	P	25.2	1'-0"	5'-2"	5.1
RESIDENTIAL	M	25.3	3'-5"	3'-9"	12.5
RESIDENTIAL	ST	25.4	0'-8"	12'-1"	8.0
RESIDENTIAL	M	25.5	4'-4"	4'-7"	19.9
RESIDENTIAL	M	25.6	2'-8"	4'-1"	11.0
RESIDENTIAL	M	25.7	1'-0"	3'-2"	3.2
RESIDENTIAL	M	25.8	4'-3"	5'-11"	25.3
RESIDENTIAL	M	25.9	1'-2"	2'-3"	2.6
RESIDENTIAL	M	25.10	3'-11"	8'-5"	33.3
RESIDENTIAL	M	25.11	3'-0"	5'-1"	15.1
RESIDENTIAL	M	25.12	2'-1"	3'-0"	6.2
RESIDENTIAL	M	25.13	3'-0"	3'-0"	9.0
RESIDENTIAL	ST	25.14	0'-9"	8'-1"	5.9
RESIDENTIAL	ST	25.15	0'-8"	16'-5"	11.0
RESIDENTIAL	M	25.16	0'-5"	0'-8"	0.3
RESIDENTIAL	M	25.17	2'-7"	2'-8"	7.0
RESIDENTIAL	M	25.18	4'-4"	4'-9"	20.6
RESIDENTIAL	M	25.19	0'-9"	4'-8"	3.5
RESIDENTIAL	M	25.20	2'-8"	4'-8"	12.3
RESIDENTIAL	M	25.21	3'-4"	9'-0"	29.6
RESIDENTIAL	P	25.22	0'-11"	11'-3"	9.9
RESIDENTIAL	P	25.23	1'-0"	6'-8"	6.7
RESIDENTIAL	P	25.24	0'-9"	5'-5"	4.0
RESIDENTIAL	P	25.25	0'-7"	3'-1"	1.9
RESIDENTIAL	ST	25.26	0'-8"	6'-9"	4.5
RESIDENTIAL	P	25.27	1'-0"	7'-5"	7.3
RESIDENTIAL	P	25.28	1'-0"	4'-0"	4.0
RESIDENTIAL	P	25.29	0'-10"	6'-2"	5.0
RESIDENTIAL	P	25.30	1'-0"	4'-8"	4.7
RESIDENTIAL	P	25.31	1'-0"	3'-1"	3.1
RESIDENTIAL	P	25.32	1'-0"	4'-4"	4.3
RESIDENTIAL	M	25.33	3'-1"	5'-1"	15.7
RESIDENTIAL	P	25.34	0'-10"	3'-3"	2.7
RESIDENTIAL	P	25.35	0'-6"	4'-5"	2.3
SUBTOTAL					

25TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	25.36	1'-4"	2'-1"	2.8
RESIDENTIAL	ST	25.37	0'-8"	12'-1"	8.0
RESIDENTIAL	ST	25.38	0'-8"	7'-2"	4.8
RESIDENTIAL	M	25.39	2'-0"	2'-10"	5.6
RESIDENTIAL	M	25.40	2'-3"	3'-11"	8.7
RESIDENTIAL	M	25.41	2'-9"	4'-7"	12.6
RESIDENTIAL	E	25.42	5'-0"	8'-10"	44.6
RESIDENTIAL	M	25.43	2'-3"	4'-1"	9.1
RESIDENTIAL	M	25.44	1'-0"	2'-6"	2.5
RESIDENTIAL	M	25.45	1'-7"	2'-5"	3.8
RESIDENTIAL	ST	25.46	0'-8"	16'-5"	11.0
RESIDENTIAL	M	25.47	4'-8"	7'-8"	35.7
RESIDENTIAL	M	25.48	1'-0"	4'-10"	4.8
RESIDENTIAL	P	25.49	1'-0"	6'-2"	6.3
RESIDENTIAL	P	25.50	1'-1"	6'-4"	6.6
RESIDENTIAL	P	25.51	0'-8"	6'-7"	4.5
RESIDENTIAL	P	25.52	1'-0"	6'-10"	6.8
RESIDENTIAL	P	25.53	1'-0"	11'-8"	12.0
RESIDENTIAL	M	25.54	0'-3"	1'-0"	0.3
RESIDENTIAL	M	25.55	4'-5"	7'-5"	32.8
RESIDENTIAL	P	25.56	1'-0"	6'-1"	6.1
RESIDENTIAL	M	25.57	0'-10"	2'-6"	2.1
RESIDENTIAL	P	25.58	0'-9"	6'-0"	4.5
RESIDENTIAL	P	25.59	1'-0"	17'-1"	17.1
RESIDENTIAL	M	25.60	2'-9"	12'-1"	33.2
RESIDENTIAL	P	25.61	1'-0"	10'-3"	10.2
RESIDENTIAL	P	25.62	0'-7"	3'-2"	1.8
RESIDENTIAL	M	25.63	3'-4"	9'-6"	31.4
RESIDENTIAL	M	25.64	1'-5"	3'-8"	5.1
RESIDENTIAL	P	25.65	1'-4"	3'-4"	4.3
RESIDENTIAL	P	25.66	0'-11"	8'-11"	8.4
RESIDENTIAL	M	25.67	2'-1"	2'-9"	5.7
RESIDENTIAL	M	25.68	1'-3"	2'-8"	3.4
RESIDENTIAL	M	25.69	2'-8"	8'-2"	21.6
RESIDENTIAL	P	25.70	1'-0"	10'-3"	10.2
SUBTOTAL					743.4

25TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	2,023	188	1,836
TOTAL		2,023	188	1,836

25TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	25.71	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	25.72	0'-8"	1'-6"	1.0
RESIDENTIAL	P	25.73	1'-0"	1'-6"	1.5
RESIDENTIAL	M	25.74	2'-9"	2'-9"	7.5
RESIDENTIAL	P	25.75	1'-0"	12'-1"	12.1
RESIDENTIAL	M	25.76	2'-4"	3'-9"	8.6
RESIDENTIAL	P	25.77	0'-5"	2'-8"	1.1
RESIDENTIAL	M	25.78	0'-8"	0'-11"	0.7
RESIDENTIAL	P	25.79	1'-2"	5'-10"	6.8
RESIDENTIAL	ST	25.80	0'-8"	1'-6"	1.0
RESIDENTIAL	M	25.81	5'-7"	7'-2"	39.8
RESIDENTIAL	M	25.82	3'-9"	10'-0"	37.7
RESIDENTIAL	M	25.83	1'-2"	2'-7"	3.0
RESIDENTIAL	M	25.84	2'-0"	8'-2"	16.3
RESIDENTIAL	M	25.85	1'-5"	2'-9"	3.9
RESIDENTIAL	M	25.86	2'-10"	14'-0"	39.1
RESIDENTIAL	P	25.87	0'-7"	4'-5"	2.7
SUBTOTAL					187.5

25TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	11,424	931	10,494	
TOTAL	11,424	931	10,494	



25TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

1

26TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	9,401	724	8,677
TOTAL		9,401	724	8,677

26TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	26.1	2'-7"	4'-7"	11.6
RESIDENTIAL	ST	26.2	0'-8"	12'-1"	8.0
RESIDENTIAL	M	26.3	3'-4"	9'-6"	31.4
RESIDENTIAL	M	26.4	2'-9"	4'-7"	12.6
RESIDENTIAL	M	26.5	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	26.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	26.7	0'-8"	12'-1"	8.0
RESIDENTIAL	M	26.8	0'-3"	1'-0"	0.3
RESIDENTIAL	M	26.9	2'-0"	2'-10"	5.6
RESIDENTIAL	E	26.10	5'-0"	8'-10"	44.6
RESIDENTIAL	M	26.11	2'-3"	3'-11"	8.7
RESIDENTIAL	M	26.12	1'-5"	3'-8"	5.1
RESIDENTIAL	M	26.13	2'-3"	4'-1"	9.1
RESIDENTIAL	M	26.14	4'-5"	7'-5"	32.8
RESIDENTIAL	M	26.15	1'-0"	2'-6"	2.5
RESIDENTIAL	M	26.16	2'-1"	2'-9"	5.7
RESIDENTIAL	M	26.17	1'-7"	2'-5"	3.8
RESIDENTIAL	ST	26.18	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	26.19	0'-8"	16'-5"	11.0
RESIDENTIAL	P	26.20	1'-4"	3'-4"	4.3
RESIDENTIAL	M	26.21	4'-8"	7'-8"	35.7
RESIDENTIAL	M	26.22	0'-10"	2'-5"	2.1
RESIDENTIAL	M	26.23	1'-0"	4'-10"	4.8
RESIDENTIAL	M	26.24	1'-3"	2'-8"	3.4
RESIDENTIAL	P	26.25	1'-0"	6'-2"	6.3
RESIDENTIAL	P	26.26	0'-9"	6'-0"	4.5
RESIDENTIAL	P	26.27	1'-1"	6'-4"	6.6
RESIDENTIAL	P	26.28	1'-0"	6'-1"	6.1
RESIDENTIAL	P	26.29	0'-8"	6'-7"	4.5
RESIDENTIAL	P	26.30	1'-0"	17'-1"	17.1
RESIDENTIAL	P	26.31	1'-0"	11'-8"	12.0
RESIDENTIAL	P	26.32	1'-0"	6'-10"	6.8
RESIDENTIAL	P	26.33	0'-11"	8'-11"	8.4
RESIDENTIAL	M	26.34	2'-9"	12'-1"	33.2
RESIDENTIAL	M	26.35	2'-8"	8'-2"	21.6
SUBTOTAL					

26TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	26.36	4'-4"	4'-7"	19.9
RESIDENTIAL	P	26.37	1'-0"	10'-3"	10.2
RESIDENTIAL	M	26.38	4'-3"	5'-11"	25.3
RESIDENTIAL	M	26.39	3'-11"	8'-5"	33.3
RESIDENTIAL	M	26.40	2'-1"	3'-0"	6.2
RESIDENTIAL	M	26.41	2'-8"	4'-1"	11.0
RESIDENTIAL	M	26.42	1'-0"	3'-2"	3.2
RESIDENTIAL	M	26.43	3'-0"	5'-1"	15.1
RESIDENTIAL	ST	26.44	0'-9"	8'-1"	5.9
RESIDENTIAL	M	26.45	0'-5"	0'-8"	0.3
RESIDENTIAL	M	26.46	1'-4"	2'-1"	2.8
RESIDENTIAL	M	26.47	3'-4"	9'-0"	29.6
RESIDENTIAL	P	26.48	1'-0"	6'-8"	6.7
RESIDENTIAL	P	26.49	0'-7"	3'-1"	1.9
RESIDENTIAL	M	26.50	1'-2"	2'-9"	2.6
RESIDENTIAL	ST	26.51	0'-8"	16'-5"	11.0
RESIDENTIAL	E	26.52	1'-5"	4'-7"	6.6
RESIDENTIAL	P	26.53	1'-0"	10'-3"	10.2
RESIDENTIAL	P	26.54	0'-9"	5'-5"	4.0
RESIDENTIAL	P	26.55	0'-6"	4'-5"	2.3
RESIDENTIAL	P	26.56	0'-7"	3'-2"	1.8
RESIDENTIAL	P	26.57	1'-0"	4'-8"	4.7
RESIDENTIAL	P	26.58	1'-0"	4'-4"	4.3
RESIDENTIAL	P	26.59	0'-10"	3'-3"	2.7
RESIDENTIAL	P	26.60	1'-0"	5'-2"	5.1
RESIDENTIAL	M	26.61	3'-0"	3'-0"	9.0
RESIDENTIAL	P	26.62	0'-11"	11'-3"	9.9
RESIDENTIAL	P	26.63	0'-10"	6'-2"	5.0
RESIDENTIAL	M	26.64	3'-1"	5'-1"	15.7
RESIDENTIAL	M	26.65	4'-4"	4'-9"	20.6
RESIDENTIAL	P	26.66	1'-0"	7'-5"	7.3
RESIDENTIAL	M	26.67	2'-8"	4'-8"	12.3
RESIDENTIAL	P	26.68	1'-0"	4'-0"	4.0
RESIDENTIAL	M	26.69	2'-7"	2'-8"	7.0
RESIDENTIAL	P	26.70	1'-0"	3'-1"	3.1
RESIDENTIAL	M	26.71	0'-9"	4'-8"	3.5
SUBTOTAL					724.5

26TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	2,023	188	1,836
TOTAL		2,023	188	1,836

26TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	26.72	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	26.73	0'-8"	1'-6"	1.0
RESIDENTIAL	P	26.74	1'-0"	1'-6"	1.5
RESIDENTIAL	M	26.75	2'-0"	2'-9"	7.5
RESIDENTIAL	P	26.76	1'-0"	12'-1"	12.1
RESIDENTIAL	M	26.77	2'-4"	3'-9"	8.6
RESIDENTIAL	P	26.78	0'-5"	2'-8"	1.1
RESIDENTIAL	M	26.79	0'-8"	0'-11"	0.7
RESIDENTIAL	ST	26.80	0'-8"	1'-6"	1.0
RESIDENTIAL	M	26.81	5'-7"	7'-2"	39.8
RESIDENTIAL	M	26.82	3'-9"	10'-0"	37.7
RESIDENTIAL	M	26.83	1'-2"	2'-7"	3.0
RESIDENTIAL	M	26.84	2'-10"	14'-0"	39.1
RESIDENTIAL	M	26.85	2'-0"	8'-2"	16.3
RESIDENTIAL	P	26.86	0'-7"	4'-5"	2.7
RESIDENTIAL	P	26.87	1'-2"	5'-10"	6.8
RESIDENTIAL	M	26.88	1'-5"	2'-9"	3.9
SUBTOTAL					187.5

26TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	11,424	912	10,512
TOTAL	11,424	912	10,512

31ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*TFA(SF)
RESIDENTIAL	A	7,060	490	6,571
TOTAL		7,060	490	6,571

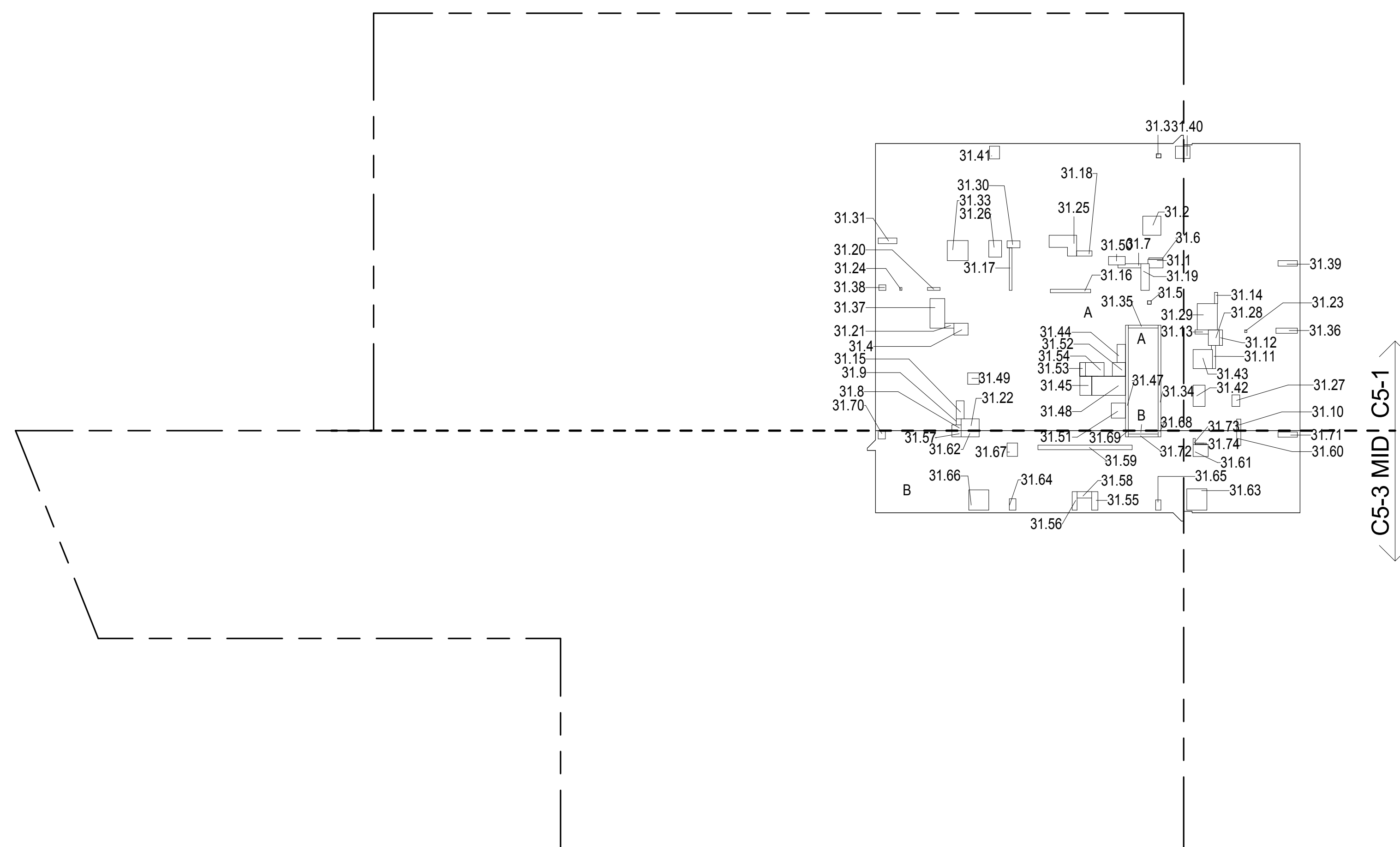
31ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	31.1	1'-11"	3'-9"	7.1
RESIDENTIAL	M	31.2	4'-4"	4'-7"	19.9
RESIDENTIAL	M	31.3	0'-11"	1'-1"	1.0
RESIDENTIAL	P	31.4	2'-10"	3'-5"	9.0
RESIDENTIAL	P	31.5	0'-10"	0'-11"	0.7
RESIDENTIAL	P	31.6	0'-4"	3'-5"	1.2
RESIDENTIAL	P	31.7	0'-11"	5'-8"	5.0
RESIDENTIAL	P	31.8	1'-4"	2'-3"	3.1
RESIDENTIAL	P	31.9	1'-2"	1'-6"	1.8
RESIDENTIAL	P	31.10	1'-0"	2'-9"	2.8
RESIDENTIAL	P	31.11	0'-9"	5'-10"	4.8
RESIDENTIAL	P	31.12	0'-9"	3'-9"	2.8
RESIDENTIAL	P	31.13	1'-0"	3'-2"	3.2
RESIDENTIAL	P	31.14	0'-9"	2'-8"	2.0
RESIDENTIAL	P	31.15	1'-11"	4'-4"	8.2
RESIDENTIAL	P	31.16	0'-10"	9'-8"	7.9
RESIDENTIAL	P	31.17	0'-8"	10'-3"	6.8
RESIDENTIAL	P	31.18	1'-3"	3'-8"	4.6
RESIDENTIAL	P	31.19	2'-0"	6'-5"	12.9
RESIDENTIAL	P	31.20	0'-8"	3'-0"	2.0
RESIDENTIAL	P	31.21	1'-2"	2'-2"	2.5
RESIDENTIAL	M	31.22	2'-10"	4'-4"	12.3
RESIDENTIAL	M	31.23	0'-6"	0'-8"	0.4
RESIDENTIAL	M	31.24	0'-6"	0'-8"	0.4
RESIDENTIAL	M	31.25	2'-8"	8'-11"	23.8
RESIDENTIAL	M	31.26	3'-1"	4'-0"	12.3
RESIDENTIAL	M	31.27	2'-0"	2'-8"	5.3
RESIDENTIAL	M	31.28	2'-8"	3'-9"	10.0
RESIDENTIAL	M	31.29	4'-10"	6'-3"	30.3
RESIDENTIAL	M	31.30	1'-8"	3'-1"	5.1
RESIDENTIAL	M	31.31	1'-4"	4'-6"	6.0
RESIDENTIAL	M	31.33	4'-10"	5'-0"	24.2
RESIDENTIAL	ST	31.34	0'-8"	25'-5"	16.9
RESIDENTIAL	ST	31.35	0'-8"	7'-2"	4.8
RESIDENTIAL	M	31.36	1'-3"	5'-2"	6.5
SUBTOTAL					

31ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	31.37	3'-7"	7'-1"	25.4
RESIDENTIAL	M	31.38	1'-4"	1'-8"	2.2
RESIDENTIAL	M	31.39	1'-4"	4'-8"	6.2
RESIDENTIAL	M	31.40	2'-11"	3'-6"	10.4
RESIDENTIAL	M	31.41	2'-5"	3'-1"	7.4
RESIDENTIAL	M	31.42	2'-11"	5'-1"	14.8
RESIDENTIAL	M	31.43	4'-7"	4'-8"	21.4
RESIDENTIAL	M	31.44	2'-1"	4'-5"	8.9
RESIDENTIAL	M	31.45	2'-11"	4'-7"	13.2
RESIDENTIAL	ST	31.47	0'-8"	25'-5"	16.9
RESIDENTIAL	E	31.48	4'-7"	8'-1"	37.1
RESIDENTIAL	M	31.49	2'-9"	2'-9"	7.5
RESIDENTIAL	M	31.50	1'-1"	4'-0"	8.2
RESIDENTIAL	M	31.51	3'-5"	3'-8"	12.5
RESIDENTIAL	M	31.52	3'-2"	3'-4"	10.4
RESIDENTIAL	P	31.53	1'-4"	3'-4"	4.3
RESIDENTIAL	M	31.54	3'-4"	4'-6"	14.8
SUBTOTAL					489.6

31ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*TFA(SF)
RESIDENTIAL	B	2,023	147	1,876
TOTAL		2,023	147	1,876

31ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	31.55	1'-6"	4'-5"	6.7
RESIDENTIAL	P	31.56	1'-2"	4'-5"	5.2
RESIDENTIAL	P	31.57	1'-6"	2'-3"	3.4
RESIDENTIAL	P	31.58	1'-7"	3'-6"	5.4
RESIDENTIAL	P	31.59	1'-1"	22'-8"	24.5
RESIDENTIAL	P	31.60	1'-0"	3'-6"	3.5
RESIDENTIAL	M	31.61	2'-11"	3'-8"	10.5
RESIDENTIAL	M	31.62	1'-6"	4'-4"	6.5
RESIDENTIAL	M	31.63	4'-10"	5'-1"	24.7
RESIDENTIAL	M	31.64	1'-8"	2'-9"	4.5
RESIDENTIAL	M	31.65	1'-3"	2'-5"	3.1
RESIDENTIAL	M	31.66	4'-10"	4'-10"	23.5
RESIDENTIAL	M	31.67	2'-6"	3'-2"	8.0
RESIDENTIAL	ST	31.68	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	31.69	0'-8"	1'-6"	1.0
RESIDENTIAL	M	31.70	1'-9"	2'-0"	3.4
RESIDENTIAL	M	31.71	1'-3"	4'-8"	5.9
RESIDENTIAL	ST	31.72	0'-8"	7'-2"	4.8
RESIDENTIAL	P	31.73	0'-6"	1'-5"	0.7
RESIDENTIAL	P	31.74	0'-4"	2'-8"	0.8
SUBTOTAL					147.1

31ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*TFA(SF)	
RESIDENTIAL	9,083	637	8,447	
TOTAL	9,083	637	8,447	



ZONING AND DEDUCT LEGEND	
<input type="checkbox"/>	DEDUCTIONS
M	MECHANICAL ROOM / RISER
E	ELECTRICAL SHAFT / RISER
P	PLUMBING RISER
BG	BELOW GRADE
O	OPENING TO BELOW
L	LOADING BAYS
ST	44\"/>

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

31ST FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
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32ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*TFA(SF)
RESIDENTIAL	A	7,060	490	6,571
TOTAL		7,060	490	6,571

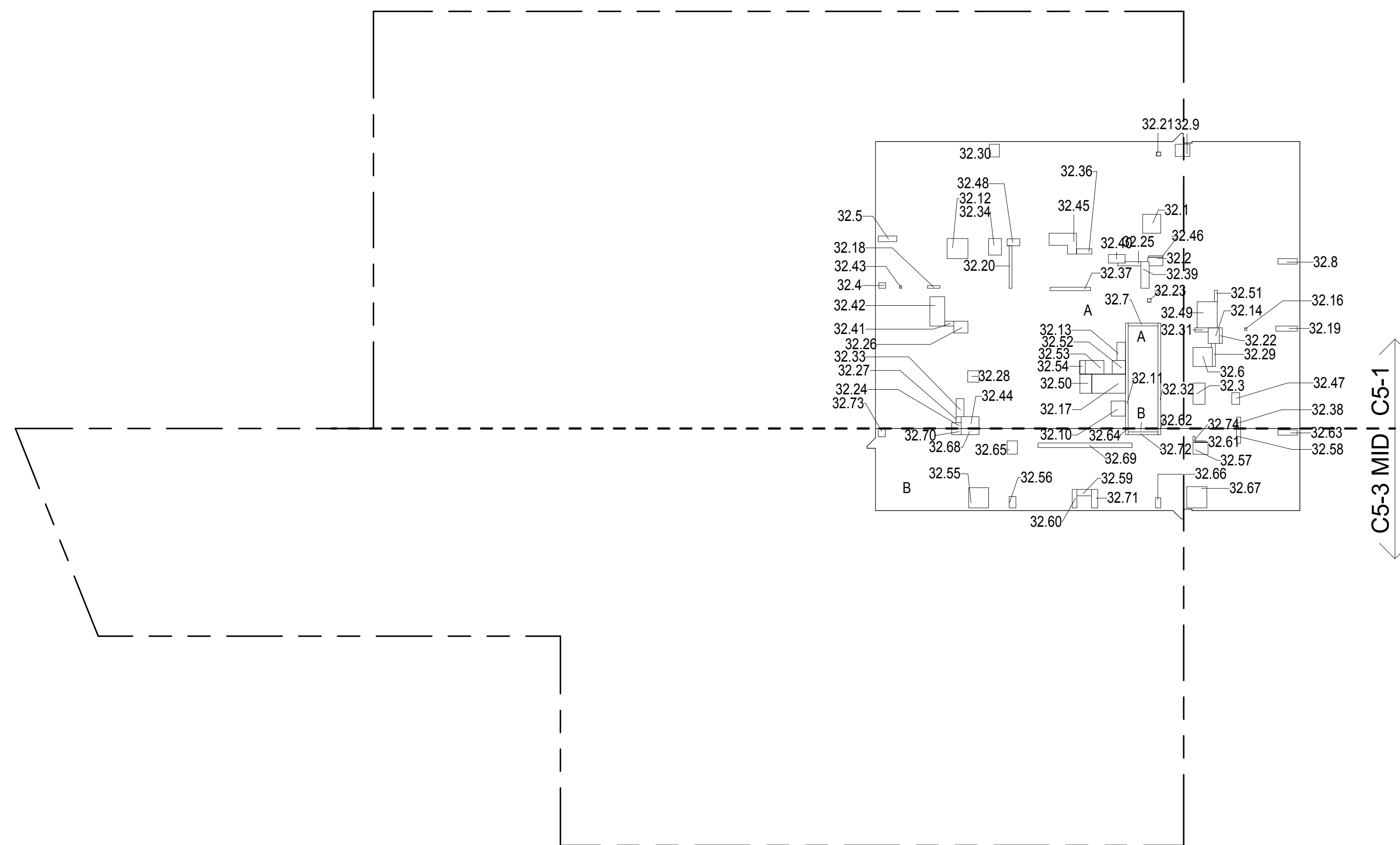
32ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	32.1	4'-4"	4'-7"	19.9
RESIDENTIAL	M	32.2	1'-11"	3'-9"	7.1
RESIDENTIAL	M	32.3	2'-11"	5'-1"	14.8
RESIDENTIAL	M	32.4	1'-4"	1'-8"	2.2
RESIDENTIAL	M	32.5	1'-4"	4'-6"	6.0
RESIDENTIAL	M	32.6	4'-7"	4'-8"	21.4
RESIDENTIAL	ST	32.7	0'-8"	7'-2"	4.8
RESIDENTIAL	M	32.8	1'-4"	4'-8"	6.2
RESIDENTIAL	M	32.9	2'-11"	3'-6"	10.4
RESIDENTIAL	M	32.10	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	32.11	0'-8"	25'-5"	16.9
RESIDENTIAL	M	32.12	4'-10"	5'-0"	24.2
RESIDENTIAL	M	32.13	2'-1"	4'-5"	8.9
RESIDENTIAL	M	32.14	2'-8"	3'-9"	10.0
RESIDENTIAL	M	32.16	0'-6"	0'-8"	0.4
RESIDENTIAL	E	32.17	4'-7"	8'-1"	37.1
RESIDENTIAL	P	32.18	0'-8"	3'-0"	2.0
RESIDENTIAL	M	32.19	1'-3"	5'-2"	6.5
RESIDENTIAL	P	32.20	0'-8"	10'-3"	6.8
RESIDENTIAL	M	32.21	0'-11"	1'-1"	1.0
RESIDENTIAL	P	32.22	0'-9"	3'-9"	2.8
RESIDENTIAL	P	32.23	0'-10"	0'-11"	0.7
RESIDENTIAL	P	32.24	1'-4"	2'-3"	3.1
RESIDENTIAL	P	32.25	0'-11"	5'-8"	5.0
RESIDENTIAL	P	32.26	2'-10"	3'-5"	9.6
RESIDENTIAL	P	32.27	1'-2"	1'-6"	1.8
RESIDENTIAL	M	32.28	2'-9"	2'-9"	7.5
RESIDENTIAL	P	32.29	0'-9"	5'-10"	4.4
RESIDENTIAL	M	32.30	2'-5"	3'-1"	7.4
RESIDENTIAL	P	32.31	1'-0"	3'-2"	3.2
RESIDENTIAL	ST	32.32	0'-8"	25'-5"	16.9
RESIDENTIAL	P	32.33	1'-11"	4'-4"	8.2
RESIDENTIAL	M	32.34	3'-1"	4'-0"	12.3
RESIDENTIAL	P	32.36	1'-3"	3'-8"	4.6
RESIDENTIAL	P	32.37	0'-10"	9'-8"	7.9
SUBTOTAL					

32ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	32.38	1'-0"	2'-9"	2.8
RESIDENTIAL	P	32.39	2'-0"	6'-5"	12.9
RESIDENTIAL	M	32.40	2'-1"	4'-0"	8.2
RESIDENTIAL	P	32.41	1'-2"	2'-2"	2.5
RESIDENTIAL	M	32.42	3'-7"	7'-1"	25.4
RESIDENTIAL	M	32.43	0'-6"	0'-8"	0.4
RESIDENTIAL	M	32.44	2'-10"	4'-4"	12.3
RESIDENTIAL	M	32.45	2'-8"	8'-11"	23.8
RESIDENTIAL	P	32.46	0'-4"	3'-5"	1.2
RESIDENTIAL	M	32.47	2'-0"	2'-8"	5.3
RESIDENTIAL	M	32.48	1'-8"	3'-1"	5.1
RESIDENTIAL	M	32.49	4'-10"	6'-3"	30.3
RESIDENTIAL	M	32.50	2'-11"	4'-7"	13.2
RESIDENTIAL	P	32.51	0'-9"	2'-8"	2.0
RESIDENTIAL	M	32.52	3'-2"	3'-4"	10.4
RESIDENTIAL	M	32.53	3'-4"	4'-6"	14.8
RESIDENTIAL	P	32.54	1'-4"	3'-4"	4.3
SUBTOTAL					489.6

32ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*TFA(SF)
RESIDENTIAL	B	2,023	147	1,876
TOTAL		2,023	147	1,876

2ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	32.55	4'-10"	4'-10"	23.5
RESIDENTIAL	M	32.56	1'-8"	2'-9"	4.5
RESIDENTIAL	M	32.57	2'-11"	3'-8"	10.5
RESIDENTIAL	P	32.58	1'-0"	3'-6"	3.5
RESIDENTIAL	P	32.59	1'-7"	3'-6"	5.4
RESIDENTIAL	P	32.60	1'-2"	4'-5"	5.2
RESIDENTIAL	P	32.61	0'-4"	2'-8"	0.8
RESIDENTIAL	ST	32.62	0'-8"	1'-6"	1.0
RESIDENTIAL	M	32.63	1'-3"	4'-8"	5.9
RESIDENTIAL	ST	32.64	0'-8"	1'-6"	1.0
RESIDENTIAL	M	32.65	2'-6"	3'-2"	8.0
RESIDENTIAL	M	32.66	1'-3"	2'-5"	3.1
RESIDENTIAL	M	32.67	4'-6"	5'-1"	24.7
RESIDENTIAL	M	32.68	1'-6"	4'-4"	6.5
RESIDENTIAL	P	32.69	1'-1"	22'-8"	24.5
RESIDENTIAL	P	32.70	1'-6"	2'-3"	3.4
RESIDENTIAL	P	32.71	1'-6"	4'-5"	6.7
RESIDENTIAL	ST	32.72	0'-8"	7'-2"	4.8
RESIDENTIAL	M	32.73	1'-9"	2'-0"	3.4
RESIDENTIAL	P	32.74	0'-6"	1'-5"	0.7
SUBTOTAL					147.1

32ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*TFA(SF)	
RESIDENTIAL	9,083	637	8,447	
TOTAL	9,083	637	8,447	



32ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
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33RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*TFA(SF)
RESIDENTIAL	A	7,060	471	6,589
TOTAL		7,060	471	6,589

33RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	33.1	3'-1"	5'-2"	15.7
RESIDENTIAL	P	33.2	0'-9"	5'-10"	4.4
RESIDENTIAL	P	33.3	0'-10"	0'-11"	0.7
RESIDENTIAL	E	33.4	2'-7"	4'-7"	11.6
RESIDENTIAL	P	33.5	0'-11"	5'-8"	5.0
RESIDENTIAL	M	33.6	2'-1"	4'-5"	8.9
RESIDENTIAL	M	33.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	33.8	2'-11"	3'-6"	10.4
RESIDENTIAL	M	33.9	0'-11"	1'-1"	1.0
RESIDENTIAL	ST	33.10	0'-8"	25'-5"	16.9
RESIDENTIAL	P	33.11	1'-2"	3'-3"	3.9
RESIDENTIAL	M	33.12	1'-4"	4'-6"	6.0
RESIDENTIAL	M	33.13	4'-10"	6'-3"	30.8
RESIDENTIAL	M	33.14	2'-0"	2'-8"	5.5
RESIDENTIAL	M	33.15	2'-8"	8'-11"	23.9
RESIDENTIAL	P	33.16	2'-10"	3'-5"	9.0
RESIDENTIAL	P	33.17	0'-8"	10'-3"	6.0
RESIDENTIAL	P	33.18	0'-9"	2'-8"	2.0
RESIDENTIAL	P	33.19	0'-9"	3'-9"	2.2
RESIDENTIAL	P	33.20	0'-10"	9'-9"	2.2
RESIDENTIAL	P	33.21	1'-4"	2'-3"	3.0
RESIDENTIAL	P	33.22	0'-4"	3'-5"	1.0
RESIDENTIAL	M	33.23	2'-1"	4'-0"	8.9
RESIDENTIAL	M	33.24	4'-4"	4'-7"	19.7
RESIDENTIAL	M	33.25	2'-9"	2'-9"	7.0
RESIDENTIAL	ST	33.26	0'-8"	25'-5"	16.9
RESIDENTIAL	M	33.27	4'-7"	4'-8"	21.4
RESIDENTIAL	M	33.28	1'-4"	4'-8"	6.0
RESIDENTIAL	M	33.29	3'-7"	7'-1"	25.5
RESIDENTIAL	M	33.30	3'-5"	3'-8"	12.0
RESIDENTIAL	E	33.31	1'-5"	4'-7"	6.0
RESIDENTIAL	M	33.32	1'-5"	4'-7"	6.0
RESIDENTIAL	M	33.33	3'-1"	4'-0"	12.0
RESIDENTIAL	M	33.34	0'-8"	0'-8"	0.0
RESIDENTIAL	P	33.35	1'-2"	2'-2"	2.0
SUBTOTAL					

37TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,060	490	6,570
TOTAL		7,060	490	6,570

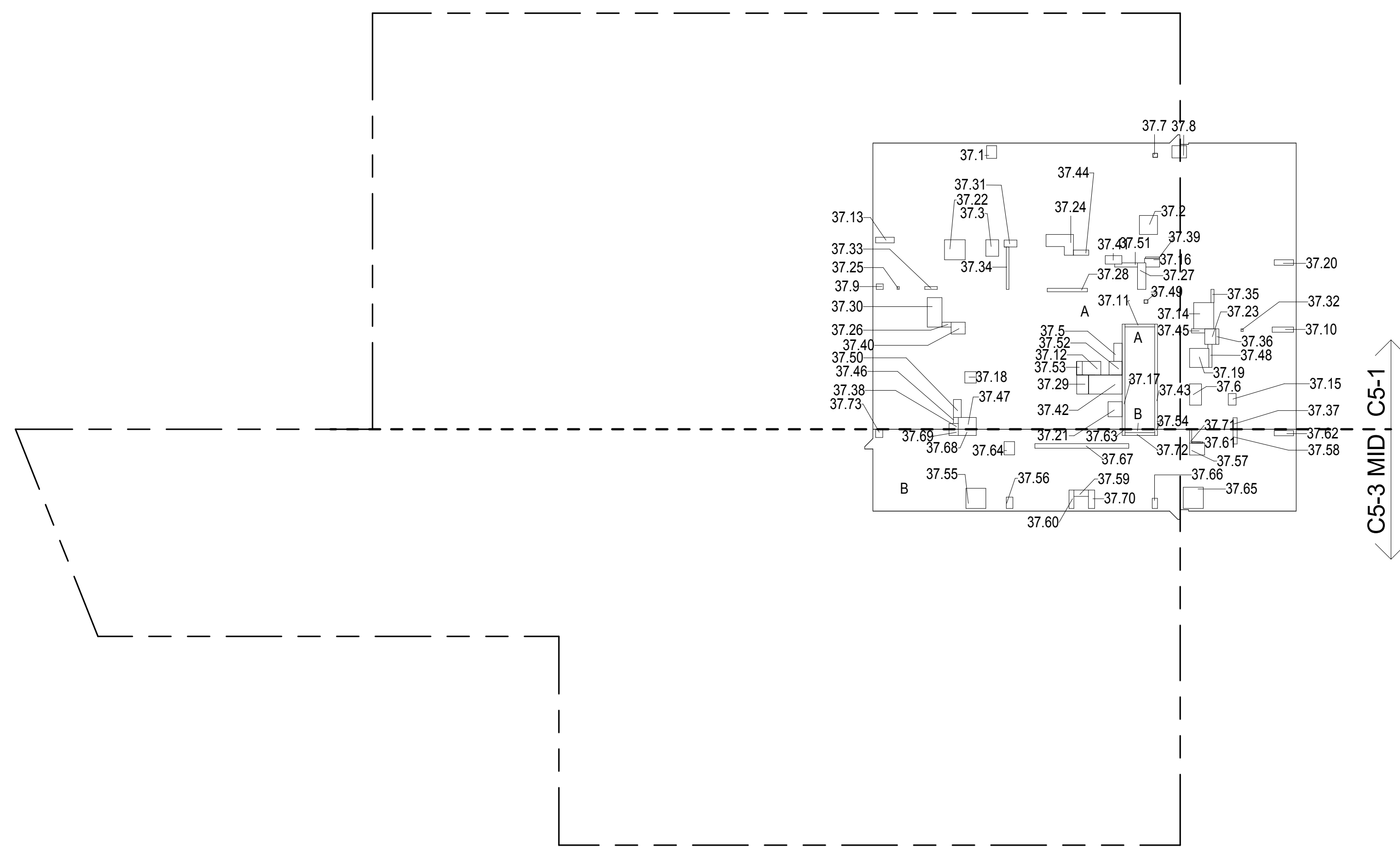
37TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	37.1	2'-5"	3'-1"	7.4
RESIDENTIAL	M	37.2	4'-4"	4'-7"	19.9
RESIDENTIAL	M	37.3	3'-1"	4'-0"	12.3
RESIDENTIAL	M	37.5	2'-1"	4'-5"	8.9
RESIDENTIAL	M	37.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	37.7	0'-11"	1'-1"	1.0
RESIDENTIAL	M	37.8	2'-11"	3'-6"	10.4
RESIDENTIAL	M	37.9	1'-4"	1'-8"	2.2
RESIDENTIAL	M	37.10	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	37.11	0'-8"	7'-2"	4.8
RESIDENTIAL	M	37.12	3'-4"	4'-6"	14.8
RESIDENTIAL	M	37.13	1'-4"	4'-6"	6.0
RESIDENTIAL	M	37.14	4'-10"	6'-3"	30.3
RESIDENTIAL	M	37.15	2'-0"	2'-8"	5.3
RESIDENTIAL	M	37.16	1'-11"	3'-9"	7.1
RESIDENTIAL	ST	37.17	0'-8"	25'-5"	16.9
RESIDENTIAL	M	37.18	2'-9"	2'-9"	7.5
RESIDENTIAL	M	37.19	4'-7"	4'-8"	21.4
RESIDENTIAL	M	37.20	1'-4"	4'-8"	6.2
RESIDENTIAL	M	37.21	3'-5"	3'-8"	12.5
RESIDENTIAL	M	37.22	4'-10"	5'-0"	24.2
RESIDENTIAL	M	37.23	2'-8"	3'-9"	10.0
RESIDENTIAL	M	37.24	2'-8"	8'-11"	23.8
RESIDENTIAL	M	37.25	0'-6"	0'-8"	0.4
RESIDENTIAL	P	37.26	1'-2"	2'-2"	2.5
RESIDENTIAL	P	37.27	2'-0"	6'-5"	12.9
RESIDENTIAL	P	37.28	0'-10"	9'-8"	7.9
RESIDENTIAL	M	37.29	2'-11"	4'-7"	13.2
RESIDENTIAL	M	37.30	3'-7"	7'-1"	25.4
RESIDENTIAL	M	37.31	1'-8"	2'-1"	5.1
RESIDENTIAL	M	37.32	0'-6"	0'-8"	0.4
RESIDENTIAL	P	37.33	0'-8"	3'-0"	2.0
RESIDENTIAL	P	37.34	0'-8"	10'-3"	6.8
RESIDENTIAL	P	37.35	0'-9"	3'-2"	2.4
RESIDENTIAL	P	37.36	0'-9"	3'-9"	2.8
SUBTOTAL					

37TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	P	37.37	1'-0"	2'-9"	2.8
RESIDENTIAL	P	37.38	1'-4"	2'-3"	3.1
RESIDENTIAL	P	37.39	0'-4"	3'-5"	1.2
RESIDENTIAL	P	37.40	2'-10"	3'-5"	9.6
RESIDENTIAL	M	37.41	2'-11"	4'-0"	8.2
RESIDENTIAL	E	37.42	4'-7"	8'-1"	37.1
RESIDENTIAL	ST	37.43	0'-8"	25'-5"	16.9
RESIDENTIAL	P	37.44	1'-3"	3'-8"	4.6
RESIDENTIAL	P	37.45	1'-0"	3'-2"	3.2
RESIDENTIAL	P	37.46	1'-2"	1'-6"	1.8
RESIDENTIAL	M	37.47	2'-10"	4'-4"	12.3
RESIDENTIAL	P	37.48	0'-9"	5'-10"	4.4
RESIDENTIAL	P	37.49	0'-10"	0'-11"	0.7
RESIDENTIAL	P	37.50	1'-11"	4'-4"	8.2
RESIDENTIAL	P	37.51	0'-11"	5'-8"	5.0
RESIDENTIAL	M	37.52	3'-2"	3'-4"	10.4
RESIDENTIAL	P	37.53	1'-4"	3'-4"	4.3
SUBTOTAL					489.9

37TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	2,023	148	1,875
TOTAL		2,023	148	1,875

37TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	37.54	0'-8"	1'-6"	1.0
RESIDENTIAL	M	37.55	4'-10"	4'-10"	23.5
RESIDENTIAL	M	37.56	1'-8"	2'-9"	4.5
RESIDENTIAL	M	37.57	2'-11"	3'-8"	10.5
RESIDENTIAL	P	37.58	1'-0"	3'-6"	3.5
RESIDENTIAL	P	37.59	1'-7"	3'-6"	5.4
RESIDENTIAL	P	37.60	1'-2"	4'-5"	5.2
RESIDENTIAL	P	37.61	0'-4"	2'-8"	0.8
RESIDENTIAL	M	37.62	1'-3"	4'-8"	5.9
RESIDENTIAL	ST	37.63	0'-8"	1'-6"	1.0
RESIDENTIAL	M	37.64	2'-6"	3'-2"	8.0
RESIDENTIAL	M	37.65	4'-10"	5'-1"	24.7
RESIDENTIAL	M	37.66	1'-3"	2'-5"	3.1
RESIDENTIAL	P	37.67	1'-1"	22'-8"	24.5
RESIDENTIAL	M	37.68	1'-6"	4'-4"	6.5
RESIDENTIAL	P	37.69	1'-6"	2'-3"	3.4
RESIDENTIAL	P	37.70	1'-6"	4'-5"	6.7
RESIDENTIAL	P	37.71	0'-6"	3'-2"	1.6
RESIDENTIAL	ST	37.72	0'-8"	7'-2"	4.8
RESIDENTIAL	M	37.73	1'-9"	2'-0"	3.4
SUBTOTAL					148.0

37TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,083	638	8,446
TOTAL	9,083	638	8,446

37TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0"

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38TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,060	490	6,570
TOTAL		7,060	490	6,570

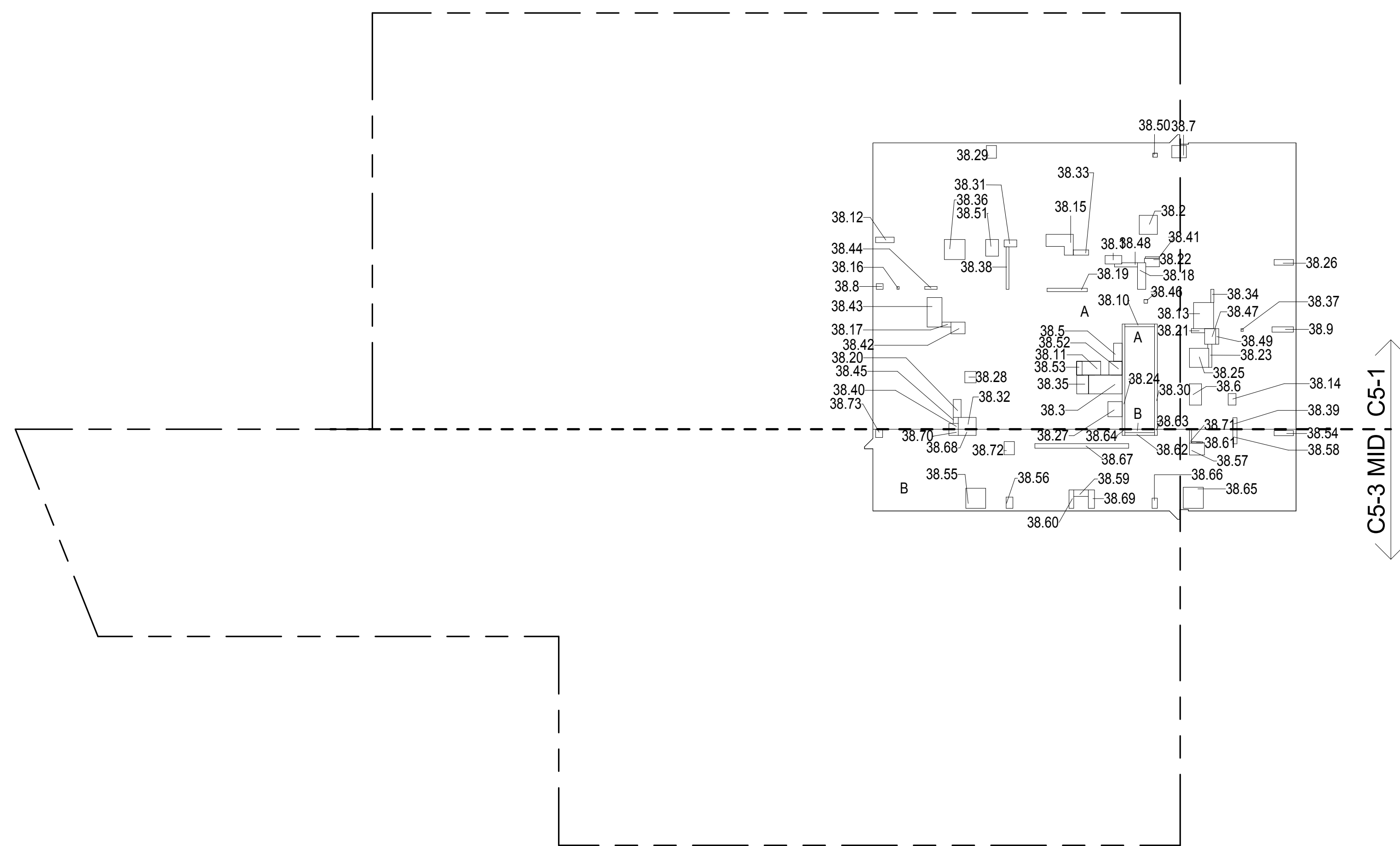
38TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	38.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	38.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	38.3	4'-7"	8'-1"	37.1
RESIDENTIAL	M	38.5	2'-1"	4'-5"	8.9
RESIDENTIAL	M	38.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	38.7	2'-11"	3'-6"	10.4
RESIDENTIAL	M	38.8	1'-4"	1'-8"	2.2
RESIDENTIAL	M	38.9	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	38.10	0'-8"	7'-2"	4.8
RESIDENTIAL	M	38.11	3'-4"	4'-6"	14.8
RESIDENTIAL	M	38.12	1'-4"	4'-6"	6.0
RESIDENTIAL	M	38.13	4'-10"	6'-3"	30.3
RESIDENTIAL	M	38.14	2'-0"	2'-8"	5.3
RESIDENTIAL	M	38.15	2'-8"	8'-11"	23.8
RESIDENTIAL	M	38.16	0'-6"	0'-8"	0.4
RESIDENTIAL	P	38.17	1'-2"	2'-2"	2.5
RESIDENTIAL	P	38.18	2'-0"	6'-5"	12.9
RESIDENTIAL	P	38.19	0'-10"	9'-8"	7.9
RESIDENTIAL	P	38.20	1'-11"	4'-4"	8.2
RESIDENTIAL	P	38.21	1'-0"	3'-2"	3.2
RESIDENTIAL	M	38.22	1'-11"	3'-9"	7.1
RESIDENTIAL	P	38.23	0'-9"	5'-10"	4.4
RESIDENTIAL	ST	38.24	0'-8"	25'-5"	16.9
RESIDENTIAL	M	38.25	4'-7"	4'-8"	21.4
RESIDENTIAL	M	38.26	1'-4"	4'-8"	6.2
RESIDENTIAL	M	38.27	3'-5"	3'-8"	12.5
RESIDENTIAL	M	38.28	2'-9"	2'-9"	7.5
RESIDENTIAL	M	38.29	2'-5"	3'-1"	7.4
RESIDENTIAL	ST	38.30	0'-8"	25'-5"	16.9
RESIDENTIAL	M	38.31	1'-8"	3'-1"	5.1
RESIDENTIAL	M	38.32	2'-10"	4'-4"	12.3
RESIDENTIAL	P	38.33	1'-3"	3'-8"	4.6
RESIDENTIAL	P	38.34	0'-9"	3'-2"	2.4
RESIDENTIAL	M	38.35	2'-11"	4'-7"	13.2
RESIDENTIAL	M	38.36	4'-10"	5'-0"	24.2
SUBTOTAL					

38TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	38.37	0'-6"	0'-8"	0.4
RESIDENTIAL	P	38.38	0'-8"	10'-3"	6.8
RESIDENTIAL	P	38.39	1'-0"	2'-9"	2.8
RESIDENTIAL	P	38.40	1'-4"	2'-3"	3.1
RESIDENTIAL	P	38.41	0'-4"	3'-5"	1.2
RESIDENTIAL	P	38.42	2'-10"	3'-5"	9.6
RESIDENTIAL	M	38.43	3'-7"	7'-1"	25.4
RESIDENTIAL	P	38.44	0'-8"	3'-0"	2.0
RESIDENTIAL	P	38.45	1'-2"	1'-6"	1.8
RESIDENTIAL	P	38.46	0'-10"	0'-11"	0.7
RESIDENTIAL	M	38.47	2'-8"	3'-9"	10.0
RESIDENTIAL	P	38.48	0'-11"	5'-8"	5.0
RESIDENTIAL	P	38.49	0'-9"	3'-9"	2.8
RESIDENTIAL	M	38.50	0'-11"	1'-1"	1.0
RESIDENTIAL	M	38.51	3'-1"	4'-0"	12.3
RESIDENTIAL	M	38.52	3'-2"	3'-4"	10.4
RESIDENTIAL	P	38.53	1'-4"	3'-4"	4.3
SUBTOTAL					489.9

38TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	2,023	148	1,875
TOTAL		2,023	148	1,875

38TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	38.54	1'-3"	4'-8"	5.9
RESIDENTIAL	M	38.55	4'-10"	4'-10"	23.5
RESIDENTIAL	M	38.56	1'-8"	2'-9"	4.5
RESIDENTIAL	M	38.57	2'-11"	3'-8"	10.5
RESIDENTIAL	P	38.58	1'-0"	3'-6"	3.5
RESIDENTIAL	P	38.59	1'-7"	3'-6"	5.4
RESIDENTIAL	P	38.60	1'-2"	4'-5"	5.2
RESIDENTIAL	P	38.61	0'-4"	2'-8"	0.8
RESIDENTIAL	ST	38.62	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	38.63	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	38.64	0'-8"	1'-6"	1.0
RESIDENTIAL	M	38.65	4'-10"	5'-1"	24.7
RESIDENTIAL	M	38.66	1'-3"	2'-5"	3.1
RESIDENTIAL	P	38.67	1'-1"	22'-8"	24.5
RESIDENTIAL	M	38.68	1'-6"	4'-4"	6.5
RESIDENTIAL	P	38.69	1'-6"	4'-5"	6.7
RESIDENTIAL	P	38.70	1'-6"	2'-3"	3.4
RESIDENTIAL	P	38.71	0'-6"	3'-2"	1.6
RESIDENTIAL	M	38.72	2'-6"	3'-2"	8.0
RESIDENTIAL	M	38.73	1'-9"	2'-0"	3.4
SUBTOTAL					148.0

38TH FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,083	638	8,446
TOTAL	9,083	638	8,446

38TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0"

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39TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,060	472	6,588
TOTAL		7,060	472	6,588

39TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	39.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	39.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	39.3	2'-7"	4'-7"	11.6
RESIDENTIAL	M	39.4	3'-1"	5'-2"	15.7
RESIDENTIAL	M	39.5	2'-11"	4'-5"	8.9
RESIDENTIAL	M	39.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	39.7	2'-11"	3'-6"	10.4
RESIDENTIAL	M	39.8	1'-4"	1'-8"	2.2
RESIDENTIAL	M	39.9	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	39.10	0'-8"	7'-2"	4.8
RESIDENTIAL	E	39.11	1'-5"	4'-7"	6.6
RESIDENTIAL	M	39.12	4'-10"	5'-0"	24.2
RESIDENTIAL	M	39.13	1'-8"	3'-1"	5.1
RESIDENTIAL	M	39.14	2'-8"	3'-9"	10.0
RESIDENTIAL	M	39.15	3'-1"	4'-0"	12.3
RESIDENTIAL	M	39.16	0'-6"	0'-8"	0.4
RESIDENTIAL	M	39.17	2'-10"	4'-4"	12.3
RESIDENTIAL	P	39.18	0'-8"	3'-0"	2.0
RESIDENTIAL	P	39.19	1'-3"	3'-8"	4.6
RESIDENTIAL	P	39.20	0'-8"	10'-3"	6.8
RESIDENTIAL	P	39.21	0'-9"	3'-2"	2.9
RESIDENTIAL	P	39.22	0'-9"	3'-9"	2.9
RESIDENTIAL	P	39.23	1'-0"	2'-9"	2.1
RESIDENTIAL	M	39.24	1'-11"	3'-9"	7.1
RESIDENTIAL	ST	39.25	0'-8"	25'-5"	16.9
RESIDENTIAL	M	39.26	4'-7"	4'-8"	21.6
RESIDENTIAL	M	39.27	1'-4"	4'-8"	6.3
RESIDENTIAL	M	39.28	3'-5"	3'-8"	12.3
RESIDENTIAL	P	39.29	1'-2"	3'-3"	3.0
RESIDENTIAL	M	39.30	4'-0"	10'-6"	33.0
RESIDENTIAL	M	39.31	2'-6"	8'-11"	23.3
RESIDENTIAL	P	39.32	0'-8"	2'-2"	2.2
RESIDENTIAL	P	39.33	0'-10"	9'-8"	7.3
RESIDENTIAL	P	39.34	1'-0"	3'-2"	3.3
RESIDENTIAL	M	39.35	2'-9"	2'-9"	7.1
SUBTOTAL					

40TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	7,060	490	6,570	
TOTAL		7,060	490	6,570	

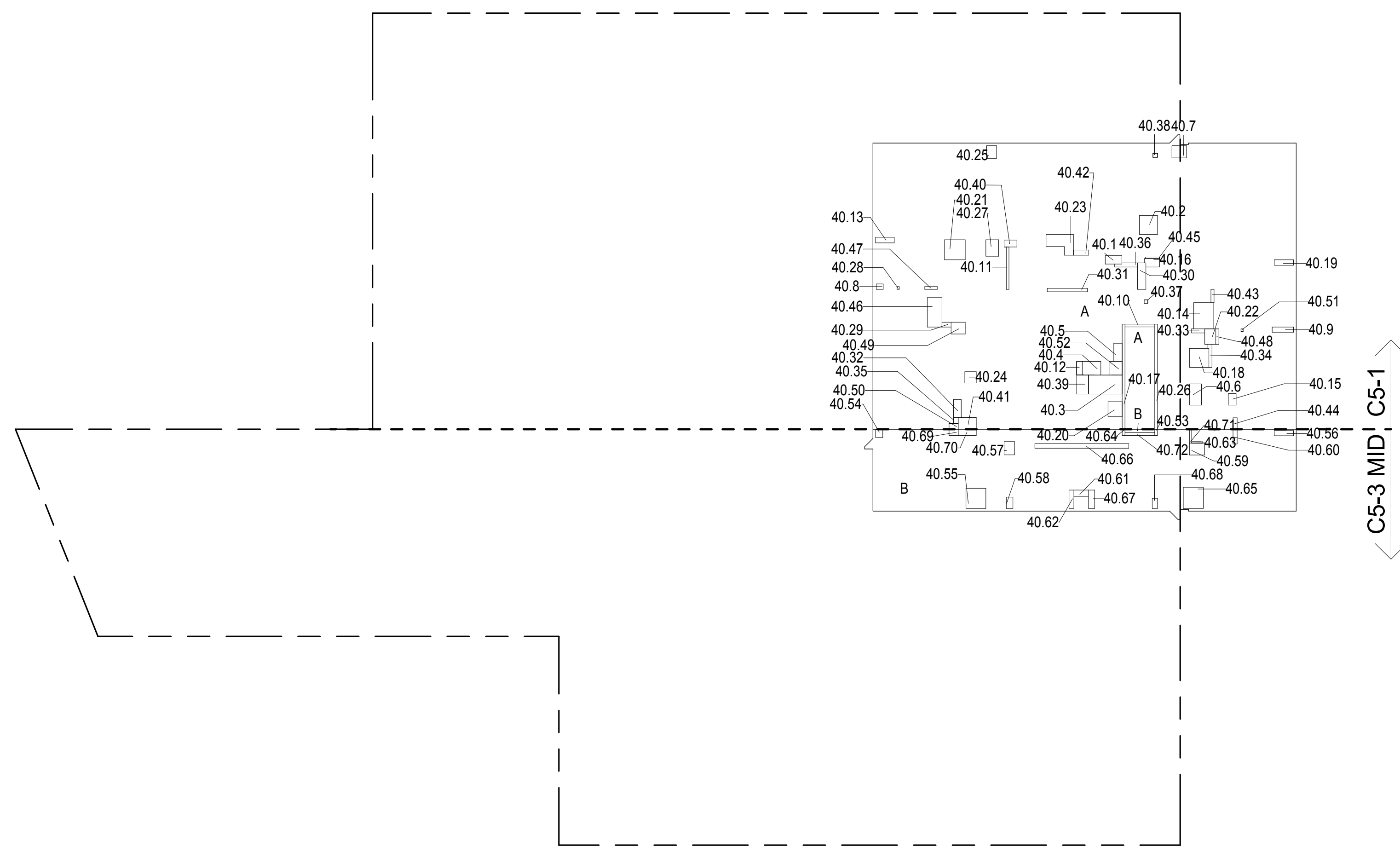
40TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	40.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	40.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	40.3	4'-7"	8'-1"	37.1
RESIDENTIAL	M	40.4	3'-4"	4'-5"	14.8
RESIDENTIAL	M	40.5	2'-1"	4'-5"	8.9
RESIDENTIAL	M	40.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	40.7	2'-11"	3'-6"	10.4
RESIDENTIAL	M	40.8	1'-4"	1'-8"	2.2
RESIDENTIAL	M	40.9	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	40.10	0'-8"	7'-2"	4.8
RESIDENTIAL	P	40.11	0'-8"	10'-3"	6.8
RESIDENTIAL	P	40.12	1'-4"	3'-4"	4.3
RESIDENTIAL	M	40.13	1'-4"	4'-5"	6.0
RESIDENTIAL	M	40.14	4'-10"	6'-3"	30.3
RESIDENTIAL	M	40.15	2'-0"	2'-8"	5.3
RESIDENTIAL	M	40.16	1'-11"	3'-9"	7.1
RESIDENTIAL	ST	40.17	0'-8"	25'-5"	16.9
RESIDENTIAL	M	40.18	4'-7"	4'-8"	21.4
RESIDENTIAL	M	40.19	1'-4"	4'-8"	6.2
RESIDENTIAL	M	40.20	3'-5"	3'-8"	12.5
RESIDENTIAL	M	40.21	4'-10"	5'-0"	24.2
RESIDENTIAL	M	40.22	2'-8"	3'-9"	10.0
RESIDENTIAL	M	40.23	2'-8"	8'-11"	23.8
RESIDENTIAL	M	40.24	2'-9"	2'-9"	7.5
RESIDENTIAL	M	40.25	2'-5"	3'-1"	7.4
RESIDENTIAL	ST	40.26	0'-8"	25'-5"	16.9
RESIDENTIAL	M	40.27	3'-1"	4'-0"	12.3
RESIDENTIAL	M	40.28	0'-6"	0'-8"	0.4
RESIDENTIAL	P	40.29	1'-2"	2'-2"	2.5
RESIDENTIAL	P	40.30	2'-0"	6'-5"	12.9
RESIDENTIAL	P	40.31	0'-10"	9'-8"	7.9
RESIDENTIAL	P	40.32	1'-11"	4'-4"	8.2
RESIDENTIAL	P	40.33	1'-0"	3'-2"	3.2
RESIDENTIAL	P	40.34	0'-9"	5'-10"	4.4
RESIDENTIAL	P	40.35	1'-2"	1'-6"	1.8
SUBTOTAL					

40TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	40.36	0'-11"	5'-8"	5.0
RESIDENTIAL	P	40.37	0'-10"	0'-11"	0.7
RESIDENTIAL	M	40.38	0'-11"	1'-1"	1.0
RESIDENTIAL	M	40.39	2'-11"	4'-7"	13.2
RESIDENTIAL	M	40.40	1'-8"	3'-1"	5.1
RESIDENTIAL	M	40.41	2'-10"	4'-4"	12.3
RESIDENTIAL	P	40.42	1'-3"	3'-8"	4.6
RESIDENTIAL	P	40.43	0'-9"	3'-2"	2.4
RESIDENTIAL	P	40.44	1'-0"	2'-9"	2.8
RESIDENTIAL	P	40.45	0'-4"	3'-5"	1.2
RESIDENTIAL	M	40.46	3'-7"	7'-1"	25.4
RESIDENTIAL	P	40.47	0'-8"	3'-0"	2.0
RESIDENTIAL	M	40.48	0'-9"	3'-9"	2.8
RESIDENTIAL	P	40.49	2'-10"	3'-5"	9.6
RESIDENTIAL	P	40.50	1'-4"	2'-3"	3.1
RESIDENTIAL	M	40.51	0'-6"	0'-8"	0.4
RESIDENTIAL	M	40.52	3'-2"	3'-4"	10.4
SUBTOTAL					

40TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	2,023	148	1,875	
TOTAL		2,023	148	1,875	

40TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	40.53	0'-8"	1'-6"	1.0
RESIDENTIAL	M	40.54	1'-9"	2'-0"	3.4
RESIDENTIAL	M	40.55	4'-10"	4'-10"	23.5
RESIDENTIAL	M	40.56	1'-3"	4'-8"	5.9
RESIDENTIAL	M	40.57	2'-6"	3'-2"	8.0
RESIDENTIAL	M	40.58	1'-8"	2'-9"	4.5
RESIDENTIAL	M	40.59	2'-11"	3'-8"	10.5
RESIDENTIAL	P	40.60	1'-0"	3'-6"	3.5
RESIDENTIAL	P	40.61	1'-7"	3'-6"	5.4
RESIDENTIAL	P	40.62	1'-2"	4'-5"	5.2
RESIDENTIAL	P	40.63	0'-4"	2'-8"	0.8
RESIDENTIAL	ST	40.64	0'-8"	1'-8"	1.0
RESIDENTIAL	M	40.65	4'-10"	5'-1"	24.7
RESIDENTIAL	P	40.66	1'-1"	22'-8"	24.5
RESIDENTIAL	P	40.67	1'-6"	4'-5"	6.7
RESIDENTIAL	M	40.68	1'-3"	2'-5"	3.1
RESIDENTIAL	P	40.69	1'-6"	2'-3"	3.4
RESIDENTIAL	M	40.70	1'-6"	4'-4"	6.5
RESIDENTIAL	P	40.71	0'-6"	3'-2"	1.6
RESIDENTIAL	ST	40.72	0'-8"	7'-2"	4.8
SUBTOTAL					

40TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	*GFA	*DEDUCTIONS	*ZFA (SF)		
RESIDENTIAL	9,083	638	8,446		
TOTAL	9,083	638	8,446		



40TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

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41ST FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	7,060	490	6,570	
TOTAL		7,060	490	6,570	

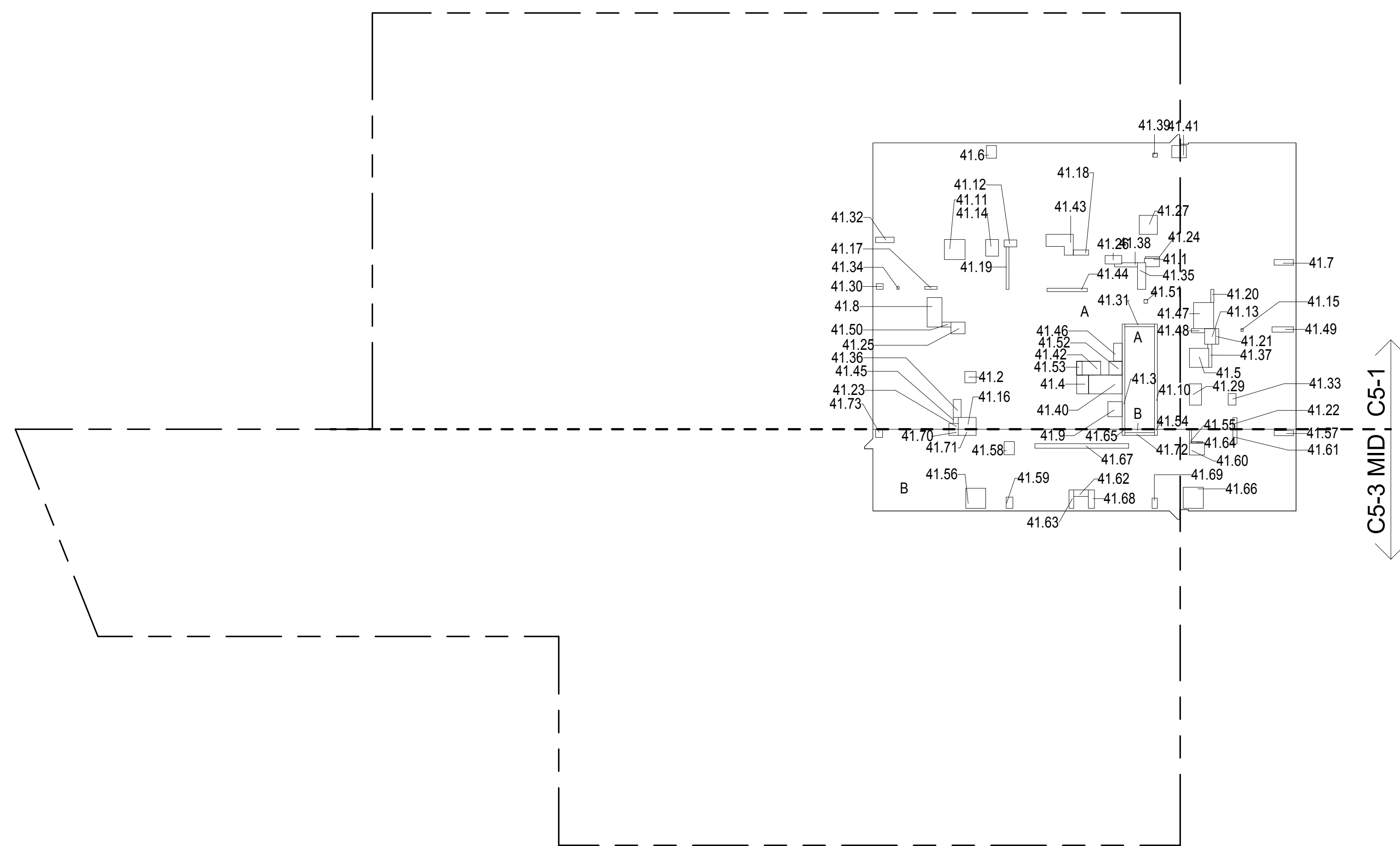
41ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	41.1	1'-11"	3'-9"	7.1
RESIDENTIAL	M	41.2	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	41.3	0'-8"	25'-5"	16.9
RESIDENTIAL	M	41.4	2'-11"	4'-7"	13.2
RESIDENTIAL	M	41.5	4'-7"	4'-8"	21.4
RESIDENTIAL	M	41.6	2'-5"	3'-1"	7.4
RESIDENTIAL	M	41.7	1'-4"	4'-8"	6.2
RESIDENTIAL	M	41.8	3'-7"	7'-1"	25.4
RESIDENTIAL	M	41.9	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	41.10	0'-8"	25'-5"	16.9
RESIDENTIAL	M	41.11	4'-10"	5'-0"	24.2
RESIDENTIAL	M	41.12	1'-8"	3'-1"	5.1
RESIDENTIAL	M	41.13	2'-8"	3'-9"	10.0
RESIDENTIAL	M	41.14	3'-1"	4'-0"	12.3
RESIDENTIAL	M	41.15	0'-6"	0'-8"	0.4
RESIDENTIAL	M	41.16	2'-10"	4'-4"	12.3
RESIDENTIAL	P	41.17	0'-8"	3'-0"	2.0
RESIDENTIAL	P	41.18	1'-3"	3'-8"	4.6
RESIDENTIAL	P	41.19	0'-8"	10'-3"	6.8
RESIDENTIAL	P	41.20	0'-9"	3'-2"	2.4
RESIDENTIAL	P	41.21	0'-9"	3'-9"	2.8
RESIDENTIAL	P	41.22	1'-0"	2'-9"	2.8
RESIDENTIAL	P	41.23	1'-4"	2'-3"	3.1
RESIDENTIAL	P	41.24	0'-4"	3'-5"	1.2
RESIDENTIAL	P	41.25	2'-10"	3'-5"	9.6
RESIDENTIAL	M	41.26	2'-1"	4'-0"	8.2
RESIDENTIAL	M	41.27	4'-4"	4'-7"	19.9
RESIDENTIAL	M	41.29	2'-11"	5'-1"	14.8
RESIDENTIAL	M	41.30	1'-4"	1'-8"	2.2
RESIDENTIAL	ST	41.31	0'-8"	7'-2"	4.8
RESIDENTIAL	M	41.32	1'-4"	4'-6"	6.0
RESIDENTIAL	M	41.33	2'-0"	2'-8"	5.3
RESIDENTIAL	M	41.34	0'-6"	0'-8"	0.4
RESIDENTIAL	P	41.35	2'-0"	6'-5"	12.9
RESIDENTIAL	P	41.36	1'-11"	4'-4"	8.2
SUBTOTAL					

41ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	41.37	0'-9"	5'-10"	4.4
RESIDENTIAL	P	41.38	0'-11"	5'-8"	5.0
RESIDENTIAL	M	41.39	0'-11"	1'-1"	1.0
RESIDENTIAL	E	41.40	4'-7"	8'-1"	37.1
RESIDENTIAL	M	41.41	2'-11"	3'-6"	10.4
RESIDENTIAL	M	41.42	3'-4"	4'-6"	14.8
RESIDENTIAL	M	41.43	2'-8"	8'-11"	23.8
RESIDENTIAL	P	41.44	0'-10"	9'-8"	7.9
RESIDENTIAL	P	41.45	1'-2"	1'-6"	1.8
RESIDENTIAL	M	41.46	2'-1"	4'-5"	8.9
RESIDENTIAL	M	41.47	4'-10"	6'-3"	30.3
RESIDENTIAL	P	41.48	1'-0"	3'-2"	3.2
RESIDENTIAL	M	41.49	1'-3"	3'-2"	6.5
RESIDENTIAL	P	41.50	1'-2"	2'-2"	2.5
RESIDENTIAL	P	41.51	0'-10"	0'-11"	0.7
RESIDENTIAL	M	41.52	3'-2"	3'-4"	10.4
RESIDENTIAL	P	41.53	1'-4"	3'-4"	4.3
SUBTOTAL					

41ST FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	2,023	148	1,875	
TOTAL		2,023	148	1,875	

41ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	41.54	0'-8"	1'-6"	1.0
RESIDENTIAL	P	41.55	0'-6"	3'-2"	1.6
RESIDENTIAL	M	41.56	4'-10"	4'-10"	23.5
RESIDENTIAL	M	41.57	1'-3"	4'-8"	5.9
RESIDENTIAL	M	41.58	2'-6"	3'-2"	8.0
RESIDENTIAL	M	41.59	1'-8"	2'-9"	4.5
RESIDENTIAL	M	41.60	2'-11"	3'-8"	10.5
RESIDENTIAL	P	41.61	1'-0"	3'-6"	3.5
RESIDENTIAL	P	41.62	1'-7"	3'-6"	5.4
RESIDENTIAL	P	41.63	1'-2"	4'-5"	5.2
RESIDENTIAL	P	41.64	0'-4"	2'-8"	0.8
RESIDENTIAL	ST	41.65	0'-8"	1'-6"	1.0
RESIDENTIAL	M	41.66	4'-10"	5'-1"	24.7
RESIDENTIAL	P	41.67	1'-1"	22'-8"	24.5
RESIDENTIAL	P	41.68	1'-6"	4'-5"	6.7
RESIDENTIAL	M	41.69	1'-3"	2'-5"	3.1
RESIDENTIAL	P	41.70	1'-6"	2'-3"	3.4
RESIDENTIAL	M	41.71	1'-6"	4'-4"	6.5
RESIDENTIAL	ST	41.72	0'-8"	7'-2"	4.8
RESIDENTIAL	M	41.73	1'-9"	2'-0"	3.4
SUBTOTAL					

41ST FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	*GFA	*DEDUCTIONS	*ZFA (SF)		
RESIDENTIAL	9,083	638	8,446		
TOTAL	9,083	638	8,446		



41ST FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

42ND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	7,060	473	6,587	
TOTAL		7,060	473	6,587	

42ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	42.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	42.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	42.3	2'-7"	4'-7"	11.6
RESIDENTIAL	M	42.4	2'-6"	4'-4"	10.6
RESIDENTIAL	M	42.5	2'-1"	4'-5"	8.9
RESIDENTIAL	M	42.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	42.7	2'-11"	3'-6"	10.4
RESIDENTIAL	M	42.8	1'-4"	1'-8"	2.2
RESIDENTIAL	M	42.9	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	42.10	0'-8"	7'-2"	4.8
RESIDENTIAL	E	42.11	1'-5"	4'-7"	6.6
RESIDENTIAL	M	42.12	4'-10"	5'-0"	24.2
RESIDENTIAL	M	42.13	1'-8"	3'-1"	5
RESIDENTIAL	P	42.14	2'-8"	3'-9"	10.8
RESIDENTIAL	P	42.15	4'-4"	3'-5"	14.1
RESIDENTIAL	M	42.16	3'-1"	4'-0"	12.3
RESIDENTIAL	M	42.17	0'-6"	0'-0"	0
RESIDENTIAL	M	42.18	2'-10"	4'-4"	12.3
RESIDENTIAL	P	42.19	3'-1"	3'-9"	7.7
RESIDENTIAL	ST	42.20	4'-8"	25'-5"	121.6
RESIDENTIAL	M	42.21	4'-7"	4'-8"	21.4
RESIDENTIAL	M	42.22	1'-4"	4'-8"	6.3
RESIDENTIAL	M	42.23	3'-5"	3'-8"	12.3
RESIDENTIAL	P	42.24	1'-2"	3'-3"	3.3
RESIDENTIAL	M	42.25	4'-10"	6'-3"	30.3
RESIDENTIAL	P	42.26	2'-8"	8'-11"	24.3
RESIDENTIAL	P	42.27	1'-2"	2'-2"	2.2
RESIDENTIAL	P	42.28	2'-0"	6'-5"	12.9
RESIDENTIAL	P	42.29	0'-10"	9'-8"	7.9
RESIDENTIAL	P	42.30	3'-11"	4'-4"	8.3
RESIDENTIAL	P	42.31	1'-0"	3'-2"	3.3
RESIDENTIAL	P	42.32	0'-9"	9'-7"	7.7
RESIDENTIAL	P	42.33	1'-2"	1'-6"	1.1
RESIDENTIAL	P	42.34	0'-11"	5'-8"	4.9
RESIDENTIAL	P	42.35	0'-10"	6'-11"	6.7
SUBTOTAL					

43RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,060	490	6,570
TOTAL		7,060	490	6,570

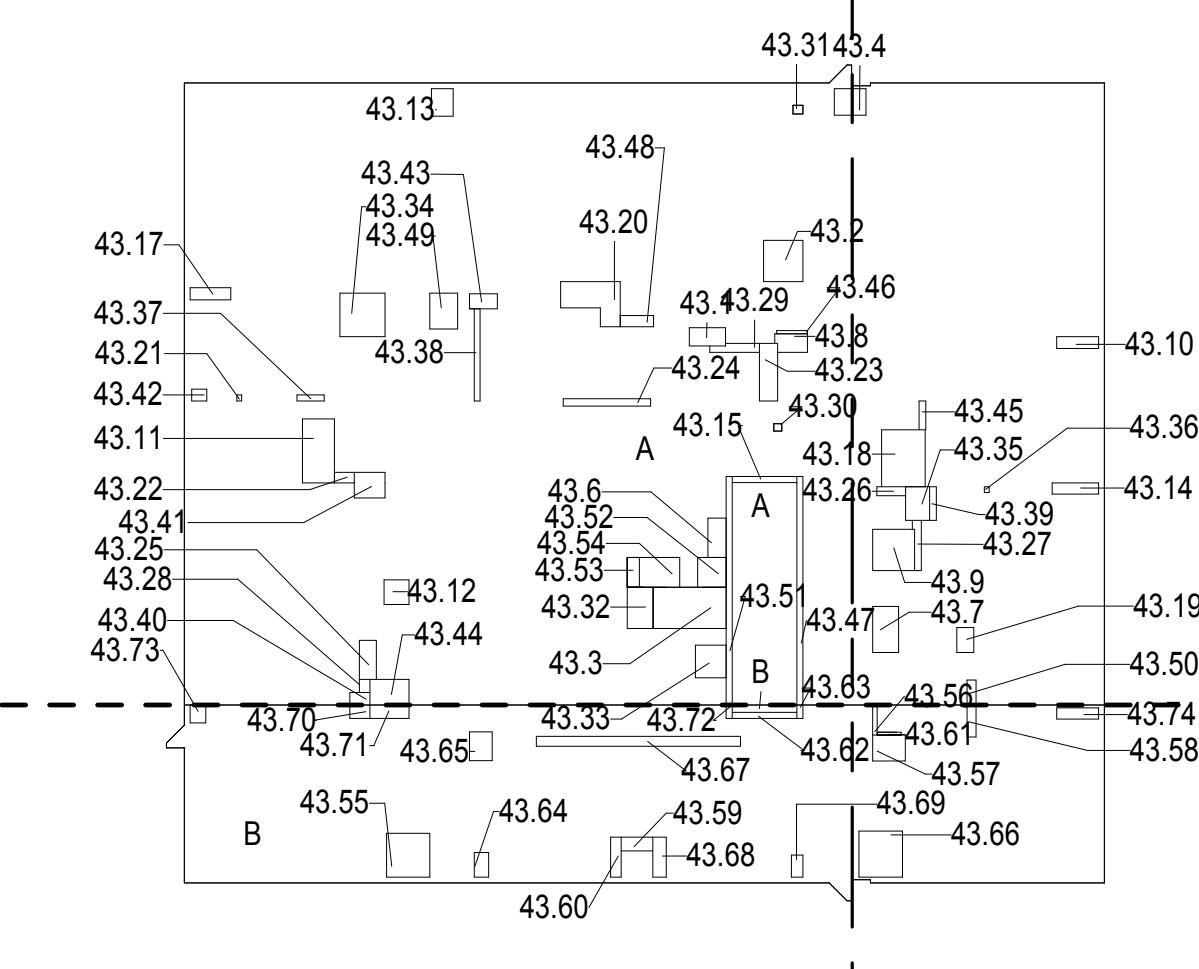
43RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	43.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	43.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	43.3	4'-7"	8'-1"	37.1
RESIDENTIAL	M	43.4	2'-11"	3'-5"	9.6
RESIDENTIAL	M	43.6	2'-1"	4'-5"	8.9
RESIDENTIAL	M	43.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	43.8	1'-11"	3'-9"	7.1
RESIDENTIAL	M	43.9	4'-7"	4'-8"	21.4
RESIDENTIAL	M	43.10	1'-4"	4'-8"	6.2
RESIDENTIAL	M	43.11	3'-7"	7'-1"	25.4
RESIDENTIAL	M	43.12	2'-9"	2'-9"	7.5
RESIDENTIAL	M	43.13	2'-5"	3'-1"	7.4
RESIDENTIAL	M	43.14	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	43.15	0'-8"	7'-2"	4.8
RESIDENTIAL	M	43.17	1'-4"	4'-6"	6.0
RESIDENTIAL	M	43.18	4'-10"	6'-3"	30.3
RESIDENTIAL	M	43.19	2'-0"	2'-8"	5.3
RESIDENTIAL	M	43.20	2'-8"	8'-11"	23.8
RESIDENTIAL	M	43.21	0'-6"	0'-8"	0.4
RESIDENTIAL	P	43.22	1'-2"	2'-2"	2.5
RESIDENTIAL	P	43.23	2'-0"	6'-5"	12.9
RESIDENTIAL	P	43.24	0'-10"	9'-8"	7.9
RESIDENTIAL	P	43.25	1'-11"	4'-4"	8.2
RESIDENTIAL	P	43.26	1'-0"	3'-2"	3.2
RESIDENTIAL	P	43.27	0'-9"	5'-10"	4.4
RESIDENTIAL	P	43.28	1'-2"	1'-6"	1.8
RESIDENTIAL	P	43.29	0'-11"	5'-8"	5.0
RESIDENTIAL	P	43.30	0'-10"	0'-11"	0.7
RESIDENTIAL	M	43.31	0'-11"	1'-1"	1.0
RESIDENTIAL	M	43.32	2'-11"	4'-7"	13.2
RESIDENTIAL	M	43.33	3'-5"	3'-8"	12.5
RESIDENTIAL	M	43.34	4'-10"	5'-0"	24.2
RESIDENTIAL	M	43.35	2'-8"	3'-9"	10.0
RESIDENTIAL	M	43.36	0'-6"	0'-8"	0.4
RESIDENTIAL	P	43.37	0'-8"	3'-0"	2.0
SUBTOTAL					

43RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	43.38	0'-8"	10'-3"	6.8
RESIDENTIAL	P	43.39	0'-9"	3'-9"	2.8
RESIDENTIAL	P	43.40	1'-4"	2'-3"	3.1
RESIDENTIAL	P	43.41	2'-10"	3'-5"	9.6
RESIDENTIAL	M	43.42	1'-4"	1'-8"	2.2
RESIDENTIAL	M	43.43	1'-8"	3'-1"	5.1
RESIDENTIAL	M	43.44	2'-10"	4'-4"	12.2
RESIDENTIAL	P	43.45	0'-9"	3'-2"	2.4
RESIDENTIAL	P	43.46	0'-4"	3'-5"	1.2
RESIDENTIAL	ST	43.47	0'-8"	25'-5"	16.9
RESIDENTIAL	P	43.48	1'-3"	3'-8"	4.6
RESIDENTIAL	M	43.49	3'-1"	4'-0"	12.2
RESIDENTIAL	P	43.50	1'-0"	2'-0"	2.8
RESIDENTIAL	ST	43.51	0'-8"	25'-5"	16.9
RESIDENTIAL	M	43.52	3'-2"	3'-4"	10.4
RESIDENTIAL	P	43.53	1'-4"	3'-4"	4.4
RESIDENTIAL	M	43.54	3'-4"	4'-6"	14.8
SUBTOTAL					489.9

43RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	2,023	148	1,875
TOTAL		2,023	148	1,875

43RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	43.55	4'-10"	4'-10"	23.5
RESIDENTIAL	P	43.56	0'-6"	3'-2"	1.6
RESIDENTIAL	M	43.57	2'-11"	3'-8"	10.5
RESIDENTIAL	P	43.58	1'-0"	3'-6"	3.5
RESIDENTIAL	P	43.59	1'-7"	3'-6"	5.4
RESIDENTIAL	P	43.60	1'-2"	4'-5"	5.2
RESIDENTIAL	P	43.61	0'-4"	2'-8"	0.8
RESIDENTIAL	ST	43.62	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	43.63	0'-8"	1'-6"	1.0
RESIDENTIAL	M	43.64	1'-8"	2'-9"	4.5
RESIDENTIAL	M	43.65	2'-6"	3'-2"	8.0
RESIDENTIAL	M	43.66	4'-10"	5'-1"	24.7
RESIDENTIAL	P	43.67	1'-1"	22'-8"	24.5
RESIDENTIAL	P	43.68	1'-6"	4'-5"	6.7
RESIDENTIAL	M	43.69	1'-3"	2'-5"	3.1
RESIDENTIAL	P	43.70	1'-6"	2'-3"	3.4
RESIDENTIAL	M	43.71	1'-6"	4'-4"	6.5
RESIDENTIAL	ST	43.72	0'-8"	1'-6"	1.0
RESIDENTIAL	M	43.73	1'-9"	2'-0"	3.4
RESIDENTIAL	M	43.74	1'-3"	4'-8"	5.9
SUBTOTAL					148.0

43RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	9,083	638	8,446	
TOTAL	9,083	638	8,446	



ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER
E - ELECTRICAL SHAFT / RISER
P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44\"/>

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

43RD FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

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44TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,060	490	6,570
TOTAL		7,060	490	6,570

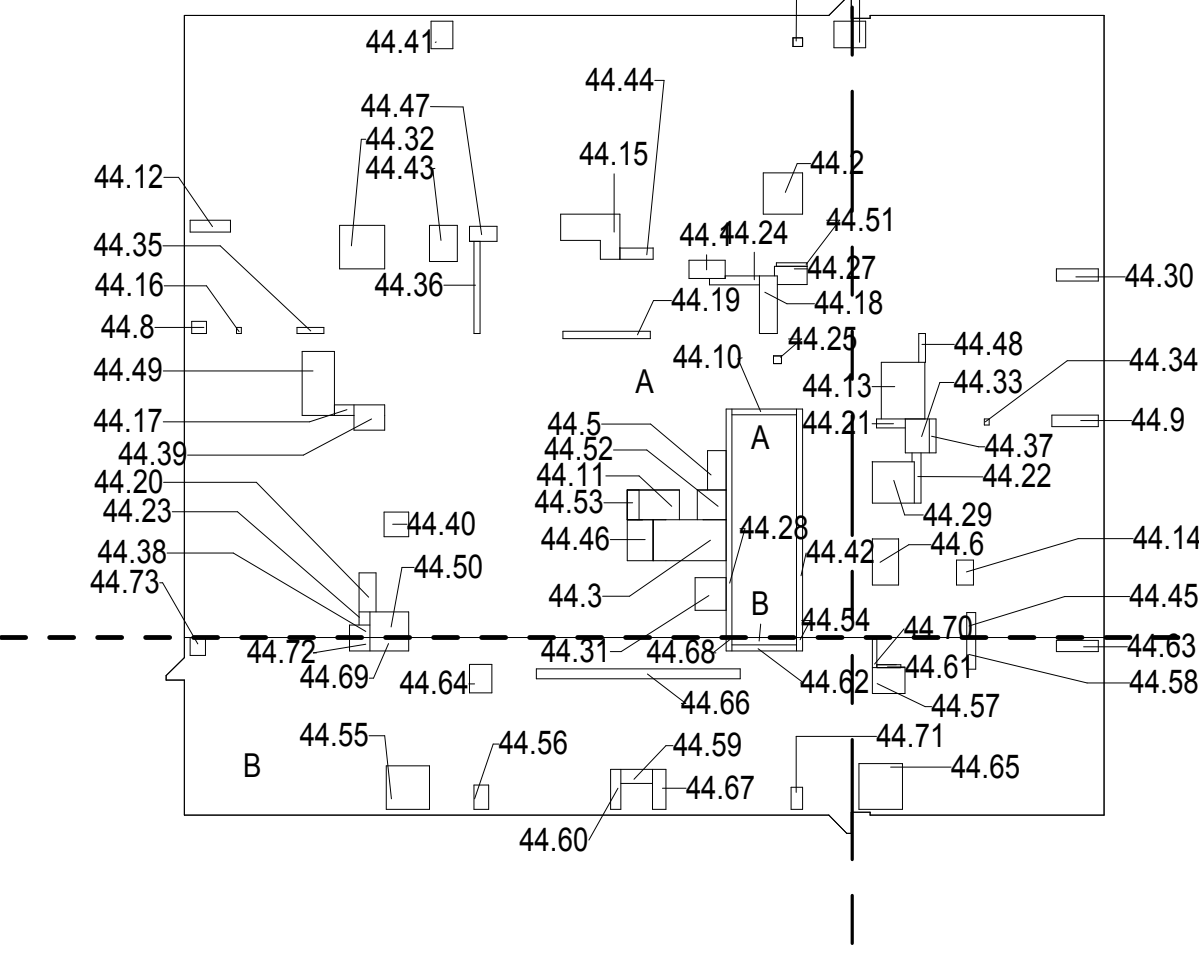
44TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	44.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	44.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	44.3	4'-7"	8'-1"	37.1
RESIDENTIAL	M	44.5	2'-1"	4'-5"	8.9
RESIDENTIAL	M	44.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	44.7	2'-11"	3'-6"	10.4
RESIDENTIAL	M	44.8	1'-4"	1'-8"	2.2
RESIDENTIAL	M	44.9	1'-3"	5'-2"	6.5
RESIDENTIAL	ST	44.10	0'-8"	7'-2"	4.8
RESIDENTIAL	M	44.11	3'-4"	4'-6"	14.8
RESIDENTIAL	M	44.12	1'-4"	4'-6"	6.0
RESIDENTIAL	M	44.13	4'-10"	6'-3"	30.3
RESIDENTIAL	M	44.14	2'-0"	2'-8"	5.3
RESIDENTIAL	M	44.15	2'-8"	8'-11"	23.8
RESIDENTIAL	M	44.16	0'-6"	0'-8"	0.4
RESIDENTIAL	P	44.17	1'-2"	2'-2"	2.5
RESIDENTIAL	P	44.18	2'-0"	6'-5"	12.9
RESIDENTIAL	P	44.19	0'-10"	9'-8"	7.9
RESIDENTIAL	P	44.20	1'-11"	4'-4"	8.2
RESIDENTIAL	P	44.21	1'-0"	3'-2"	3.2
RESIDENTIAL	P	44.22	0'-9"	5'-10"	4.4
RESIDENTIAL	P	44.23	1'-2"	1'-6"	1.8
RESIDENTIAL	P	44.24	0'-11"	5'-8"	5.0
RESIDENTIAL	P	44.25	0'-10"	0'-11"	0.7
RESIDENTIAL	M	44.26	0'-11"	1'-1"	1.0
RESIDENTIAL	M	44.27	1'-11"	3'-9"	7.1
RESIDENTIAL	ST	44.28	0'-8"	25'-5"	16.9
RESIDENTIAL	M	44.29	4'-7"	4'-8"	21.4
RESIDENTIAL	M	44.30	1'-4"	4'-8"	6.2
RESIDENTIAL	M	44.31	3'-5"	3'-8"	12.5
RESIDENTIAL	M	44.32	4'-10"	5'-0"	24.2
RESIDENTIAL	M	44.33	2'-8"	3'-9"	10.0
RESIDENTIAL	M	44.34	0'-6"	0'-8"	0.4
RESIDENTIAL	P	44.35	0'-8"	3'-0"	2.0
RESIDENTIAL	P	44.36	0'-8"	10'-3"	6.8
SUBTOTAL					

44TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	44.37	0'-9"	3'-9"	2.8
RESIDENTIAL	P	44.38	1'-4"	2'-3"	3.1
RESIDENTIAL	P	44.39	2'-10"	3'-5"	9.6
RESIDENTIAL	M	44.40	2'-9"	2'-9"	7.5
RESIDENTIAL	M	44.41	2'-5"	3'-1"	7.4
RESIDENTIAL	ST	44.42	0'-8"	25'-5"	16.9
RESIDENTIAL	M	44.43	3'-1"	4'-0"	12.3
RESIDENTIAL	P	44.44	1'-3"	3'-8"	4.6
RESIDENTIAL	P	44.45	1'-0"	2'-9"	2.8
RESIDENTIAL	M	44.46	2'-11"	4'-7"	13.2
RESIDENTIAL	M	44.47	1'-8"	3'-1"	5.1
RESIDENTIAL	P	44.48	0'-9"	3'-2"	2.4
RESIDENTIAL	M	44.49	3'-7"	7'-1"	26.4
RESIDENTIAL	M	44.50	2'-10"	4'-4"	12.3
RESIDENTIAL	P	44.51	0'-4"	3'-5"	1.2
RESIDENTIAL	M	44.52	3'-2"	3'-4"	10.4
RESIDENTIAL	P	44.53	1'-4"	3'-4"	4.3
SUBTOTAL					489.9

44TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	2,023	148	1,875
TOTAL		2,023	148	1,875

44TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	44.54	0'-8"	1'-6"	1.0
RESIDENTIAL	M	44.55	4'-10"	4'-10"	23.5
RESIDENTIAL	M	44.56	1'-8"	2'-9"	4.5
RESIDENTIAL	M	44.57	2'-11"	3'-8"	10.5
RESIDENTIAL	P	44.58	1'-0"	3'-6"	3.5
RESIDENTIAL	P	44.59	1'-7"	3'-6"	5.4
RESIDENTIAL	P	44.60	0'-2"	4'-5"	0.8
RESIDENTIAL	P	44.61	0'-4"	2'-8"	0.8
RESIDENTIAL	ST	44.62	0'-8"	7'-2"	4.8
RESIDENTIAL	M	44.63	1'-3"	4'-8"	5.9
RESIDENTIAL	M	44.64	2'-6"	3'-2"	8.0
RESIDENTIAL	M	44.65	4'-10"	5'-1"	24.7
RESIDENTIAL	P	44.66	1'-1"	22'-8"	24.5
RESIDENTIAL	P	44.67	1'-6"	4'-5"	6.7
RESIDENTIAL	ST	44.68	0'-8"	1'-6"	1.0
RESIDENTIAL	M	44.69	1'-6"	4'-4"	6.5
RESIDENTIAL	P	44.70	0'-6"	3'-2"	1.6
RESIDENTIAL	M	44.71	1'-3"	2'-5"	3.1
RESIDENTIAL	P	44.72	1'-6"	2'-3"	3.4
RESIDENTIAL	M	44.73	1'-9"	2'-0"	3.4
SUBTOTAL					148.0

44TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	9,083	638	8,446	
TOTAL	9,083	638	8,446	



44TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

45TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	7,060	473	6,587
TOTAL		7,060	473	6,587

45TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	45.1	2'-1"	4'-0"	8.2
RESIDENTIAL	M	45.2	4'-4"	4'-7"	19.9
RESIDENTIAL	E	45.3	2'-7"	4'-7"	11.6
RESIDENTIAL	M	45.4	3'-1"	5'-2"	15.7
RESIDENTIAL	M	45.5	2'-1"	4'-4"	8.9
RESIDENTIAL	M	45.6	2'-11"	5'-1"	14.8
RESIDENTIAL	M	45.7	2'-11"	3'-6"	10.4
RESIDENTIAL	M	45.8	1'-4"	1'-8"	2.9
RESIDENTIAL	M	45.9	1'-3"	5'-2"	6.3
RESIDENTIAL	ST	45.10	0'-8"	7'-2"	4.4
RESIDENTIAL	E	45.11	1'-5"	4'-7"	6.0
RESIDENTIAL	M	45.12	4'-10"	5'-0"	24.2
RESIDENTIAL	M	45.13	1'-8"	3'-1"	5.5
RESIDENTIAL	M	45.14	2'-11"	4'-7"	13.7
RESIDENTIAL	M	45.15	2'-5"	3'-1"	7.7
RESIDENTIAL	M	45.16	3'-7"	7'-1"	25.8
RESIDENTIAL	M	45.17	0'-8"	5'-5"	4.4
RESIDENTIAL	M	45.18	1'-4"	4'-6"	6.1
RESIDENTIAL	M	45.19	2'-8"	3'-9"	10.0
RESIDENTIAL	M	45.20	3'-1"	4'-0"	12.0
RESIDENTIAL	M	45.21	0'-6"	0'-8"	0.4
RESIDENTIAL	M	45.22	2'-10"	4'-4"	12.0
RESIDENTIAL	P	45.23	0'-8"	3'-0"	2.4
RESIDENTIAL	P	45.24	1'-3"	3'-8"	3.8
RESIDENTIAL	P	45.25	0'-8"	10'-3"	6.0
RESIDENTIAL	P	45.26	0'-9"	3'-2"	2.6
RESIDENTIAL	P	45.27	0'-9"	3'-9"	2.8
RESIDENTIAL	P	45.28	1'-0"	2'-9"	2.7
RESIDENTIAL	P	45.29	4'-4"	2'-3"	3.0
RESIDENTIAL	P	45.30	1'-0"	1'-5"	0.8
RESIDENTIAL	P	45.31	2'-10"	3'-5"	9.0
RESIDENTIAL	P	45.32	0'-8"	0'-9"	0.7
RESIDENTIAL	P	45.33	0'-8"	0'-9"	0.7
RESIDENTIAL	M	45.34	4'-7"	4'-8"	21.0
RESIDENTIAL	M	45.35	3'-5"	3'-8"	12.0
SUBTOTAL					

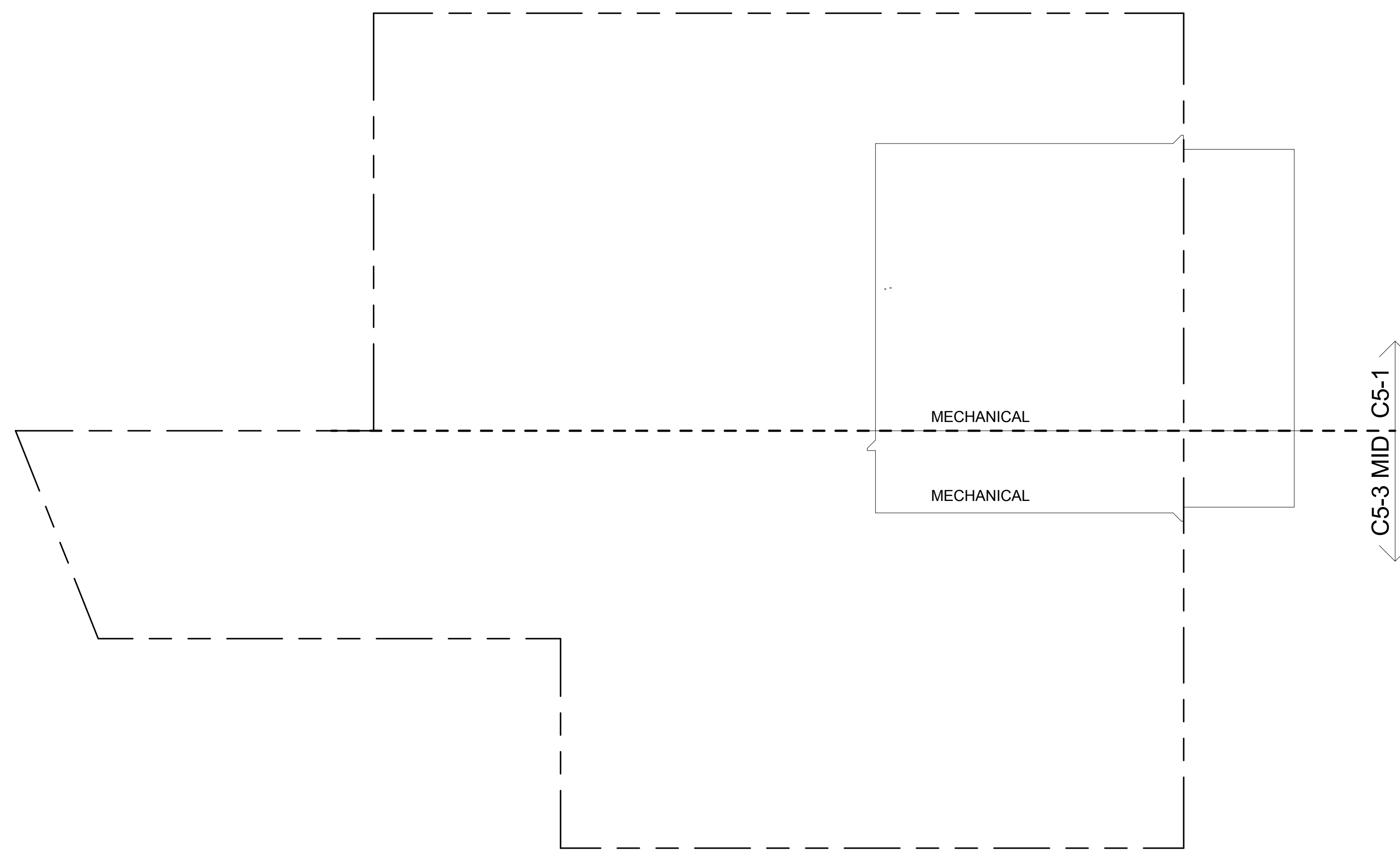
46TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	6,929	6,929	0	
TOTAL		6,929	6,929	0	

46TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	46.1	65'-6"	105'-9"	6,929.3
SUBTOTAL					6,929.3

46TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	1,960	1,960	0	
TOTAL		1,960	1,960	0	

46TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	46.2	18'-9"	104'-8"	1,959.9
SUBTOTAL					1,959.9

46TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,889	8,889	0	
TOTAL		8,889	8,889	0	



46TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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47TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	6,763	447	6,315	
TOTAL		6,763	447	6,315	

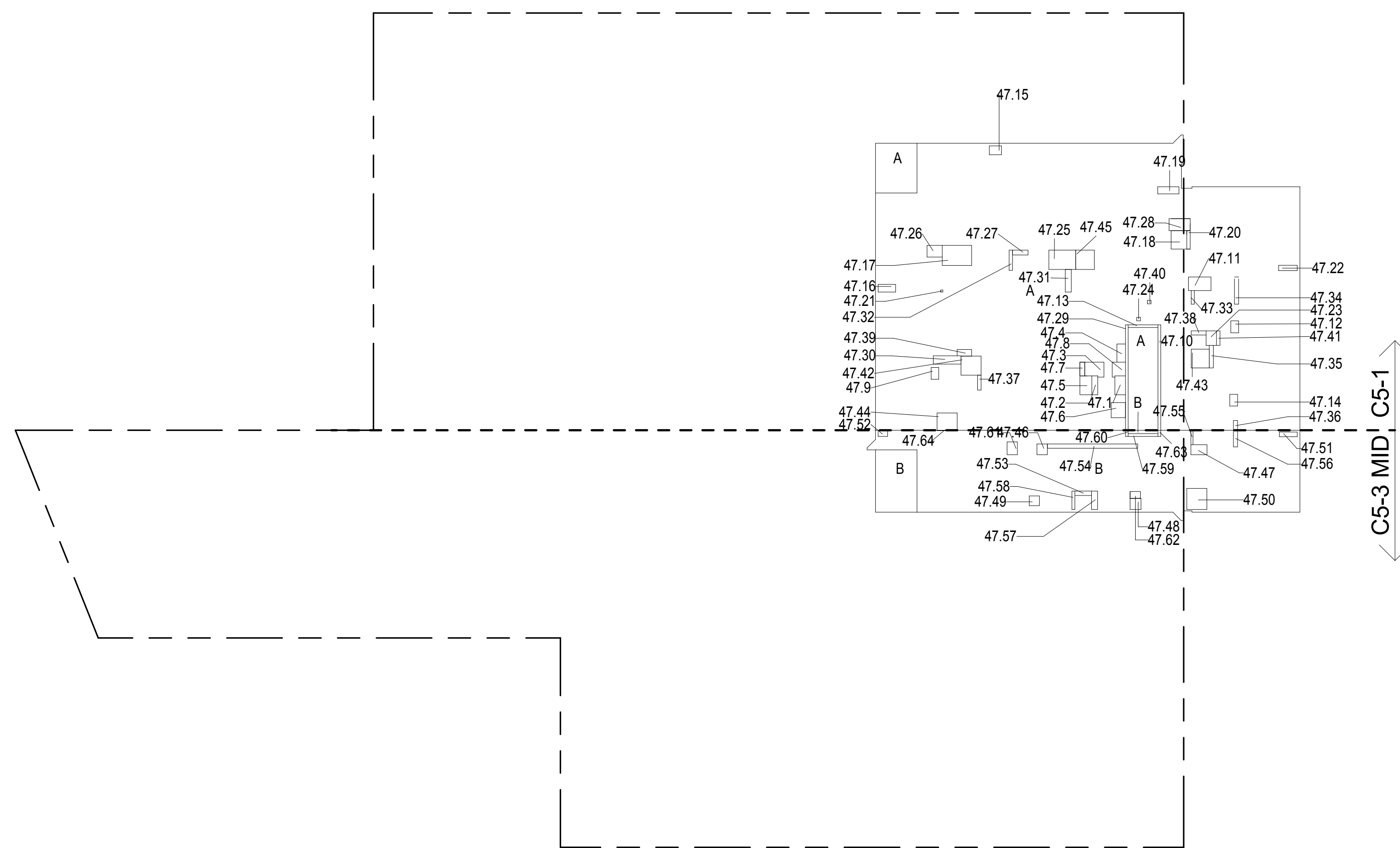
47TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	47.1	2'-7"	4'-7"	11.6
RESIDENTIAL	E	47.2	1'-5"	4'-7"	6.6
RESIDENTIAL	M	47.3	3'-1"	5'-2"	15.7
RESIDENTIAL	M	47.4	2'-1"	4'-4"	8.9
RESIDENTIAL	M	47.5	3'-0"	4'-5"	13.2
RESIDENTIAL	M	47.6	3'-5"	3'-8"	12.5
RESIDENTIAL	P	47.7	1'-2"	3'-2"	3.9
RESIDENTIAL	M	47.8	2'-6"	4'-4"	10.6
RESIDENTIAL	M	47.9	1'-10"	2'-10"	5.1
RESIDENTIAL	ST	47.10	0'-8"	25'-5"	16.9
RESIDENTIAL	M	47.11	3'-3"	5'-5"	17.7
RESIDENTIAL	M	47.12	1'-11"	2'-10"	5.4
RESIDENTIAL	ST	47.13	0'-8"	7'-2"	4.8
RESIDENTIAL	M	47.14	1'-11"	2'-10"	5.3
RESIDENTIAL	M	47.15	2'-3"	2'-9"	6.3
RESIDENTIAL	M	47.16	1'-10"	4'-2"	7.7
RESIDENTIAL	M	47.17	4'-11"	7'-0"	34.1
RESIDENTIAL	M	47.18	4'-0"	4'-2"	16.7
RESIDENTIAL	M	47.19	1'-9"	5'-1"	8.7
RESIDENTIAL	P	47.20	0'-10"	4'-6"	3.7
SUBTOTAL					

47TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	47.21	0'-6"	0'-7"	0.3
RESIDENTIAL	M	47.22	1'-3"	4'-6"	5.7
RESIDENTIAL	M	47.23	2'-6"	3'-6"	8.7
RESIDENTIAL	P	47.24	0'-10"	0'-11"	0.8
RESIDENTIAL	M	47.25	4'-8"	6'-6"	30.2
RESIDENTIAL	M	47.26	2'-10"	3'-8"	10.4
RESIDENTIAL	M	47.27	1'-2"	3'-9"	4.4
RESIDENTIAL	M	47.28	2'-10"	5'-1"	14.6
RESIDENTIAL	ST	47.29	0'-8"	25'-5"	16.9
RESIDENTIAL	P	47.30	2'-0"	6'-8"	13.3
RESIDENTIAL	P	47.31	1'-6"	5'-5"	7.9
RESIDENTIAL	P	47.32	0'-10"	4'-10"	4.0
RESIDENTIAL	P	47.33	0'-9"	3'-3"	2.6
RESIDENTIAL	P	47.34	1'-1"	5'-5"	6.1
RESIDENTIAL	P	47.35	1'-0"	5'-5"	5.4
RESIDENTIAL	P	47.36	1'-0"	2'-4"	2.3
RESIDENTIAL	P	47.37	0'-10"	3'-7"	3.1
RESIDENTIAL	P	47.38	1'-0"	3'-7"	3.6
RESIDENTIAL	P	47.39	1'-7"	3'-6"	5.4
RESIDENTIAL	P	47.40	0'-10"	0'-11"	0.7
RESIDENTIAL	P	47.41	0'-10"	3'-6"	3.0
RESIDENTIAL	M	47.42	4'-7"	4'-10"	22.2
RESIDENTIAL	M	47.43	4'-4"	4'-6"	19.6
RESIDENTIAL	M	47.44	4'-2"	4'-10"	20.0
RESIDENTIAL	M	47.45	4'-5"	4'-8"	20.8
SUBTOTAL					447.4

47TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		2,023	122	1,901	
TOTAL		2,023	122	1,901	

47TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	47.46	2'-6"	2'-7"	6.5
RESIDENTIAL	M	47.47	2'-5"	3'-10"	9.3
RESIDENTIAL	M	47.48	2'-7"	2'-8"	7.0
RESIDENTIAL	M	47.49	2'-4"	2'-6"	5.7
RESIDENTIAL	M	47.50	4'-10"	5'-1"	24.7
RESIDENTIAL	M	47.51	1'-2"	4'-4"	5.0
RESIDENTIAL	M	47.52	1'-6"	2'-3"	3.4
RESIDENTIAL	P	47.53	1'-1"	4'-0"	4.2
RESIDENTIAL	P	47.54	1'-0"	21'-9"	21.7
RESIDENTIAL	P	47.55	0'-6"	3'-6"	1.8
RESIDENTIAL	P	47.56	1'-0"	4'-0"	4.0
RESIDENTIAL	P	47.57	1'-5"	4'-5"	6.5
RESIDENTIAL	P	47.58	0'-8"	4'-5"	3.1
RESIDENTIAL	ST	47.59	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	47.60	0'-8"	1'-6"	1.0
RESIDENTIAL	M	47.61	2'-6"	3'-1"	7.8
RESIDENTIAL	M	47.62	1'-8"	2'-6"	4.1
RESIDENTIAL	ST	47.63	0'-8"	1'-6"	1.0
RESIDENTIAL	M	47.64	0'-2"	4'-9"	0.7
SUBTOTAL					122.3

47TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,786	570	8,216	
TOTAL		8,786	570	8,216	



47TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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48TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	6,643	466	6,177	
TOTAL		6,643	466	6,177	

48TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	48.1	3'-0"	4'-5"	13.2
RESIDENTIAL	ST	48.2	0'-8"	25'-5"	16.9
RESIDENTIAL	M	48.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	48.4	1'-10"	2'-10"	5.1
RESIDENTIAL	M	48.5	1'-11"	2'-10"	5.3
RESIDENTIAL	ST	48.6	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	48.7	0'-8"	25'-5"	16.9
RESIDENTIAL	M	48.8	1'-9"	5'-1"	8.7
RESIDENTIAL	M	48.9	0'-6"	0'-7"	0.3
RESIDENTIAL	P	48.10	1'-6"	5'-5"	7.9
RESIDENTIAL	P	48.11	0'-9"	3'-3"	2.5
RESIDENTIAL	P	48.12	1'-0"	5'-5"	5.4
RESIDENTIAL	P	48.13	0'-10"	3'-7"	3.1
RESIDENTIAL	M	48.14	2'-6"	3'-6"	8.7
RESIDENTIAL	M	48.15	4'-8"	6'-5"	30.2
RESIDENTIAL	P	48.16	1'-7"	3'-6"	5.4
RESIDENTIAL	M	48.17	2'-10"	3'-8"	10.4
RESIDENTIAL	M	48.18	2'-10"	5'-1"	14.6
RESIDENTIAL	P	48.19	0'-10"	0'-11"	0.7
RESIDENTIAL	M	48.20	3'-2"	3'-4"	10.4
SUBTOTAL					

48TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	48.21	3'-4"	4'-6"	15.3
RESIDENTIAL	M	48.22	4'-4"	4'-6"	19.6
RESIDENTIAL	M	48.23	4'-5"	4'-8"	20.8
RESIDENTIAL	E	48.24	4'-7"	8'-1"	37.1
RESIDENTIAL	M	48.25	3'-3"	5'-5"	17.7
RESIDENTIAL	M	48.26	1'-10"	4'-2"	7.7
RESIDENTIAL	M	48.27	4'-0"	4'-2"	16.7
RESIDENTIAL	P	48.28	0'-10"	4'-10"	4.0
RESIDENTIAL	P	48.29	1'-0"	2'-4"	2.3
RESIDENTIAL	P	48.30	1'-0"	3'-7"	3.6
RESIDENTIAL	P	48.31	0'-10"	3'-6"	3.0
RESIDENTIAL	P	48.32	0'-10"	0'-11"	0.8
RESIDENTIAL	P	48.33	1'-2"	3'-2"	3.9
RESIDENTIAL	M	48.34	4'-2"	4'-10"	20.0
RESIDENTIAL	M	48.35	4'-8"	6'-5"	30.2
RESIDENTIAL	M	48.36	1'-11"	2'-10"	5.4
RESIDENTIAL	P	48.37	2'-0"	6'-8"	13.3
RESIDENTIAL	M	48.38	1'-3"	4'-6"	5.7
RESIDENTIAL	P	48.39	0'-10"	4'-6"	3.7
RESIDENTIAL	M	48.40	4'-7"	4'-10"	22.2
RESIDENTIAL	M	48.41	2'-3"	2'-9"	6.3
RESIDENTIAL	P	48.42	1'-1"	5'-6"	6.1
RESIDENTIAL	M	48.43	1'-2"	3'-9"	4.4
RESIDENTIAL	M	48.44	4'-11"	7'-0"	34.1
SUBTOTAL					465.6

48TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	1,873	122	1,751	
TOTAL		1,873	122	1,751	

48TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	48.45	1'-0"	4'-0"	4.0
RESIDENTIAL	ST	48.46	0'-8"	7'-2"	4.8
RESIDENTIAL	M	48.47	2'-6"	2'-7"	6.5
RESIDENTIAL	M	48.48	2'-7"	2'-8"	7.0
RESIDENTIAL	M	48.49	4'-10"	5'-1"	24.7
RESIDENTIAL	P	48.50	1'-0"	21'-9"	21.7
RESIDENTIAL	M	48.51	1'-2"	4'-4"	5.0
RESIDENTIAL	M	48.52	1'-6"	2'-3"	3.4
RESIDENTIAL	P	48.53	0'-8"	4'-5"	3.1
RESIDENTIAL	M	48.54	2'-6"	3'-1"	7.8
RESIDENTIAL	ST	48.55	0'-8"	1'-6"	1.0
RESIDENTIAL	M	48.56	0'-2"	4'-9"	0.7
RESIDENTIAL	M	48.57	2'-4"	2'-6"	5.7
RESIDENTIAL	P	48.58	0'-6"	3'-6"	1.8
RESIDENTIAL	P	48.59	1'-5"	4'-5"	6.5
RESIDENTIAL	ST	48.60	0'-8"	1'-6"	1.0
RESIDENTIAL	P	48.61	1'-1"	4'-0"	4.2
RESIDENTIAL	M	48.62	1'-8"	2'-6"	4.1
RESIDENTIAL	M	48.63	2'-5"	3'-10"	9.3
SUBTOTAL					122.3

48TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,516	588	7,928	
TOTAL		8,516	588	7,928	

49TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	449	6,194
TOTAL		6,643	449	6,194

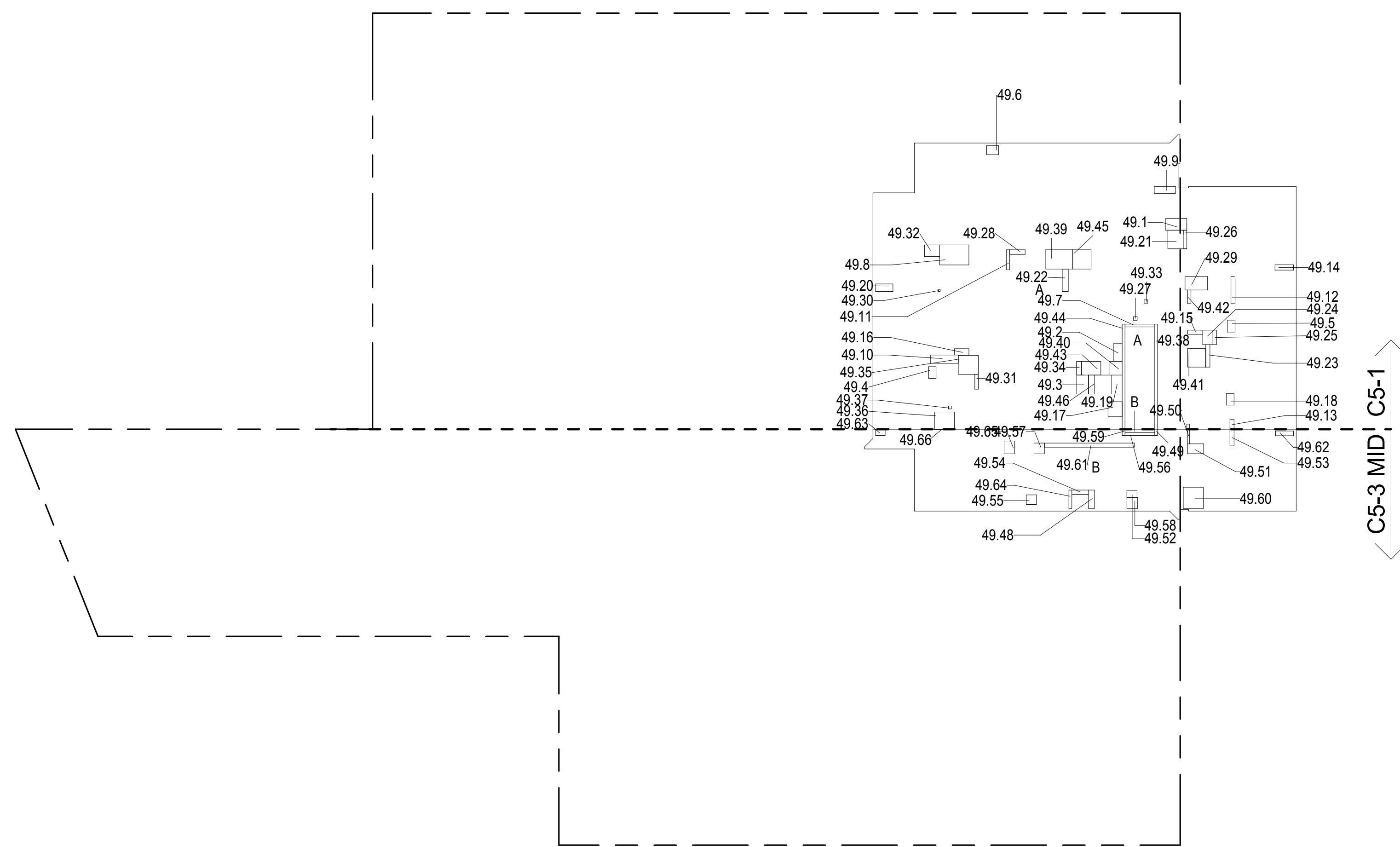
49TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	49.1	2'-10"	5'-1"	14.6
RESIDENTIAL	M	49.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	49.3	2'-11"	4'-7"	13.2
RESIDENTIAL	M	49.4	1'-10"	2'-10"	5.1
RESIDENTIAL	M	49.5	1'-11"	2'-10"	5.4
RESIDENTIAL	M	49.6	2'-3"	2'-9"	6.3
RESIDENTIAL	ST	49.7	0'-8"	7'-2"	4.8
RESIDENTIAL	M	49.8	4'-11"	7'-0"	34.1
RESIDENTIAL	M	49.9	1'-9"	5'-1"	8.7
RESIDENTIAL	P	49.10	2'-0"	6'-8"	13.3
RESIDENTIAL	P	49.11	0'-10"	4'-10"	4.0
RESIDENTIAL	P	49.12	1'-1"	6'-3"	6.6
RESIDENTIAL	P	49.13	1'-0"	2'-4"	2.3
RESIDENTIAL	M	49.14	1'-3"	4'-6"	5.7
RESIDENTIAL	P	49.15	1'-0"	3'-7"	3.6
RESIDENTIAL	P	49.16	1'-7"	3'-6"	5.4
RESIDENTIAL	M	49.17	3'-5"	3'-8"	12.5
RESIDENTIAL	M	49.18	1'-11"	2'-10"	5.3
RESIDENTIAL	E	49.19	2'-7"	4'-7"	11.6
RESIDENTIAL	M	49.20	1'-10"	4'-2"	7.7
RESIDENTIAL	M	49.21	4'-0"	4'-2"	16.7
RESIDENTIAL	P	49.22	1'-6"	5'-5"	7.9
RESIDENTIAL	P	49.23	1'-0"	5'-5"	5.4
RESIDENTIAL	M	49.24	2'-6"	3'-6"	8.7
RESIDENTIAL	P	49.25	0'-10"	3'-6"	3.0
RESIDENTIAL	P	49.26	0'-10"	4'-6"	3.7
RESIDENTIAL	P	49.27	0'-10"	0'-11"	0.8
RESIDENTIAL	M	49.28	1'-2"	3'-9"	4.4
RESIDENTIAL	M	49.29	3'-3"	5'-5"	17.7
RESIDENTIAL	M	49.30	0'-6"	0'-7"	0.3
RESIDENTIAL	P	49.31	0'-10"	3'-7"	3.1
RESIDENTIAL	M	49.32	2'-10"	3'-8"	10.4
RESIDENTIAL	P	49.33	0'-10"	0'-11"	0.7
RESIDENTIAL	P	49.34	1'-2"	3'-2"	3.9
RESIDENTIAL	M	49.35	4'-7"	4'-10"	22.2
SUBTOTAL					

49TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	49.36	4'-2"	4'-10"	20.0
RESIDENTIAL	M	49.37	0'-9"	0'-9"	0.5
RESIDENTIAL	ST	49.38	0'-8"	25'-5"	16.9
RESIDENTIAL	M	49.39	4'-8"	6'-6"	30.2
RESIDENTIAL	M	49.40	3'-2"	3'-4"	10.4
RESIDENTIAL	M	49.41	4'-4"	4'-6"	19.6
RESIDENTIAL	P	49.42	0'-9"	3'-3"	2.5
RESIDENTIAL	M	49.43	3'-4"	4'-6"	15.3
RESIDENTIAL	ST	49.44	0'-8"	25'-5"	16.9
RESIDENTIAL	M	49.45	4'-5"	4'-8"	20.8
RESIDENTIAL	E	49.46	1'-5"	4'-7"	6.6
RESIDENTIAL	P	49.47	0'-8"	1'-3"	0.9
SUBTOTAL					448.6

49TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	122	1,751
TOTAL		1,873	122	1,751

49TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	49.48	1'-5"	4'-5"	6.5
RESIDENTIAL	ST	49.49	0'-8"	1'-6"	1.0
RESIDENTIAL	P	49.50	0'-8"	3'-6"	1.8
RESIDENTIAL	M	49.51	2'-5"	3'-10"	9.3
RESIDENTIAL	M	49.52	1'-8"	2'-6"	4.1
RESIDENTIAL	P	49.53	1'-0"	4'-0"	4.0
RESIDENTIAL	P	49.54	1'-1"	4'-0"	4.2
RESIDENTIAL	M	49.55	2'-4"	2'-6"	5.7
RESIDENTIAL	ST	49.56	0'-8"	7'-2"	4.8
RESIDENTIAL	M	49.57	2'-6"	2'-7"	6.5
RESIDENTIAL	M	49.58	2'-7"	2'-8"	7.0
RESIDENTIAL	ST	49.59	0'-8"	1'-6"	1.0
RESIDENTIAL	M	49.60	4'-10"	5'-1"	24.7
RESIDENTIAL	P	49.61	1'-0"	21'-9"	21.7
RESIDENTIAL	M	49.62	1'-2"	4'-4"	5.0
RESIDENTIAL	M	49.63	1'-6"	2'-3"	3.4
RESIDENTIAL	P	49.64	0'-8"	4'-5"	3.1
RESIDENTIAL	M	49.65	2'-6"	3'-1"	7.8
RESIDENTIAL	M	49.66	0'-2"	4'-9"	0.7
SUBTOTAL					122.3

49TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	571	7,945	
TOTAL				



49TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 1

50TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	467	6,176
TOTAL		6,643	467	6,176

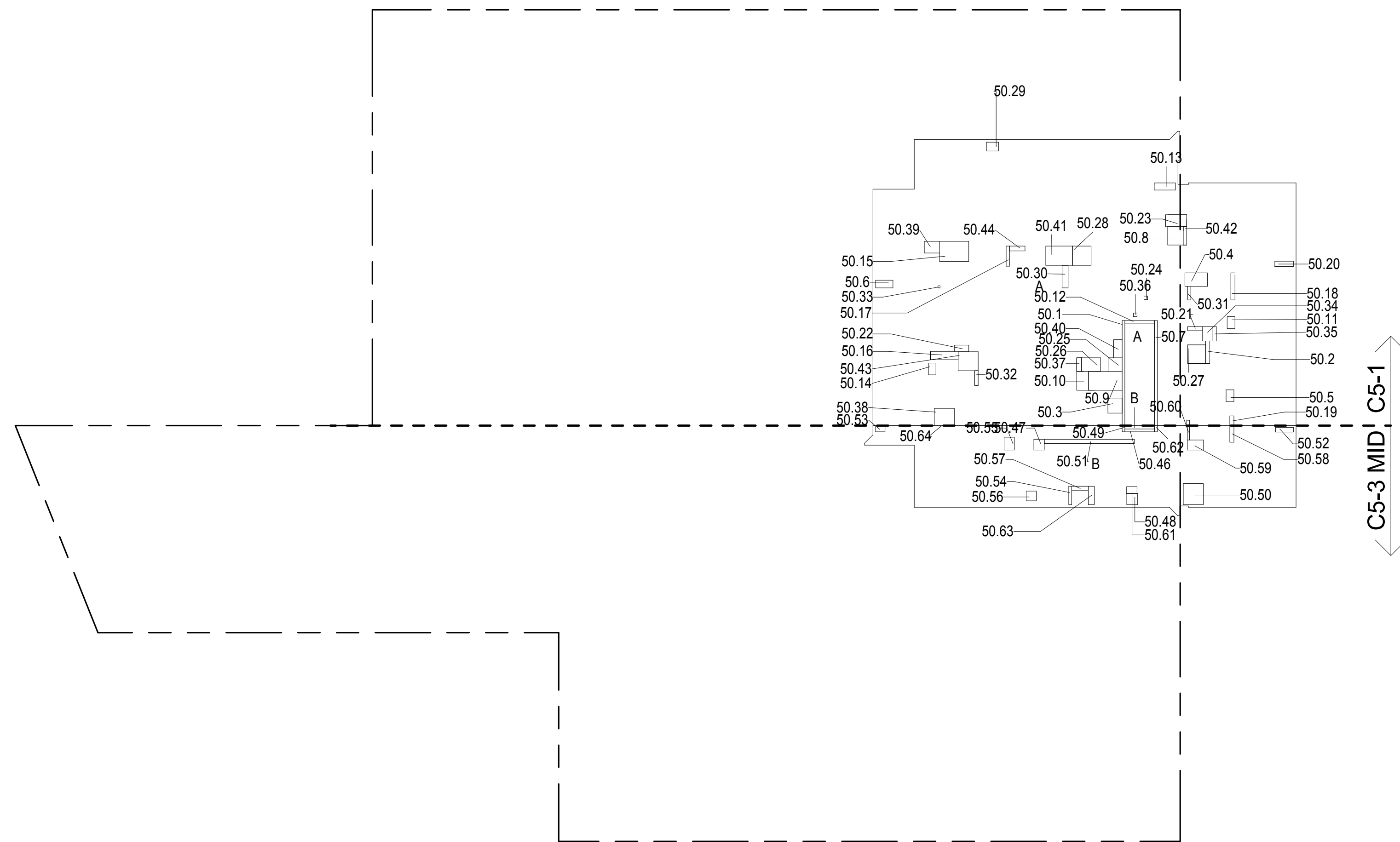
50TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	50.1	0'-8"	25'-5"	16.9
RESIDENTIAL	P	50.2	1'-0"	5'-5"	5.4
RESIDENTIAL	M	50.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	50.4	3'-3"	5'-5"	17.7
RESIDENTIAL	M	50.5	1'-11"	2'-10"	5.3
RESIDENTIAL	M	50.6	1'-10"	4'-2"	7.7
RESIDENTIAL	ST	50.7	0'-8"	25'-5"	16.9
RESIDENTIAL	M	50.8	4'-0"	4'-2"	16.7
RESIDENTIAL	E	50.9	4'-7"	8'-1"	37.1
RESIDENTIAL	M	50.10	2'-11"	4'-7"	13.2
RESIDENTIAL	M	50.11	1'-11"	2'-10"	5.4
RESIDENTIAL	ST	50.12	0'-8"	7'-2"	4.8
RESIDENTIAL	M	50.13	1'-9"	5'-1"	8.7
RESIDENTIAL	M	50.14	1'-10"	2'-10"	5.1
RESIDENTIAL	M	50.15	4'-11"	7'-0"	34.1
RESIDENTIAL	P	50.16	2'-0"	6'-8"	13.3
RESIDENTIAL	P	50.17	0'-10"	4'-10"	4.0
RESIDENTIAL	P	50.18	1'-1"	6'-3"	6.6
RESIDENTIAL	P	50.19	0'-10"	2'-4"	2.3
RESIDENTIAL	M	50.20	1'-3"	4'-6"	5.7
RESIDENTIAL	P	50.21	1'-0"	3'-7"	3.6
RESIDENTIAL	P	50.22	1'-7"	3'-6"	5.4
RESIDENTIAL	M	50.23	2'-10"	5'-1"	14.6
RESIDENTIAL	P	50.24	0'-10"	0'-11"	0.7
RESIDENTIAL	M	50.25	3'-2"	3'-4"	10.4
RESIDENTIAL	M	50.26	3'-4"	4'-6"	15.3
RESIDENTIAL	M	50.27	4'-4"	4'-6"	19.6
RESIDENTIAL	M	50.28	4'-5"	4'-8"	20.8
RESIDENTIAL	M	50.29	2'-3"	2'-9"	6.3
RESIDENTIAL	P	50.30	1'-6"	5'-5"	7.9
RESIDENTIAL	P	50.31	0'-9"	3'-3"	2.5
RESIDENTIAL	P	50.32	0'-10"	3'-7"	3.1
RESIDENTIAL	M	50.33	0'-6"	0'-7"	0.3
RESIDENTIAL	M	50.34	2'-6"	3'-6"	8.7
RESIDENTIAL	P	50.35	0'-10"	3'-6"	3.0
SUBTOTAL					

50TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	50.36	0'-10"	0'-11"	0.8
RESIDENTIAL	P	50.37	1'-2"	3'-2"	3.9
RESIDENTIAL	M	50.38	4'-2"	4'-10"	20.0
RESIDENTIAL	M	50.39	2'-10"	3'-8"	10.4
RESIDENTIAL	M	50.40	2'-1"	4'-4"	8.9
RESIDENTIAL	M	50.41	4'-8"	6'-6"	30.2
RESIDENTIAL	P	50.42	0'-10"	4'-6"	3.7
RESIDENTIAL	M	50.43	4'-7"	4'-10"	22.2
RESIDENTIAL	M	50.44	1'-2"	3'-9"	4.4
RESIDENTIAL	P	50.45	0'-8"	1'-3"	0.9
SUBTOTAL					467.0

50TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	122	1,751
TOTAL		1,873	122	1,751

50TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	50.46	0'-8"	7'-2"	4.8
RESIDENTIAL	M	50.47	2'-6"	2'-7"	6.5
RESIDENTIAL	M	50.48	2'-7"	2'-8"	7.0
RESIDENTIAL	ST	50.49	0'-8"	1'-6"	1.0
RESIDENTIAL	M	50.50	4'-10"	5'-1"	24.7
RESIDENTIAL	P	50.51	1'-0"	21'-9"	21.7
RESIDENTIAL	M	50.52	1'-2"	4'-4"	5.0
RESIDENTIAL	M	50.53	1'-6"	2'-3"	3.4
RESIDENTIAL	P	50.54	0'-8"	4'-5"	3.1
RESIDENTIAL	M	50.55	2'-6"	3'-1"	7.8
RESIDENTIAL	M	50.56	2'-4"	2'-6"	5.7
RESIDENTIAL	P	50.57	1'-1"	4'-0"	4.2
RESIDENTIAL	P	50.58	1'-0"	4'-0"	4.0
RESIDENTIAL	M	50.59	2'-5"	3'-10"	9.3
RESIDENTIAL	P	50.60	0'-6"	3'-6"	1.8
RESIDENTIAL	M	50.61	1'-8"	2'-6"	4.1
RESIDENTIAL	ST	50.62	0'-8"	1'-6"	1.0
RESIDENTIAL	P	50.63	1'-5"	4'-5"	6.5
RESIDENTIAL	M	50.64	0'-2"	4'-9"	0.7
SUBTOTAL					122.3

50TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	589	7,927	
TOTAL				



50TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 2

51ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	467	6,176
TOTAL		6,643	467	6,176

51ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	51.1	0'-8"	25'-5"	16.9
RESIDENTIAL	M	51.2	0'-6"	0'-7"	0.3
RESIDENTIAL	M	51.3	2'-11"	4'-7"	13.2
RESIDENTIAL	M	51.4	1'-2"	3'-9"	4.4
RESIDENTIAL	M	51.5	1'-11"	2'-10"	5.4
RESIDENTIAL	M	51.6	1'-11"	2'-10"	5.3
RESIDENTIAL	ST	51.7	0'-8"	7'-2"	4.8
RESIDENTIAL	P	51.8	0'-10"	3'-7"	3.1
RESIDENTIAL	M	51.9	1'-9"	5'-1"	8.7
RESIDENTIAL	M	51.10	4'-7"	4'-10"	22.2
RESIDENTIAL	P	51.11	0'-10"	4'-10"	4.0
RESIDENTIAL	M	51.12	4'-8"	6'-6"	30.2
RESIDENTIAL	P	51.13	1'-0"	2'-4"	2.3
RESIDENTIAL	P	51.14	0'-9"	3'-3"	2.5
RESIDENTIAL	P	51.15	1'-0"	3'-7"	3.6
RESIDENTIAL	ST	51.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	51.17	2'-10"	3'-8"	10.4
RESIDENTIAL	M	51.18	3'-5"	3'-8"	12.5
RESIDENTIAL	P	51.19	0'-10"	0'-11"	0.7
RESIDENTIAL	P	51.20	0'-10"	3'-6"	3.0
RESIDENTIAL	M	51.21	3'-4"	4'-6"	15.3
RESIDENTIAL	M	51.22	4'-4"	4'-6"	19.6
RESIDENTIAL	M	51.23	4'-5"	4'-8"	20.8
RESIDENTIAL	E	51.24	4'-7"	8'-1"	37.1
RESIDENTIAL	M	51.25	1'-10"	2'-10"	5.1
RESIDENTIAL	M	51.26	2'-3"	2'-9"	6.3
RESIDENTIAL	M	51.27	4'-11"	7'-0"	34.1
RESIDENTIAL	P	51.28	2'-0"	6'-8"	13.3
RESIDENTIAL	P	51.29	1'-0"	6'-7"	6.6
RESIDENTIAL	M	51.30	1'-3"	4'-6"	5.7
RESIDENTIAL	P	51.31	1'-7"	3'-6"	5.4
RESIDENTIAL	M	51.32	2'-10"	5'-1"	14.6
RESIDENTIAL	M	51.33	3'-2"	3'-4"	10.4
RESIDENTIAL	P	51.34	0'-10"	0'-11"	0.8
RESIDENTIAL	M	51.35	2'-1"	4'-4"	8.9
SUBTOTAL					

52ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	448	6,194
TOTAL		6,643	448	6,194

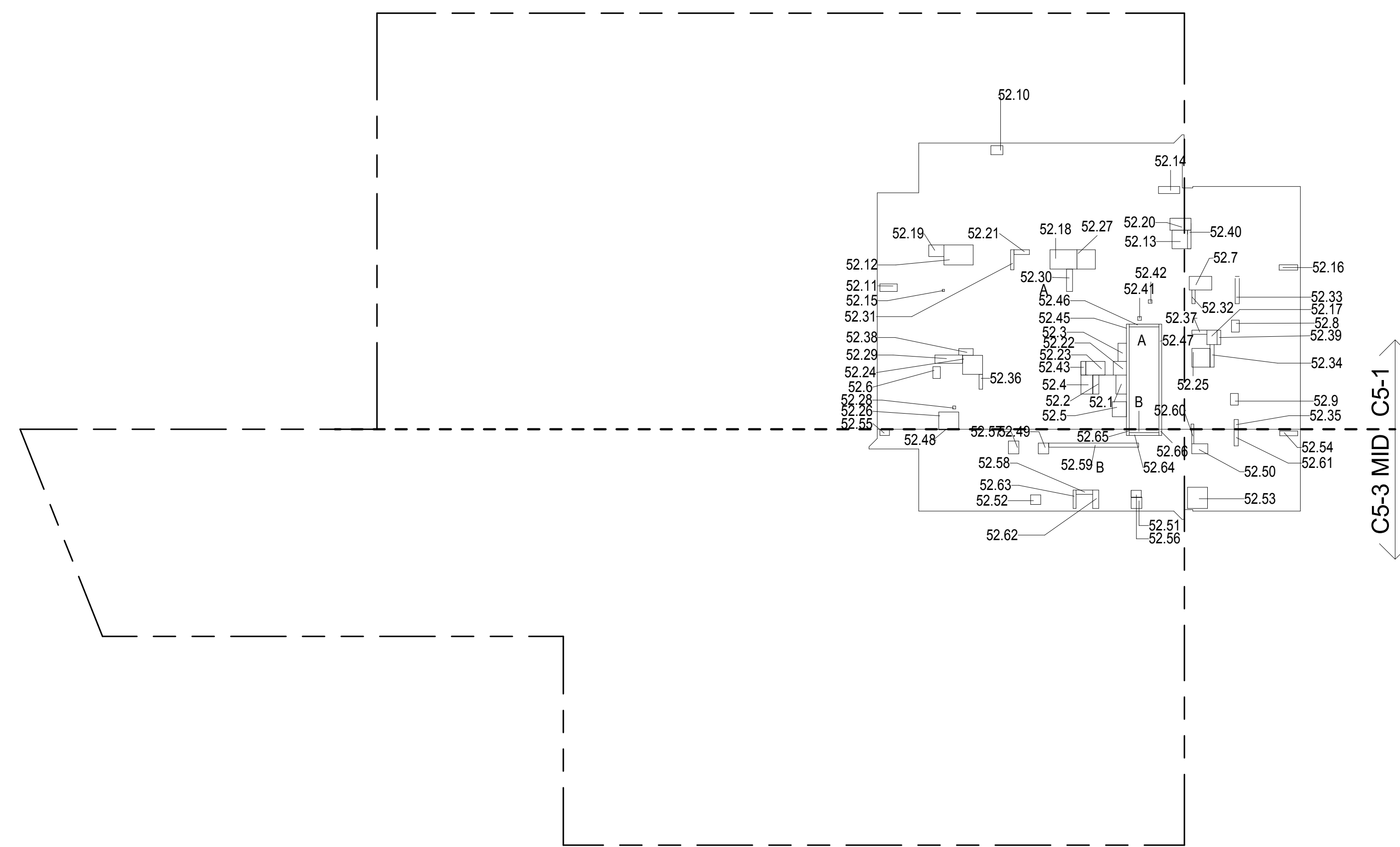
52ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	52.1	2'-7"	4'-7"	11.6
RESIDENTIAL	E	52.2	1'-5"	4'-7"	6.6
RESIDENTIAL	M	52.3	2'-11"	4'-4"	8.9
RESIDENTIAL	M	52.4	2'-11"	4'-7"	13.2
RESIDENTIAL	M	52.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	52.6	1'-10"	2'-10"	5.1
RESIDENTIAL	M	52.7	3'-3"	5'-5"	17.7
RESIDENTIAL	M	52.8	1'-11"	2'-10"	5.4
RESIDENTIAL	M	52.9	1'-11"	2'-10"	5.3
RESIDENTIAL	M	52.10	2'-3"	2'-9"	6.3
RESIDENTIAL	M	52.11	1'-10"	4'-2"	7.7
RESIDENTIAL	M	52.12	4'-11"	7'-0"	34.1
RESIDENTIAL	M	52.13	4'-0"	4'-2"	16.7
RESIDENTIAL	M	52.14	1'-9"	5'-1"	8.7
RESIDENTIAL	M	52.15	0'-6"	0'-7"	0.3
RESIDENTIAL	M	52.16	1'-3"	4'-6"	5.7
RESIDENTIAL	M	52.17	2'-6"	3'-6"	8.7
RESIDENTIAL	M	52.18	4'-8"	6'-6"	30.2
RESIDENTIAL	M	52.19	2'-10"	3'-8"	10.4
RESIDENTIAL	M	52.20	2'-10"	5'-11"	14.6
RESIDENTIAL	M	52.21	1'-2"	3'-9"	4.4
RESIDENTIAL	M	52.22	3'-2"	3'-4"	10.4
RESIDENTIAL	M	52.23	3'-4"	4'-6"	15.3
RESIDENTIAL	M	52.24	4'-7"	4'-10"	22.2
RESIDENTIAL	M	52.25	4'-4"	4'-6"	19.6
RESIDENTIAL	M	52.26	4'-2"	4'-10"	20.0
RESIDENTIAL	M	52.27	4'-5"	4'-8"	20.8
RESIDENTIAL	M	52.28	0'-9"	0'-9"	0.5
RESIDENTIAL	P	52.29	2'-0"	6'-8"	13.3
RESIDENTIAL	P	52.30	1'-6"	9'-5"	7.9
RESIDENTIAL	P	52.31	0'-10"	4'-10"	4.0
RESIDENTIAL	P	52.32	0'-9"	3'-3"	2.5
RESIDENTIAL	P	52.33	1'-1"	5'-6"	6.1
RESIDENTIAL	P	52.34	1'-0"	5'-5"	5.4
RESIDENTIAL	P	52.35	1'-0"	2'-4"	2.3
SUBTOTAL					

52ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	52.36	0'-10"	3'-7"	3.1
RESIDENTIAL	P	52.37	1'-0"	3'-7"	3.6
RESIDENTIAL	P	52.38	1'-7"	3'-6"	5.4
RESIDENTIAL	P	52.39	0'-10"	3'-6"	3.0
RESIDENTIAL	P	52.40	0'-10"	4'-6"	3.7
RESIDENTIAL	P	52.41	0'-10"	0'-11"	0.8
RESIDENTIAL	P	52.42	0'-10"	0'-11"	0.7
RESIDENTIAL	P	52.43	1'-2"	3'-2"	3.9
RESIDENTIAL	P	52.44	0'-8"	1'-3"	0.9
RESIDENTIAL	ST	52.45	0'-8"	25'-5"	16.9
RESIDENTIAL	ST	52.46	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	52.47	0'-8"	25'-5"	16.9
SUBTOTAL					448.1

52ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	122	1,751
TOTAL		1,873	122	1,751

52ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	52.48	0'-2"	4'-9"	0.7
RESIDENTIAL	M	52.49	2'-6"	2'-7"	6.5
RESIDENTIAL	M	52.50	2'-5"	3'-10"	9.3
RESIDENTIAL	M	52.51	2'-7"	2'-8"	7.0
RESIDENTIAL	M	52.52	2'-4"	2'-6"	5.7
RESIDENTIAL	M	52.53	4'-10"	5'-1"	24.7
RESIDENTIAL	M	52.54	1'-2"	4'-4"	5.0
RESIDENTIAL	M	52.55	1'-6"	2'-3"	3.4
RESIDENTIAL	M	52.56	1'-8"	2'-6"	4.1
RESIDENTIAL	M	52.57	2'-6"	3'-1"	7.8
RESIDENTIAL	P	52.58	1'-1"	4'-0"	4.2
RESIDENTIAL	P	52.59	1'-0"	21'-9"	21.7
RESIDENTIAL	P	52.60	0'-6"	3'-6"	1.8
RESIDENTIAL	P	52.61	1'-0"	4'-0"	4.0
RESIDENTIAL	P	52.62	1'-5"	4'-5"	6.5
RESIDENTIAL	P	52.63	0'-8"	4'-5"	3.1
RESIDENTIAL	ST	52.64	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	52.65	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	52.66	0'-8"	1'-6"	1.0
SUBTOTAL					122.3

52ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	570	7,945	
TOTAL	8,516	570	7,945	



ZONING AND DEDUCT LEGEND	
<input type="checkbox"/>	DEDUCTIONS
M	MECHANICAL ROOM / RISER
E	ELECTRICAL SHAFT / RISER
P	PLUMBING RISER
BG	BELOW GRADE
O	OPENING TO BELOW
L	LOADING BAYS
ST	44\"/>
G	GAP FROM ADJACENT BUILDING
---	DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

53RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	467	6,176
TOTAL		6,643	467	6,176

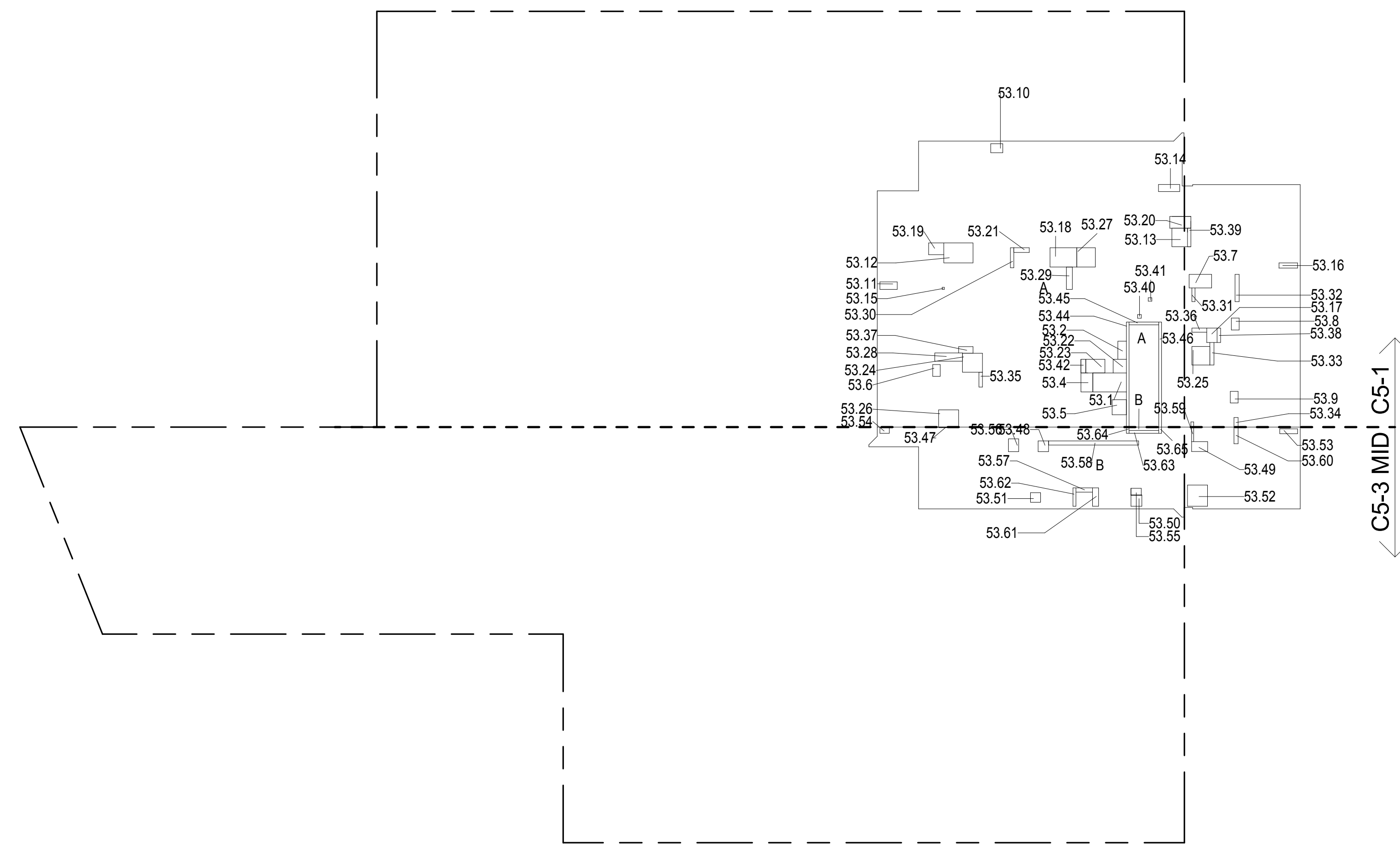
53RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	53.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	53.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	53.4	2'-11"	4'-7"	13.2
RESIDENTIAL	M	53.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	53.6	1'-10"	2'-10"	5.1
RESIDENTIAL	M	53.7	3'-3"	5'-5"	17.7
RESIDENTIAL	M	53.8	1'-11"	2'-10"	5.4
RESIDENTIAL	M	53.9	1'-11"	2'-10"	5.3
RESIDENTIAL	M	53.10	2'-3"	2'-9"	6.3
RESIDENTIAL	M	53.11	1'-10"	4'-2"	7.7
RESIDENTIAL	M	53.12	4'-11"	7'-0"	34.1
RESIDENTIAL	M	53.13	4'-0"	4'-2"	16.7
RESIDENTIAL	M	53.14	1'-9"	5'-1"	8.7
RESIDENTIAL	M	53.15	0'-6"	0'-7"	0.3
RESIDENTIAL	M	53.16	1'-3"	4'-6"	5.7
RESIDENTIAL	M	53.17	2'-6"	3'-6"	8.7
RESIDENTIAL	M	53.18	4'-8"	6'-6"	30.2
RESIDENTIAL	M	53.19	2'-10"	3'-8"	10.4
RESIDENTIAL	M	53.20	2'-10"	5'-1"	14.6
RESIDENTIAL	M	53.21	1'-2"	3'-9"	4.4
RESIDENTIAL	M	53.22	3'-2"	3'-4"	10.4
RESIDENTIAL	M	53.23	3'-4"	4'-6"	15.3
RESIDENTIAL	M	53.24	4'-7"	4'-10"	22.2
RESIDENTIAL	M	53.25	4'-4"	4'-6"	19.6
RESIDENTIAL	M	53.26	4'-2"	4'-10"	20.0
RESIDENTIAL	M	53.27	4'-5"	4'-8"	20.8
RESIDENTIAL	P	53.28	2'-0"	6'-8"	13.3
RESIDENTIAL	P	53.29	1'-6"	5'-5"	7.9
RESIDENTIAL	P	53.30	0'-10"	4'-10"	4.0
RESIDENTIAL	P	53.31	0'-9"	3'-3"	2.5
RESIDENTIAL	P	53.32	1'-0"	6'-7"	6.6
RESIDENTIAL	P	53.33	1'-0"	5'-5"	5.4
RESIDENTIAL	P	53.34	1'-0"	2'-4"	2.3
RESIDENTIAL	P	53.35	0'-10"	3'-7"	3.1
RESIDENTIAL	P	53.36	1'-0"	3'-7"	3.6
SUBTOTAL					

53RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	53.37	1'- 7"	3'- 6"	5.4
RESIDENTIAL	P	53.38	0'- 10"	3'- 6"	3.0
RESIDENTIAL	P	53.39	0'- 10"	4'- 6"	3.0
RESIDENTIAL	P	53.40	0'- 10"	0'- 11"	0.8
RESIDENTIAL	P	53.41	0'- 10"	0'- 11"	0.8
RESIDENTIAL	P	53.42	1'- 2"	3'- 2"	3.0
RESIDENTIAL	P	53.43	0'- 8"	1'- 3"	0.8
RESIDENTIAL	ST	53.44	0'- 8"	25'- 5"	16.0
RESIDENTIAL	ST	53.45	0'- 8"	7'- 2"	4.0
RESIDENTIAL	ST	53.46	0'- 8"	25'- 5"	16.0
SUBTOTAL					467.0

53RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	122	1,751
TOTAL		1,873	122	1,751

53RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	53.47	0'-2"	4'-9"	0.7
RESIDENTIAL	M	53.48	2'-6"	2'-7"	6.5
RESIDENTIAL	M	53.49	2'-5"	3'-10"	9.3
RESIDENTIAL	M	53.50	2'-7"	2'-8"	7.0
RESIDENTIAL	M	53.51	2'-4"	2'-6"	5.7
RESIDENTIAL	M	53.52	4'-10"	5'-1"	24.7
RESIDENTIAL	M	53.53	1'-2"	4'-4"	5.0
RESIDENTIAL	M	53.54	1'-6"	2'-3"	3.4
RESIDENTIAL	M	53.55	1'-8"	2'-6"	4.1
RESIDENTIAL	M	53.56	2'-6"	3'-1"	7.8
RESIDENTIAL	P	53.57	1'-1"	4'-0"	4.2
RESIDENTIAL	P	53.58	1'-0"	21'-9"	21.7
RESIDENTIAL	P	53.59	0'-6"	3'-6"	1.8
RESIDENTIAL	P	53.60	1'-0"	4'-0"	4.0
RESIDENTIAL	P	53.61	1'-5"	4'-5"	6.5
RESIDENTIAL	P	53.62	0'-8"	4'-5"	3.1
RESIDENTIAL	ST	53.63	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	53.64	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	53.65	0'-8"	1'-6"	1.0
SUBTOTAL					122.3

53RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	589	7,927	
TOTAL	8,516	589	7,927	



53RD FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

54TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	467	6,176
TOTAL		6,643	467	6,176

54TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	54.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	54.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	54.5	2'-11"	4'-7"	13.2
RESIDENTIAL	M	54.6	3'-5"	3'-8"	12.5
RESIDENTIAL	M	54.7	1'-10"	2'-10"	5.1
RESIDENTIAL	M	54.8	3'-3"	5'-5"	17.7
RESIDENTIAL	M	54.9	1'-11"	2'-10"	5.4
RESIDENTIAL	M	54.10	1'-11"	2'-10"	5.3
RESIDENTIAL	M	54.11	2'-3"	2'-9"	6.3
RESIDENTIAL	M	54.12	1'-10"	4'-2"	7.7
RESIDENTIAL	M	54.13	4'-11"	7'-0"	34.1
RESIDENTIAL	M	54.14	4'-0"	4'-2"	16.7
RESIDENTIAL	M	54.15	1'-9"	5'-1"	8.7
RESIDENTIAL	M	54.16	0'-6"	0'-7"	0.3
RESIDENTIAL	M	54.17	1'-3"	4'-6"	5.7
RESIDENTIAL	M	54.18	2'-6"	3'-6"	8.7
RESIDENTIAL	M	54.19	4'-8"	6'-6"	30.2
RESIDENTIAL	M	54.20	2'-10"	3'-8"	10.4
RESIDENTIAL	M	54.21	2'-10"	5'-1"	14.6
RESIDENTIAL	M	54.22	1'-2"	3'-9"	4.4
RESIDENTIAL	M	54.23	3'-2"	3'-4"	10.4
RESIDENTIAL	M	54.24	3'-4"	4'-6"	15.3
RESIDENTIAL	M	54.25	4'-7"	4'-10"	22.2
RESIDENTIAL	M	54.26	4'-4"	4'-6"	19.0
RESIDENTIAL	M	54.27	4'-2"	4'-4"	18.1
RESIDENTIAL	M	54.28	4'-5"	4'-8"	20.0
RESIDENTIAL	P	54.29	2'-0"	6'-8"	13.3
RESIDENTIAL	P	54.30	1'-6"	5'-5"	7.9
RESIDENTIAL	P	54.31	0'-10"	4'-4"	4.4
RESIDENTIAL	P	54.32	0'-8"	3'-3"	2.7
RESIDENTIAL	P	54.33	0'-11"	3'-5"	6.0
RESIDENTIAL	P	54.34	1'-0"	5'-5"	5.7
RESIDENTIAL	P	54.35	0'-10"	2'-4"	2.2
RESIDENTIAL	P	54.36	0'-10"	3'-7"	3.3
RESIDENTIAL	P	54.37	0'-11"	3'-7"	3.9
SUBTOTAL					

55TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	449	6,194
TOTAL		6,643	449	6,194

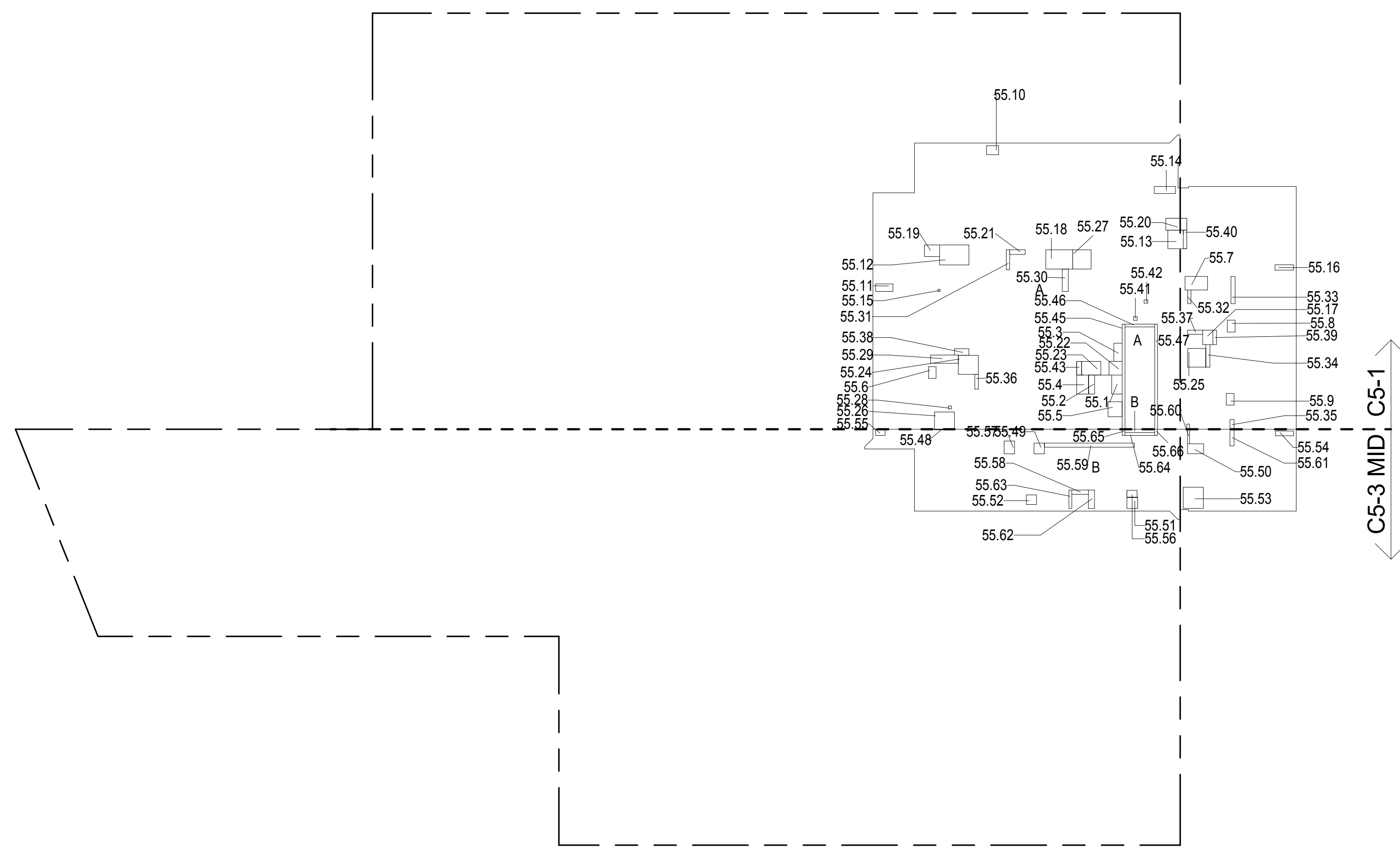
55TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	55.1	2'-7"	4'-7"	11.6
RESIDENTIAL	E	55.2	1'-5"	4'-7"	6.6
RESIDENTIAL	M	55.3	2'-1"	4'-4"	8.9
RESIDENTIAL	M	55.4	2'-11"	4'-7"	13.2
RESIDENTIAL	M	55.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	55.6	1'-10"	2'-10"	5.1
RESIDENTIAL	M	55.7	3'-3"	5'-5"	17.7
RESIDENTIAL	M	55.8	1'-11"	2'-10"	5.4
RESIDENTIAL	M	55.9	1'-11"	2'-10"	5.3
RESIDENTIAL	M	55.10	2'-3"	2'-9"	6.3
RESIDENTIAL	M	55.11	1'-10"	4'-2"	7.7
RESIDENTIAL	M	55.12	4'-11"	7'-0"	34.1
RESIDENTIAL	M	55.13	4'-0"	4'-2"	16.7
RESIDENTIAL	M	55.14	1'-9"	5'-1"	8.7
RESIDENTIAL	M	55.15	0'-6"	0'-7"	0.3
RESIDENTIAL	M	55.16	1'-3"	4'-6"	5.7
RESIDENTIAL	M	55.17	2'-6"	3'-6"	8.7
RESIDENTIAL	M	55.18	4'-8"	6'-6"	30.2
RESIDENTIAL	M	55.19	2'-10"	3'-8"	10.4
RESIDENTIAL	M	55.20	2'-10"	5'-1"	14.6
RESIDENTIAL	M	55.21	1'-2"	3'-9"	4.4
RESIDENTIAL	M	55.22	3'-2"	3'-4"	10.4
RESIDENTIAL	M	55.23	3'-4"	4'-6"	15.3
RESIDENTIAL	M	55.24	4'-7"	4'-10"	22.2
RESIDENTIAL	M	55.25	4'-4"	4'-6"	19.6
RESIDENTIAL	M	55.26	4'-2"	4'-10"	20.0
RESIDENTIAL	M	55.27	4'-5"	4'-8"	20.8
RESIDENTIAL	M	55.28	0'-9"	0'-9"	0.5
RESIDENTIAL	P	55.29	2'-0"	6'-8"	13.3
RESIDENTIAL	P	55.30	1'-6"	9'-5"	7.9
RESIDENTIAL	P	55.31	0'-10"	4'-10"	4.0
RESIDENTIAL	P	55.32	0'-9"	3'-3"	2.5
RESIDENTIAL	P	55.33	1'-0"	6'-7"	6.6
RESIDENTIAL	P	55.34	1'-0"	5'-5"	5.4
RESIDENTIAL	P	55.35	1'-0"	2'-4"	2.3
SUBTOTAL					

55TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	55.36	0'-10"	3'-7"	3.1
RESIDENTIAL	P	55.37	1'-0"	3'-7"	3.6
RESIDENTIAL	P	55.38	1'-7"	3'-6"	5.4
RESIDENTIAL	P	55.39	0'-10"	3'-6"	3.0
RESIDENTIAL	P	55.40	0'-10"	4'-6"	3.7
RESIDENTIAL	P	55.41	0'-10"	0'-11"	0.8
RESIDENTIAL	P	55.42	0'-10"	0'-11"	0.7
RESIDENTIAL	P	55.43	1'-2"	3'-2"	3.9
RESIDENTIAL	P	55.44	0'-8"	1'-3"	0.9
RESIDENTIAL	ST	55.45	0'-8"	25'-5"	16.9
RESIDENTIAL	ST	55.46	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	55.47	0'-8"	25'-5"	16.9
SUBTOTAL					448.6

55TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	122	1,751
TOTAL		1,873	122	1,751

55TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	55.48	0'-2"	4'-9"	0.7
RESIDENTIAL	M	55.49	2'-6"	2'-7"	6.5
RESIDENTIAL	M	55.50	2'-5"	3'-10"	9.3
RESIDENTIAL	M	55.51	2'-7"	2'-8"	7.0
RESIDENTIAL	M	55.52	2'-4"	2'-6"	5.7
RESIDENTIAL	M	55.53	4'-10"	5'-1"	24.7
RESIDENTIAL	M	55.54	1'-2"	4'-4"	5.0
RESIDENTIAL	M	55.55	1'-6"	2'-3"	3.4
RESIDENTIAL	M	55.56	1'-8"	2'-6"	4.1
RESIDENTIAL	M	55.57	2'-6"	3'-1"	7.8
RESIDENTIAL	P	55.58	1'-1"	4'-0"	4.2
RESIDENTIAL	P	55.59	1'-0"	21'-9"	21.7
RESIDENTIAL	P	55.60	0'-6"	3'-6"	1.8
RESIDENTIAL	P	55.61	1'-0"	4'-0"	4.0
RESIDENTIAL	P	55.62	1'-5"	4'-5"	6.5
RESIDENTIAL	P	55.63	0'-8"	4'-5"	3.1
RESIDENTIAL	ST	55.64	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	55.65	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	55.66	0'-8"	1'-6"	1.0
SUBTOTAL					122.3

55TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	571	7,945	
TOTAL				



- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

55TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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56TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	467	6,176
TOTAL		6,643	467	6,176

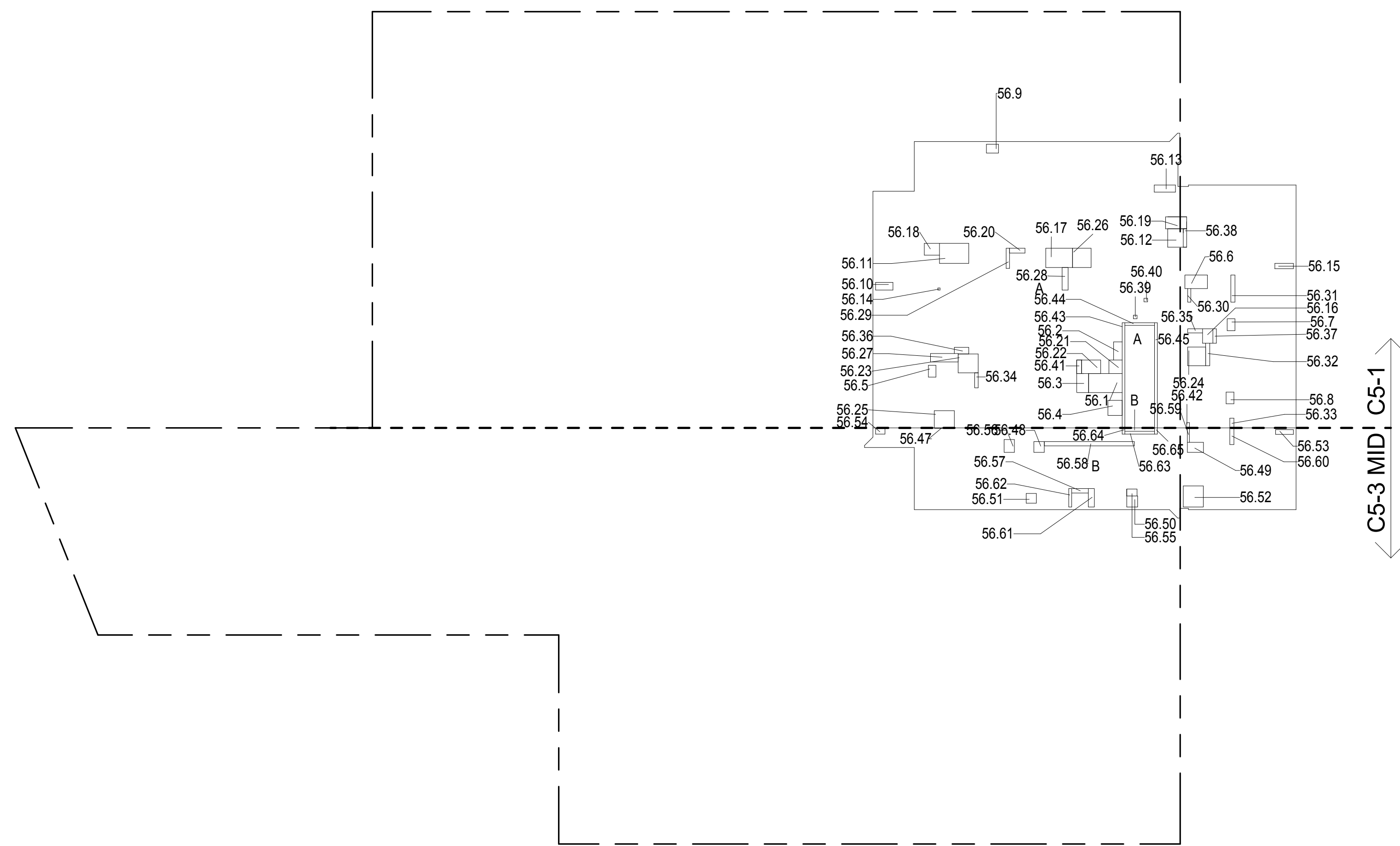
56TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	56.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	56.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	56.3	3'-0"	4'-5"	13.2
RESIDENTIAL	M	56.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	56.5	1'-10"	2'-10"	5.1
RESIDENTIAL	M	56.6	3'-3"	5'-5"	17.7
RESIDENTIAL	M	56.7	1'-11"	2'-10"	5.4
RESIDENTIAL	M	56.8	1'-11"	2'-10"	5.3
RESIDENTIAL	M	56.9	2'-3"	2'-9"	6.3
RESIDENTIAL	M	56.10	1'-10"	4'-2"	7.7
RESIDENTIAL	M	56.11	4'-11"	7'-0"	34.1
RESIDENTIAL	M	56.12	4'-0"	4'-2"	16.7
RESIDENTIAL	M	56.13	1'-9"	5'-1"	8.7
RESIDENTIAL	M	56.14	0'-6"	0'-7"	0.3
RESIDENTIAL	M	56.15	1'-3"	4'-6"	5.7
RESIDENTIAL	M	56.16	2'-6"	3'-6"	8.7
RESIDENTIAL	M	56.17	4'-8"	6'-6"	30.2
RESIDENTIAL	M	56.18	2'-10"	3'-8"	10.4
RESIDENTIAL	M	56.19	2'-10"	5'-1"	14.6
RESIDENTIAL	M	56.20	1'-2"	3'-9"	4.4
RESIDENTIAL	M	56.21	3'-2"	3'-4"	10.4
RESIDENTIAL	M	56.22	3'-4"	4'-6"	15.3
RESIDENTIAL	M	56.23	4'-7"	4'-10"	22.2
RESIDENTIAL	M	56.24	4'-4"	4'-6"	19.6
RESIDENTIAL	M	56.25	4'-2"	4'-10"	20.0
RESIDENTIAL	M	56.26	4'-5"	4'-8"	20.8
RESIDENTIAL	P	56.27	2'-0"	6'-8"	13.3
RESIDENTIAL	P	56.28	1'-6"	5'-5"	7.9
RESIDENTIAL	P	56.29	0'-10"	4'-10"	4.0
RESIDENTIAL	P	56.30	0'-9"	3'-3"	2.5
RESIDENTIAL	P	56.31	1'-0"	6'-7"	6.6
RESIDENTIAL	P	56.32	1'-0"	5'-5"	5.4
RESIDENTIAL	P	56.33	1'-0"	2'-4"	2.3
RESIDENTIAL	P	56.34	0'-10"	3'-7"	3.1
RESIDENTIAL	P	56.35	1'-0"	3'-7"	3.6
SUBTOTAL					

56TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	56.36	1'- 7"	3'- 6"	5.4
RESIDENTIAL	P	56.37	0'- 10"	3'- 6"	3.0
RESIDENTIAL	P	56.38	0'- 10"	4'- 6"	3.7
RESIDENTIAL	P	56.39	0'- 10"	0'- 11"	0.8
RESIDENTIAL	P	56.40	0'- 10"	0'- 11"	0.7
RESIDENTIAL	P	56.41	1'- 2"	3'- 2"	3.9
RESIDENTIAL	P	56.42	0'- 8"	1'- 3"	0.9
RESIDENTIAL	ST	56.43	0'- 8"	25'- 5"	16.9
RESIDENTIAL	ST	56.44	0'- 8"	7'- 2"	4.8
RESIDENTIAL	ST	56.45	0'- 8"	25'- 5"	16.9
SUBTOTAL					467.0

56TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	122	1,751
TOTAL		1,873	122	1,751

56TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	56.47	0'-2"	4'-9"	0.7
RESIDENTIAL	M	56.48	2'-6"	2'-7"	6.5
RESIDENTIAL	M	56.49	2'-5"	3'-10"	9.3
RESIDENTIAL	M	56.50	2'-7"	2'-8"	7.0
RESIDENTIAL	M	56.51	2'-4"	2'-6"	5.7
RESIDENTIAL	M	56.52	4'-10"	5'-1"	24.7
RESIDENTIAL	M	56.53	1'-2"	4'-4"	5.0
RESIDENTIAL	M	56.54	1'-6"	2'-3"	3.4
RESIDENTIAL	M	56.55	1'-8"	2'-6"	4.1
RESIDENTIAL	M	56.56	2'-6"	3'-1"	7.8
RESIDENTIAL	P	56.57	1'-1"	4'-0"	4.2
RESIDENTIAL	P	56.58	1'-0"	21'-9"	21.7
RESIDENTIAL	P	56.59	0'-6"	3'-6"	1.8
RESIDENTIAL	P	56.60	1'-0"	4'-0"	4.0
RESIDENTIAL	P	56.61	1'-5"	4'-5"	6.5
RESIDENTIAL	P	56.62	0'-8"	4'-5"	3.1
RESIDENTIAL	ST	56.63	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	56.64	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	56.65	0'-8"	1'-6"	1.0
SUBTOTAL					122.3

56TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	589	7,927	
TOTAL				



56TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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57TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	467	6,176
TOTAL		6,643	467	6,176

57TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	57.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	57.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	57.3	3'-0"	4'-5"	13.2
RESIDENTIAL	M	57.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	57.5	1'-10"	2'-10"	5.1
RESIDENTIAL	M	57.6	3'-3"	5'-5"	17.7
RESIDENTIAL	M	57.7	1'-11"	2'-10"	5.4
RESIDENTIAL	M	57.8	1'-11"	2'-10"	5.3
RESIDENTIAL	M	57.9	2'-3"	2'-9"	6.3
RESIDENTIAL	M	57.10	1'-10"	4'-2"	7.7
RESIDENTIAL	M	57.11	4'-11"	7'-0"	34.1
RESIDENTIAL	M	57.12	4'-0"	4'-2"	16.7
RESIDENTIAL	M	57.13	1'-9"	5'-1"	8.7
RESIDENTIAL	M	57.14	0'-6"	0'-7"	0.3
RESIDENTIAL	M	57.15	1'-3"	4'-6"	5.7
RESIDENTIAL	M	57.16	2'-6"	3'-6"	8.7
RESIDENTIAL	M	57.17	4'-8"	6'-6"	30.2
RESIDENTIAL	M	57.18	2'-10"	3'-8"	10.4
RESIDENTIAL	M	57.19	2'-10"	5'-1"	14.6
RESIDENTIAL	M	57.20	1'-2"	3'-9"	4.4
RESIDENTIAL	M	57.21	3'-2"	3'-4"	10.4
RESIDENTIAL	M	57.22	3'-4"	4'-6"	15.3
RESIDENTIAL	M	57.23	4'-7"	4'-10"	22.2
RESIDENTIAL	M	57.24	4'-4"	4'-6"	19.6
RESIDENTIAL	M	57.25	4'-2"	4'-10"	20.0
RESIDENTIAL	M	57.26	4'-5"	4'-8"	20.8
RESIDENTIAL	P	57.27	2'-0"	6'-8"	13.3
RESIDENTIAL	P	57.28	1'-6"	5'-5"	7.8
RESIDENTIAL	P	57.29	0'-10"	4'-4"	4.0
RESIDENTIAL	P	57.30	0'-3"	3'-3"	0.9
RESIDENTIAL	P	57.31	0'-10"	6'-7"	6.6
RESIDENTIAL	P	57.32	1'-0"	5'-5"	5.4
RESIDENTIAL	P	57.33	1'-0"	2'-4"	2.3
RESIDENTIAL	P	57.34	0'-10"	3'-7"	3.1
RESIDENTIAL	P	57.35	1'-0"	3'-7"	3.6
SUBTOTAL					

61ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	6,643	447	6,195
TOTAL		6,643	447	6,195

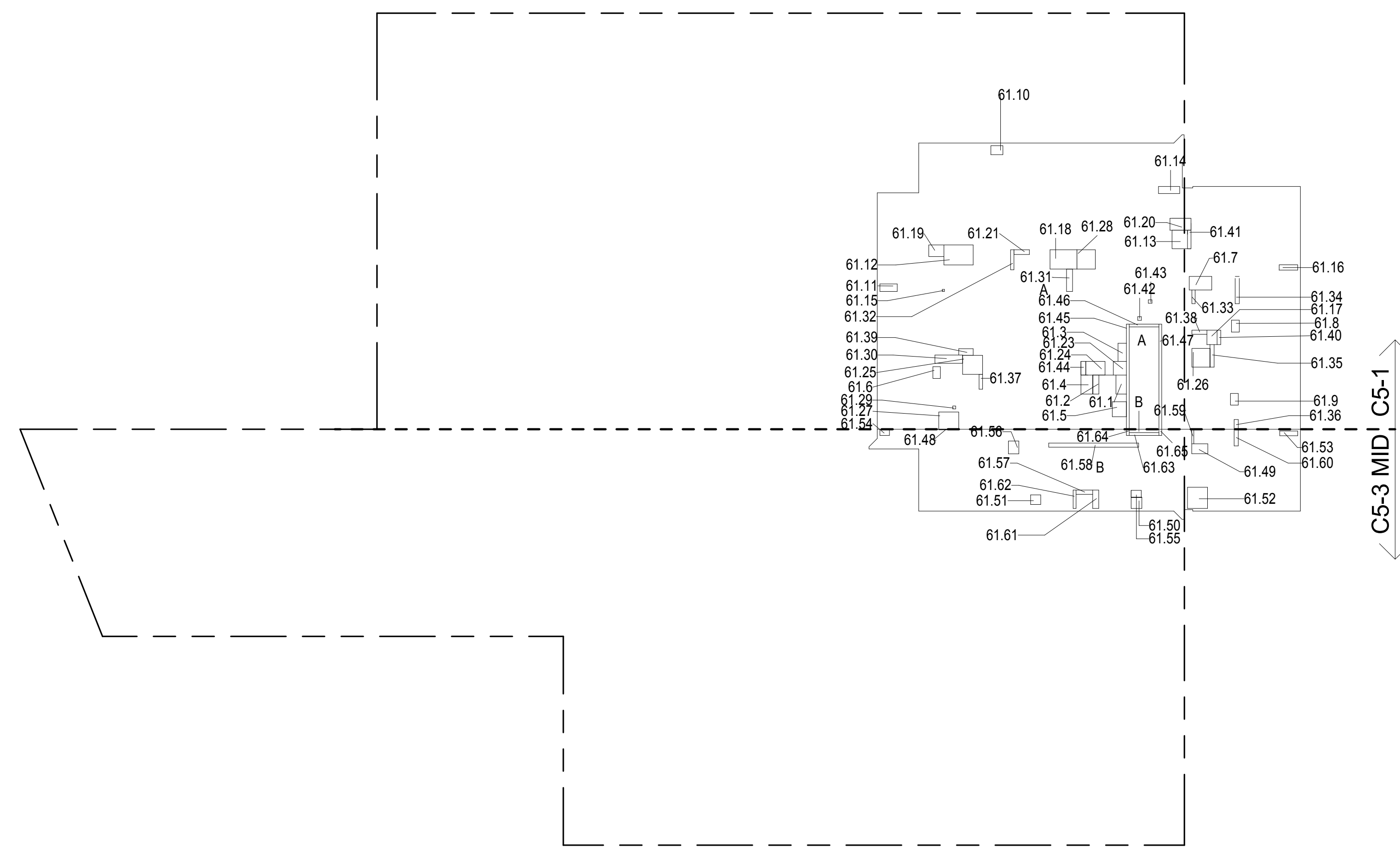
61ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	61.1	2'-7"	4'-7"	11.6
RESIDENTIAL	E	61.2	1'-5"	4'-7"	6.6
RESIDENTIAL	M	61.3	2'-1"	4'-4"	8.9
RESIDENTIAL	M	61.4	2'-11"	4'-7"	13.2
RESIDENTIAL	M	61.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	61.6	1'-10"	2'-10"	5.1
RESIDENTIAL	M	61.7	3'-3"	5'-5"	17.7
RESIDENTIAL	M	61.8	1'-11"	2'-10"	5.4
RESIDENTIAL	M	61.9	1'-11"	2'-10"	5.3
RESIDENTIAL	M	61.10	2'-3"	2'-9"	6.3
RESIDENTIAL	M	61.11	1'-10"	4'-2"	7.7
RESIDENTIAL	M	61.12	4'-11"	7'-0"	34.1
RESIDENTIAL	M	61.13	4'-0"	4'-2"	16.7
RESIDENTIAL	M	61.14	1'-9"	5'-1"	8.7
RESIDENTIAL	M	61.15	0'-6"	0'-7"	0.3
RESIDENTIAL	M	61.16	1'-3"	4'-6"	5.7
RESIDENTIAL	M	61.17	2'-6"	3'-6"	8.7
RESIDENTIAL	M	61.18	4'-8"	6'-6"	30.2
RESIDENTIAL	M	61.19	2'-10"	3'-8"	10.4
RESIDENTIAL	M	61.20	2'-10"	5'-1"	14.6
RESIDENTIAL	M	61.21	1'-2"	3'-9"	4.4
RESIDENTIAL	M	61.23	3'-2"	3'-4"	10.4
RESIDENTIAL	M	61.24	3'-4"	4'-6"	15.3
RESIDENTIAL	M	61.25	4'-7"	4'-10"	22.2
RESIDENTIAL	M	61.26	4'-4"	4'-6"	19.6
RESIDENTIAL	M	61.27	4'-2"	4'-10"	20.0
RESIDENTIAL	M	61.28	4'-5"	4'-8"	20.8
RESIDENTIAL	M	61.29	0'-9"	0'-9"	0.5
RESIDENTIAL	P	61.30	2'-0"	6'-8"	13.3
RESIDENTIAL	P	61.31	1'-6"	5'-5"	7.9
RESIDENTIAL	P	61.32	0'-10"	4'-10"	4.0
RESIDENTIAL	P	61.33	0'-9"	3'-3"	2.5
RESIDENTIAL	P	61.34	1'-1"	5'-6"	6.1
RESIDENTIAL	P	61.35	1'-0"	5'-5"	5.4
RESIDENTIAL	P	61.36	1'-0"	2'-4"	2.3
SUBTOTAL					

61ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	61.37	0'-10"	3'-7"	3.1
RESIDENTIAL	P	61.38	1'-0"	3'-7"	3.6
RESIDENTIAL	P	61.39	1'-7"	3'-6"	5.4
RESIDENTIAL	P	61.40	0'-10"	3'-6"	3.0
RESIDENTIAL	P	61.41	0'-10"	4'-6"	3.7
RESIDENTIAL	P	61.42	0'-10"	0'-11"	0.8
RESIDENTIAL	P	61.43	0'-10"	0'-11"	0.7
RESIDENTIAL	P	61.44	1'-2"	3'-2"	3.9
RESIDENTIAL	ST	61.45	0'-8"	25'-5"	16.9
RESIDENTIAL	ST	61.46	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	61.47	0'-8"	25'-5"	16.9
SUBTOTAL					447.2

61ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	1,873	116	1,757
TOTAL		1,873	116	1,757

61ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	61.48	0'-2"	4'-9"	0.7
RESIDENTIAL	M	61.49	2'-5"	3'-10"	9.3
RESIDENTIAL	M	61.50	2'-7"	2'-8"	7.0
RESIDENTIAL	M	61.51	2'-4"	2'-6"	5.7
RESIDENTIAL	M	61.52	4'-10"	5'-1"	24.7
RESIDENTIAL	M	61.53	1'-2"	4'-4"	5.0
RESIDENTIAL	M	61.54	1'-6"	2'-3"	3.4
RESIDENTIAL	M	61.55	1'-8"	2'-6"	4.1
RESIDENTIAL	M	61.56	2'-6"	3'-1"	7.8
RESIDENTIAL	P	61.57	1'-1"	4'-0"	4.2
RESIDENTIAL	P	61.58	1'-0"	21'-9"	21.7
RESIDENTIAL	P	61.59	0'-6"	3'-6"	1.8
RESIDENTIAL	P	61.60	1'-0"	4'-0"	4.0
RESIDENTIAL	P	61.61	1'-5"	4'-5"	6.5
RESIDENTIAL	P	61.62	0'-8"	4'-5"	3.1
RESIDENTIAL	ST	61.63	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	61.64	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	61.65	0'-8"	1'-6"	1.0
SUBTOTAL					115.8

61ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA(SF)	
RESIDENTIAL	8,516	563	7,953	
TOTAL	8,516	563	7,953	

61ST FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

62ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	6,643	466	6,176
TOTAL		6,643	466	6,176

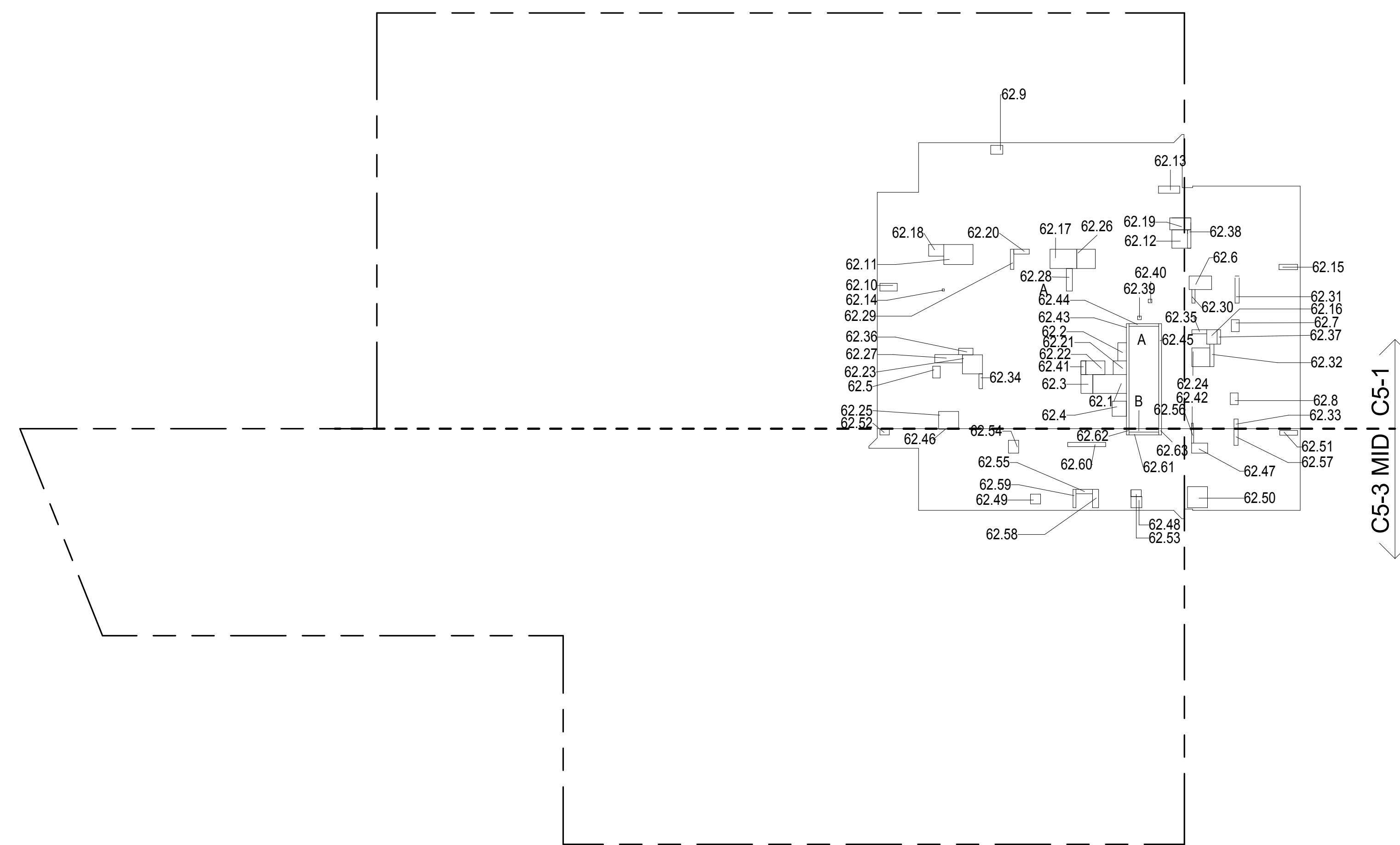
62ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	62.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	62.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	62.3	3'-0"	4'-5"	13.2
RESIDENTIAL	M	62.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	62.5	1'-10"	2'-10"	5.1
RESIDENTIAL	M	62.6	3'-3"	5'-5"	17.7
RESIDENTIAL	M	62.7	1'-11"	2'-10"	5.4
RESIDENTIAL	M	62.8	1'-11"	2'-10"	5.3
RESIDENTIAL	M	62.9	2'-3"	2'-9"	6.3
RESIDENTIAL	M	62.10	1'-10"	4'-2"	7.7
RESIDENTIAL	M	62.11	4'-11"	7'-0"	34.1
RESIDENTIAL	M	62.12	4'-0"	4'-2"	16.7
RESIDENTIAL	M	62.13	1'-9"	5'-1"	8.7
RESIDENTIAL	M	62.14	0'-6"	0'-7"	0.3
RESIDENTIAL	M	62.15	1'-3"	4'-6"	5.7
RESIDENTIAL	M	62.16	2'-6"	3'-6"	8.7
RESIDENTIAL	M	62.17	4'-8"	6'-6"	30.2
RESIDENTIAL	M	62.18	2'-10"	3'-8"	10.4
RESIDENTIAL	M	62.19	2'-10"	5'-1"	14.6
RESIDENTIAL	M	62.20	1'-2"	3'-9"	4.4
RESIDENTIAL	M	62.21	3'-2"	3'-4"	10.4
RESIDENTIAL	M	62.22	3'-4"	4'-6"	15.3
RESIDENTIAL	M	62.23	4'-7"	4'-10"	22.2
RESIDENTIAL	M	62.24	4'-4"	4'-6"	19.6
RESIDENTIAL	M	62.25	4'-2"	4'-10"	20.0
RESIDENTIAL	M	62.26	4'-5"	4'-8"	20.8
RESIDENTIAL	P	62.27	2'-0"	6'-8"	13.3
RESIDENTIAL	P	62.28	1'-6"	5'-5"	7.9
RESIDENTIAL	P	62.29	0'-10"	4'-10"	4.0
RESIDENTIAL	P	62.30	0'-9"	3'-3"	2.5
RESIDENTIAL	P	62.31	1'-1"	5'-6"	6.1
RESIDENTIAL	P	62.32	1'-0"	5'-5"	5.4
RESIDENTIAL	P	62.33	1'-0"	2'-4"	2.3
RESIDENTIAL	P	62.34	0'-10"	3'-7"	3.1
RESIDENTIAL	P	62.35	1'-0"	3'-7"	3.6
SUBTOTAL					

62ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	P	62.36	1'-7"	3'-6"	5.4
RESIDENTIAL	P	62.37	0'-10"	3'-6"	3.0
RESIDENTIAL	P	62.38	0'-10"	4'-6"	3.7
RESIDENTIAL	P	62.39	0'-10"	0'-11"	0.8
RESIDENTIAL	P	62.40	0'-10"	0'-11"	0.7
RESIDENTIAL	P	62.41	1'-2"	3'-2"	3.9
RESIDENTIAL	P	62.42	0'-5"	1'-4"	0.6
RESIDENTIAL	ST	62.43	0'-8"	25'-5"	16.9
RESIDENTIAL	ST	62.44	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	62.45	0'-8"	25'-5"	16.9
SUBTOTAL					466.2

62ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	B	1,873	103	1,770
TOTAL		1,873	103	1,770

62ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	62.46	0'-2"	4'-9"	0.7
RESIDENTIAL	M	62.47	2'-5"	3'-10"	9.3
RESIDENTIAL	M	62.48	2'-7"	2'-8"	7.0
RESIDENTIAL	M	62.49	2'-4"	2'-6"	5.7
RESIDENTIAL	M	62.50	4'-10"	5'-1"	24.7
RESIDENTIAL	M	62.51	1'-2"	4'-4"	5.0
RESIDENTIAL	M	62.52	1'-6"	2'-3"	3.4
RESIDENTIAL	M	62.53	1'-8"	2'-6"	4.1
RESIDENTIAL	M	62.54	2'-6"	3'-1"	7.8
RESIDENTIAL	P	62.55	1'-1"	4'-0"	4.2
RESIDENTIAL	P	62.56	0'-6"	3'-6"	1.8
RESIDENTIAL	P	62.57	1'-0"	4'-0"	4.0
RESIDENTIAL	P	62.58	1'-5"	4'-5"	6.5
RESIDENTIAL	P	62.59	0'-8"	4'-5"	3.1
RESIDENTIAL	P	62.60	1'-0"	9'-2"	9.2
RESIDENTIAL	ST	62.61	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	62.62	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	62.63	0'-8"	1'-6"	1.0
SUBTOTAL					103.3

62ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA(SF)	
RESIDENTIAL	8,516	569	7,946	
TOTAL	8,516	569	7,946	

62ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

63RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	A	6,643	466	6,176
TOTAL		6,643	466	6,176

63RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	E	63.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	63.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	63.3	3'-0"	4'-5"	13.2
RESIDENTIAL	M	63.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	63.5	1'-10"	2'-10"	5.1
RESIDENTIAL	M	63.6	3'-3"	5'-5"	17.7
RESIDENTIAL	M	63.7	1'-11"	2'-10"	5.4
RESIDENTIAL	M	63.8	1'-11"	2'-10"	5.3
RESIDENTIAL	M	63.9	2'-3"	2'-9"	6.3
RESIDENTIAL	M	63.10	1'-10"	4'-2"	7.7
RESIDENTIAL	M	63.11	4'-11"	7'-0"	34.1
RESIDENTIAL	M	63.12	4'-0"	4'-2"	16.7
RESIDENTIAL	M	63.13	1'-9"	5'-1"	8.7
RESIDENTIAL	M	63.15	0'-6"	0'-7"	0.3
RESIDENTIAL	M	63.16	1'-3"	4'-6"	5.7
RESIDENTIAL	M	63.17	2'-6"	3'-6"	8.7
RESIDENTIAL	M	63.18	4'-8"	6'-6"	30.2
RESIDENTIAL	M	63.19	2'-10"	3'-8"	10.4
RESIDENTIAL	M	63.20	2'-10"	5'-1"	14.6
RESIDENTIAL	M	63.21	1'-2"	3'-9"	4.4
RESIDENTIAL	M	63.22	3'-2"	3'-4"	10.4
RESIDENTIAL	M	63.23	3'-4"	4'-6"	15.5
RESIDENTIAL	M	63.24	4'-7"	4'-10"	22.2
RESIDENTIAL	M	63.25	4'-4"	4'-6"	19.6
RESIDENTIAL	M	63.26	4'-2"	4'-10"	20.0
RESIDENTIAL	M	63.27	4'-5"	4'-8"	20.8
RESIDENTIAL	P	63.28	2'-0"	6'-8"	13.3
RESIDENTIAL	P	63.29	1'-6"	5'-5"	7.9
RESIDENTIAL	P	63.30	0'-10"	4'-10"	4.0
RESIDENTIAL	P	63.31	0'-9"	3'-3"	2.5
RESIDENTIAL	P	63.32	1'-1"	5'-6"	6.2
RESIDENTIAL	P	63.33	1'-0"	5'-5"	5.3
RESIDENTIAL	P	63.34	1'-0"	2'-4"	2.3
RESIDENTIAL	P	63.35	0'-10"	3'-7"	3.1
RESIDENTIAL	P	63.36	1'-0"	3'-7"	3.6
SUBTOTAL					

63RD FLOOR DEDUCTIONS				
ZONE C5-1				

64TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	466	6,176
TOTAL		6,643	466	6,176

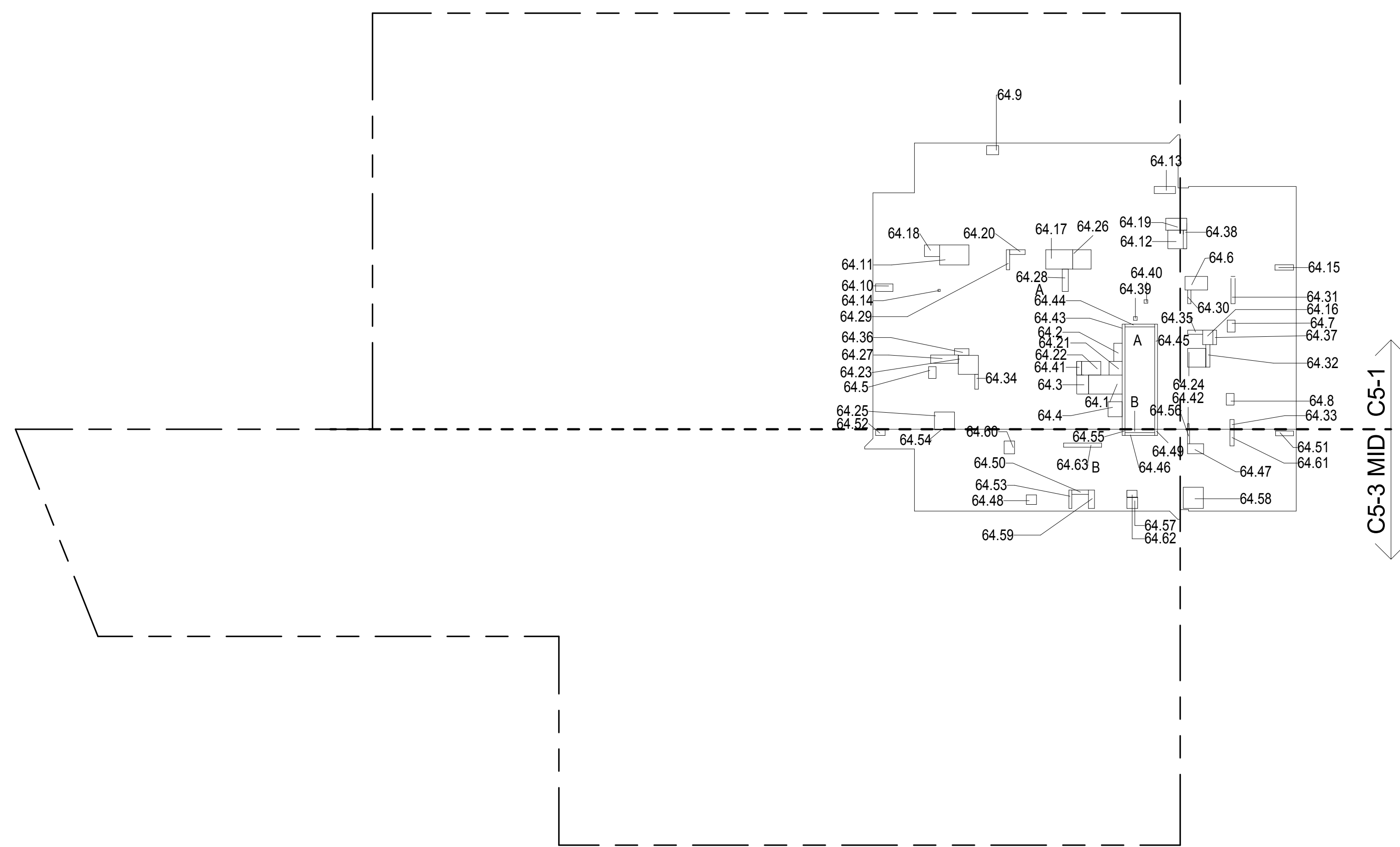
64TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	64.1	4'-7"	8'-1"	37.1
RESIDENTIAL	M	64.2	2'-1"	4'-4"	8.9
RESIDENTIAL	M	64.3	3'-0"	4'-5"	13.2
RESIDENTIAL	M	64.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	64.5	1'-10"	2'-10"	5.1
RESIDENTIAL	M	64.6	3'-3"	5'-5"	17.7
RESIDENTIAL	M	64.7	1'-11"	2'-10"	5.4
RESIDENTIAL	M	64.8	1'-11"	2'-10"	5.3
RESIDENTIAL	M	64.9	2'-3"	2'-9"	6.3
RESIDENTIAL	M	64.10	1'-10"	4'-2"	7.7
RESIDENTIAL	M	64.11	4'-11"	7'-0"	34.1
RESIDENTIAL	M	64.12	4'-0"	4'-2"	16.7
RESIDENTIAL	M	64.13	1'-9"	5'-1"	8.7
RESIDENTIAL	M	64.14	0'-6"	0'-7"	0.3
RESIDENTIAL	M	64.15	1'-3"	4'-6"	5.7
RESIDENTIAL	M	64.16	2'-6"	3'-6"	8.7
RESIDENTIAL	M	64.17	4'-8"	6'-6"	30.2
RESIDENTIAL	M	64.18	2'-10"	3'-8"	10.4
RESIDENTIAL	M	64.19	2'-10"	5'-1"	14.6
RESIDENTIAL	M	64.20	1'-2"	3'-9"	4.4
RESIDENTIAL	M	64.21	3'-2"	3'-4"	10.4
RESIDENTIAL	M	64.22	3'-4"	4'-6"	15.3
RESIDENTIAL	M	64.23	4'-7"	4'-10"	22.2
RESIDENTIAL	M	64.24	4'-4"	4'-6"	19.6
RESIDENTIAL	M	64.25	4'-2"	4'-10"	20.0
RESIDENTIAL	M	64.26	4'-5"	4'-8"	20.8
RESIDENTIAL	P	64.27	2'-0"	6'-8"	13.3
RESIDENTIAL	P	64.28	1'-6"	5'-5"	7.9
RESIDENTIAL	P	64.29	0'-10"	4'-10"	4.0
RESIDENTIAL	P	64.30	0'-9"	3'-3"	2.5
RESIDENTIAL	P	64.31	1'-1"	5'-6"	6.1
RESIDENTIAL	P	64.32	1'-0"	5'-5"	5.4
RESIDENTIAL	P	64.33	1'-0"	2'-4"	2.3
RESIDENTIAL	P	64.34	0'-10"	3'-7"	3.1
RESIDENTIAL	P	64.35	1'-0"	3'-7"	3.6
SUBTOTAL					

64TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	64.36	1'- 7"	3'- 6"	5.4
RESIDENTIAL	P	64.37	0'- 10"	3'- 6"	3.0
RESIDENTIAL	P	64.38	0'- 10"	4'- 6"	3.7
RESIDENTIAL	P	64.39	0'- 10"	0'- 11"	0.8
RESIDENTIAL	P	64.40	0'- 10"	0'- 11"	0.7
RESIDENTIAL	P	64.41	1'- 2"	3'- 2"	3.9
RESIDENTIAL	P	64.42	0'- 5"	1'- 4"	0.6
RESIDENTIAL	ST	64.43	0'- 8"	25'- 5"	16.9
RESIDENTIAL	ST	64.44	0'- 8"	7'- 2"	4.8
RESIDENTIAL	ST	64.45	0'- 8"	25'- 5"	16.9
SUBTOTAL					466.2

64TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	103	1,770
TOTAL		1,873	103	1,770

64TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	64.46	0'-8"	7'-2"	4.8
RESIDENTIAL	M	64.47	2'-5"	3'-10"	9.3
RESIDENTIAL	M	64.48	2'-4"	2'-6"	5.7
RESIDENTIAL	ST	64.49	0'-8"	1'-6"	1.0
RESIDENTIAL	P	64.50	1'-1"	4'-0"	4.2
RESIDENTIAL	M	64.51	1'-2"	4'-4"	5.0
RESIDENTIAL	M	64.52	1'-6"	2'-3"	3.4
RESIDENTIAL	P	64.53	0'-8"	4'-5"	3.1
RESIDENTIAL	M	64.54	0'-2"	4'-9"	0.7
RESIDENTIAL	ST	64.55	0'-8"	1'-6"	1.0
RESIDENTIAL	P	64.56	0'-6"	3'-6"	1.8
RESIDENTIAL	M	64.57	2'-7"	2'-8"	7.0
RESIDENTIAL	M	64.58	4'-10"	5'-1"	24.7
RESIDENTIAL	P	64.59	1'-5"	4'-5"	6.5
RESIDENTIAL	M	64.60	2'-6"	3'-1"	7.8
RESIDENTIAL	P	64.61	1'-0"	4'-0"	4.0
RESIDENTIAL	M	64.62	1'-8"	2'-6"	4.1
RESIDENTIAL	P	64.63	1'-0"	9'-2"	9.2
SUBTOTAL					103.3

64TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	569	7,946	
TOTAL	8,516	569	7,946	

64TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 1

- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

65TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	466	6,176
TOTAL		6,643	466	6,176

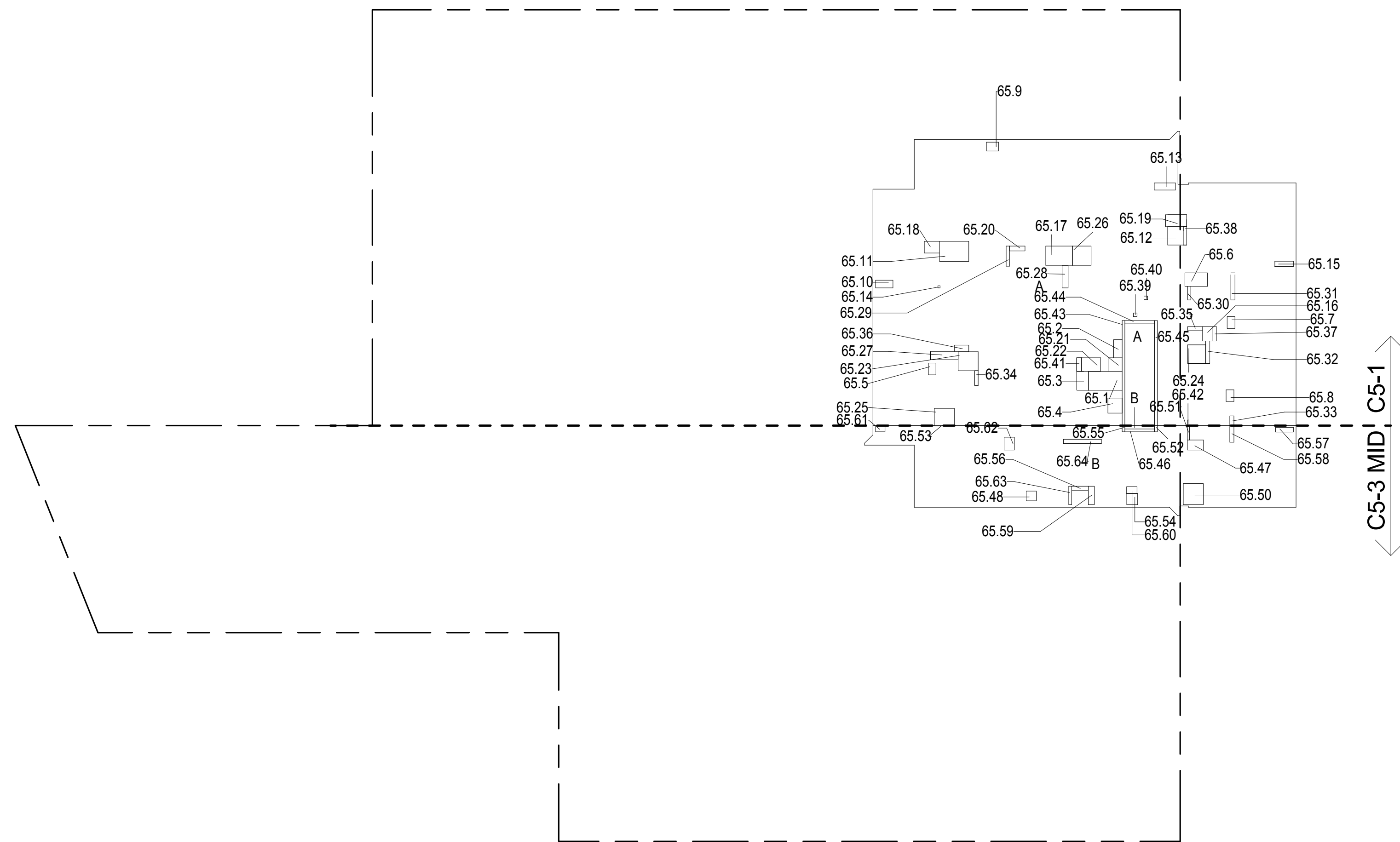
65TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	65.1	4'-7"	8'-1"	37.14
RESIDENTIAL	M	65.2	2'-1"	4'-4"	8.93
RESIDENTIAL	M	65.3	3'-0"	4'-5"	13.18
RESIDENTIAL	M	65.4	3'-5"	3'-8"	12.46
RESIDENTIAL	M	65.5	1'-10"	2'-10"	5.14
RESIDENTIAL	M	65.6	3'-3"	5'-5"	17.74
RESIDENTIAL	M	65.7	1'-11"	2'-10"	5.40
RESIDENTIAL	M	65.8	1'-11"	2'-10"	5.26
RESIDENTIAL	M	65.9	2'-3"	2'-9"	6.29
RESIDENTIAL	M	65.10	1'-10"	4'-2"	7.70
RESIDENTIAL	M	65.11	4'-11"	7'-0"	34.14
RESIDENTIAL	M	65.12	4'-0"	4'-2"	16.72
RESIDENTIAL	M	65.13	1'-9"	5'-1"	8.74
RESIDENTIAL	M	65.14	0'-6"	0'-7"	0.28
RESIDENTIAL	M	65.15	1'-3"	4'-6"	5.67
RESIDENTIAL	M	65.16	2'-6"	3'-6"	8.65
RESIDENTIAL	M	65.17	4'-8"	6'-6"	30.19
RESIDENTIAL	M	65.18	2'-10"	3'-8"	10.39
RESIDENTIAL	M	65.19	2'-10"	5'-1"	14.56
RESIDENTIAL	M	65.20	1'-2"	3'-9"	4.36
RESIDENTIAL	M	65.21	3'-2"	3'-4"	10.42
RESIDENTIAL	M	65.22	3'-4"	4'-6"	15.28
RESIDENTIAL	M	65.23	4'-7"	4'-10"	22.20
RESIDENTIAL	M	65.24	4'-4"	4'-6"	19.59
RESIDENTIAL	M	65.25	4'-2"	4'-10"	19.98
RESIDENTIAL	M	65.26	4'-5"	4'-8"	20.76
RESIDENTIAL	P	65.27	2'-0"	6'-8"	13.33
RESIDENTIAL	P	65.28	1'-6"	5'-5"	7.91
RESIDENTIAL	P	65.29	0'-10"	4'-10"	4.04
RESIDENTIAL	P	65.30	0'-9"	3'-3"	2.53
RESIDENTIAL	P	65.31	1'-1"	5'-6"	6.10
RESIDENTIAL	P	65.32	1'-0"	5'-5"	5.44
RESIDENTIAL	P	65.33	1'-0"	2'-4"	2.32
RESIDENTIAL	P	65.34	0'-10"	3'-7"	3.07
RESIDENTIAL	P	65.35	1'-0"	3'-7"	3.60
SUBTOTAL					

65TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	65.36	1'- 7"	3'- 6"	5.44
RESIDENTIAL	P	65.37	0'- 10"	3'- 6"	2.98
RESIDENTIAL	P	65.38	0'- 10"	4'- 6"	3.72
RESIDENTIAL	P	65.39	0'- 10"	0'- 11"	0.77
RESIDENTIAL	P	65.40	0'- 10"	0'- 11"	0.73
RESIDENTIAL	P	65.41	1'- 2"	3'- 2"	3.85
RESIDENTIAL	P	65.42	0'- 5"	1'- 4"	0.56
RESIDENTIAL	ST	65.43	0'- 8"	25'- 5"	16.92
RESIDENTIAL	ST	65.44	0'- 8"	7'- 2"	4.78
RESIDENTIAL	ST	65.45	0'- 8"	25'- 5"	16.92
SUBTOTAL					466.17

65TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	103	1,770
TOTAL		1,873	103	1,770

65TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	65.46	0'-8"	7'-2"	4.8
RESIDENTIAL	M	65.47	2'-5"	3'-10"	9.3
RESIDENTIAL	M	65.48	2'-4"	2'-6"	5.7
RESIDENTIAL	M	65.50	4'-10"	5'-1"	24.7
RESIDENTIAL	P	65.51	0'-6"	3'-6"	1.8
RESIDENTIAL	ST	65.52	0'-8"	1'-6"	1.0
RESIDENTIAL	P	65.53	0'-2"	4'-9"	0.7
RESIDENTIAL	M	65.54	2'-7"	2'-8"	7.0
RESIDENTIAL	ST	65.55	0'-8"	1'-6"	1.0
RESIDENTIAL	P	65.56	1'-1"	4'-0"	4.2
RESIDENTIAL	M	65.57	1'-2"	4'-4"	5.0
RESIDENTIAL	P	65.58	1'-0"	4'-0"	4.0
RESIDENTIAL	P	65.59	1'-5"	4'-5"	6.5
RESIDENTIAL	M	65.60	1'-8"	2'-6"	4.1
RESIDENTIAL	M	65.61	1'-6"	2'-3"	3.4
RESIDENTIAL	M	65.62	2'-6"	3'-1"	7.8
RESIDENTIAL	P	65.63	0'-8"	4'-5"	3.1
RESIDENTIAL	P	65.64	1'-0"	9'-2"	9.2
SUBTOTAL					103.3

65TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,516	569	7,946	
TOTAL	8,516	569	7,946	

65TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 2

66TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,643	436	6,207
TOTAL		6,643	436	6,207

66TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	66.1	2'-6 1/2"	4'-7"	11.6
RESIDENTIAL	E	66.2	1'-5 1/2"	4'-7"	6.6
RESIDENTIAL	M	66.3	2'-0 1/2"	4'-4"	8.9
RESIDENTIAL	M	66.4	2'-10 1/2"	4'-7"	13.2
RESIDENTIAL	M	66.5	3'-5 1/2"	3'-8"	12.5
RESIDENTIAL	M	66.6	1'-10"	2'-10"	5.1
RESIDENTIAL	M	66.7	3'-2 1/2"	5'-5"	17.5
RESIDENTIAL	M	66.8	1'-10"	2'-9"	5.0
RESIDENTIAL	M	66.9	1'-10"	2'-9"	5.1
RESIDENTIAL	M	66.10	2'-3"	2'-9"	6.3
RESIDENTIAL	M	66.11	1'-10"	4'-2"	7.7
RESIDENTIAL	M	66.12	4'-11"	7'-0"	34.1
RESIDENTIAL	M	66.13	4'-0 1/2"	4'-2"	16.7
RESIDENTIAL	M	66.14	1'-7"	3'-0"	4.7
RESIDENTIAL	M	66.15	0'-6"	0'-7"	0.3
RESIDENTIAL	M	66.16	1'-3"	3'-7"	4.5
RESIDENTIAL	M	66.17	2'-6"	3'-5"	8.5
RESIDENTIAL	M	66.18	4'-8"	6'-6"	30.2
RESIDENTIAL	M	66.19	2'-10"	3'-8"	10.4
RESIDENTIAL	M	66.20	2'-10 1/2"	5'-1"	14.6
RESIDENTIAL	M	66.21	1'-2"	3'-9"	4.4
RESIDENTIAL	M	66.22	3'-2"	3'-4"	10.4
RESIDENTIAL	M	66.23	3'-4 1/2"	4'-6"	15.3
RESIDENTIAL	M	66.24	4'-7"	4'-10"	22.2
RESIDENTIAL	M	66.25	4'-4 1/2"	4'-6"	19.6
RESIDENTIAL	M	66.26	4'-2 1/2"	4'-10"	20.3
RESIDENTIAL	M	66.27	4'-5 1/2"	4'-8"	20.8
RESIDENTIAL	P	66.28	1'-6"	6'-8"	10.0
RESIDENTIAL	P	66.29	1'-5 1/2"	5'-5"	7.9
RESIDENTIAL	P	66.30	0'-10"	4'-10"	4.0
RESIDENTIAL	P	66.31	0'-10"	4'-10"	4.0
RESIDENTIAL	P	66.32	1'-0"	6'-6"	6.5
RESIDENTIAL	P	66.33	1'-0"	6'-6"	6.5
RESIDENTIAL	P	66.34	1'-0"	2'-4"	2.3
RESIDENTIAL	P	66.35	0'-10"	4'-7"	3.9
SUBTOTAL					

67TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,639	6,639	0
TOTAL		6,639	6,639	0

67TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	67.1	57' - 3"	114' - 0"	6,528.
RESIDENTIAL	M	67.2	1' - 4"	85' - 2"	110.
SUBTOTAL					6,638.

67TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,870	1,870	0
TOTAL		1,870	1,870	0

67TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	67.3	17'- 0"	106'- 4"	1,809.
RESIDENTIAL	M	67.4	1'-4"	46'- 5"	59.
SUBTOTAL					1,869.

67TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,509	8,509	0
TOTAL		8,509	8,509	0

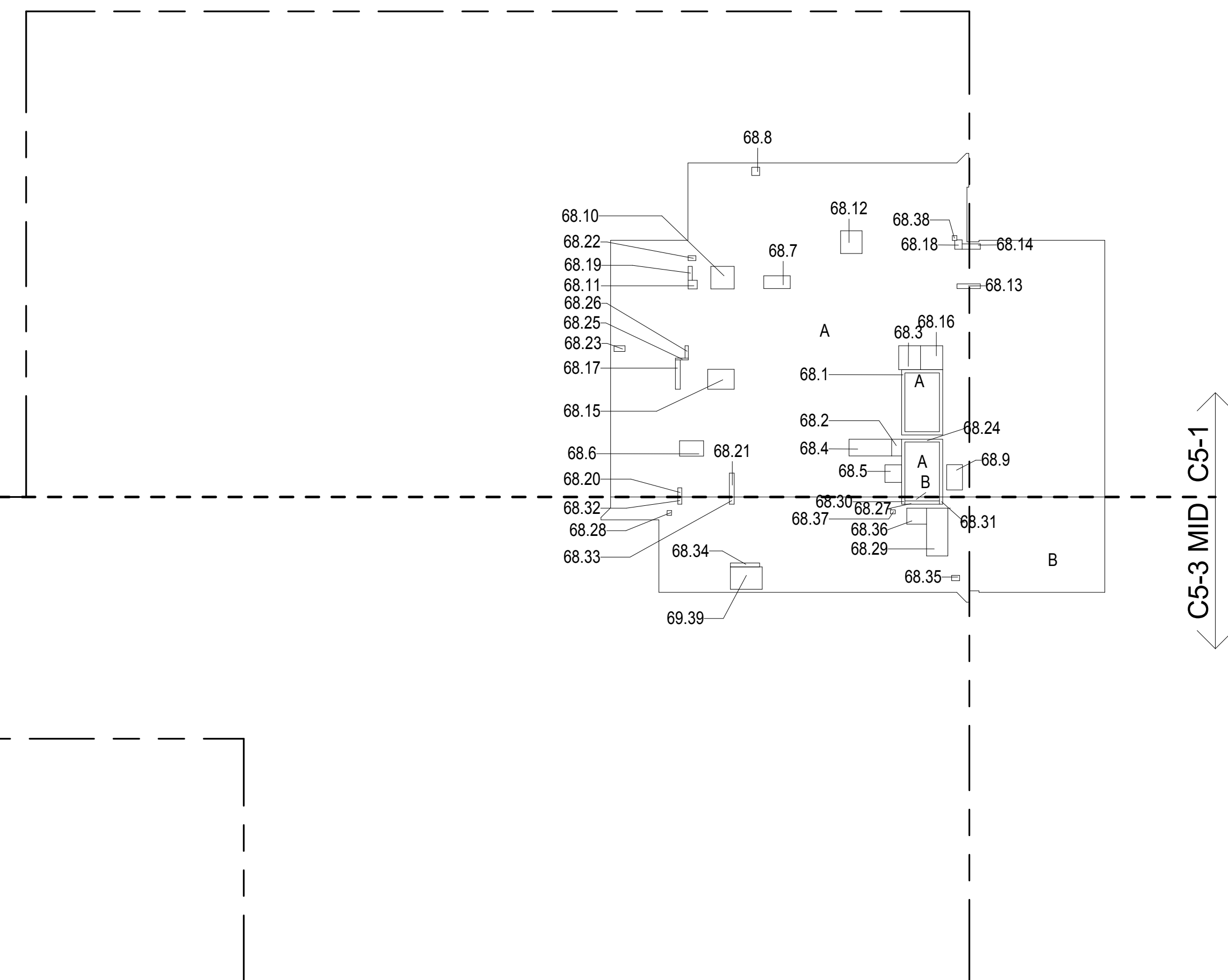
68TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,350	296	6,054
TOTAL		6,350	296	6,054

68TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	68.1	1'-4"	20'-6"	27.6
RESIDENTIAL	E	68.2	2'-1"	3'-6"	7.1
RESIDENTIAL	P	68.3	4'-6"	5'-0"	22.3
RESIDENTIAL	M	68.4	3'-6"	9'-0"	30.4
RESIDENTIAL	M	68.5	3'-5"	3'-6"	12.5
RESIDENTIAL	M	68.6	3'-2"	5'-0"	15.7
RESIDENTIAL	M	68.7	2'-8"	5'-6"	14.6
RESIDENTIAL	M	68.8	1'-8"	1'-6"	2.8
RESIDENTIAL	M	68.9	3'-3"	5'-0"	17.0
RESIDENTIAL	M	68.10	4'-8"	5'-0"	22.5
RESIDENTIAL	M	68.11	1'-9"	2'-0"	3.3
RESIDENTIAL	M	68.12	4'-5"	4'-6"	20.9
RESIDENTIAL	P	68.13	1'-0"	5'-0"	4.8
RESIDENTIAL	P	68.14	1'-1"	4'-0"	4.2
RESIDENTIAL	M	68.15	4'-2"	5'-6"	22.6
RESIDENTIAL	M	68.16	4'-7"	5'-0"	22.6
RESIDENTIAL	P	68.17	1'-0"	6'-0"	6.1
RESIDENTIAL	M	68.18	1'-5"	2'-0"	2.8
RESIDENTIAL	P	68.19	0'-10"	3'-0"	2.4
RESIDENTIAL	P	68.20	0'-10"	2'-0"	1.5
RESIDENTIAL	P	68.21	1'-0"	5'-0"	4.9
RESIDENTIAL	M	68.22	1'-0"	1'-6"	1.6
RESIDENTIAL	M	68.23	1'-2"	2'-6"	2.6
RESIDENTIAL	ST	68.24	0'-8"	31'-0"	19.9
RESIDENTIAL	P	68.25	0'-4"	2'-6"	0.9
RESIDENTIAL	P	68.26	0'-8"	2'-6"	1.7
RESIDENTIAL	M	68.30	0'-11"	1'-0"	0.9
SUBTOTAL					296.4

68TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	105	1,768
TOTAL		1,873	105	1,768

68TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	68.27	0'-8"	7'-2"	4.8
RESIDENTIAL	M	68.28	0'-11"	1'-0"	0.9
RESIDENTIAL	M	68.29	4'-5"	9'-10"	43.2
RESIDENTIAL	ST	68.30	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	68.31	0'-8"	1'-6"	1.0
RESIDENTIAL	P	68.32	0'-10"	1'-6"	1.2
RESIDENTIAL	P	68.33	1'-0"	1'-6"	1.5
RESIDENTIAL	P	68.34	0'-10"	6'-1"	5.1
RESIDENTIAL	M	68.35	1'-1"	1'-8"	1.8
RESIDENTIAL	M	68.36	3'-4"	4'-1"	13.5
RESIDENTIAL	P	68.37	0'-10"	1'-0"	0.8
RESIDENTIAL	M	68.39	4'-8"	6'-7"	30.5
SUBTOTAL					105.2

68TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,223	402	7,822
TOTAL		8,223	402	7,822



68TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 3

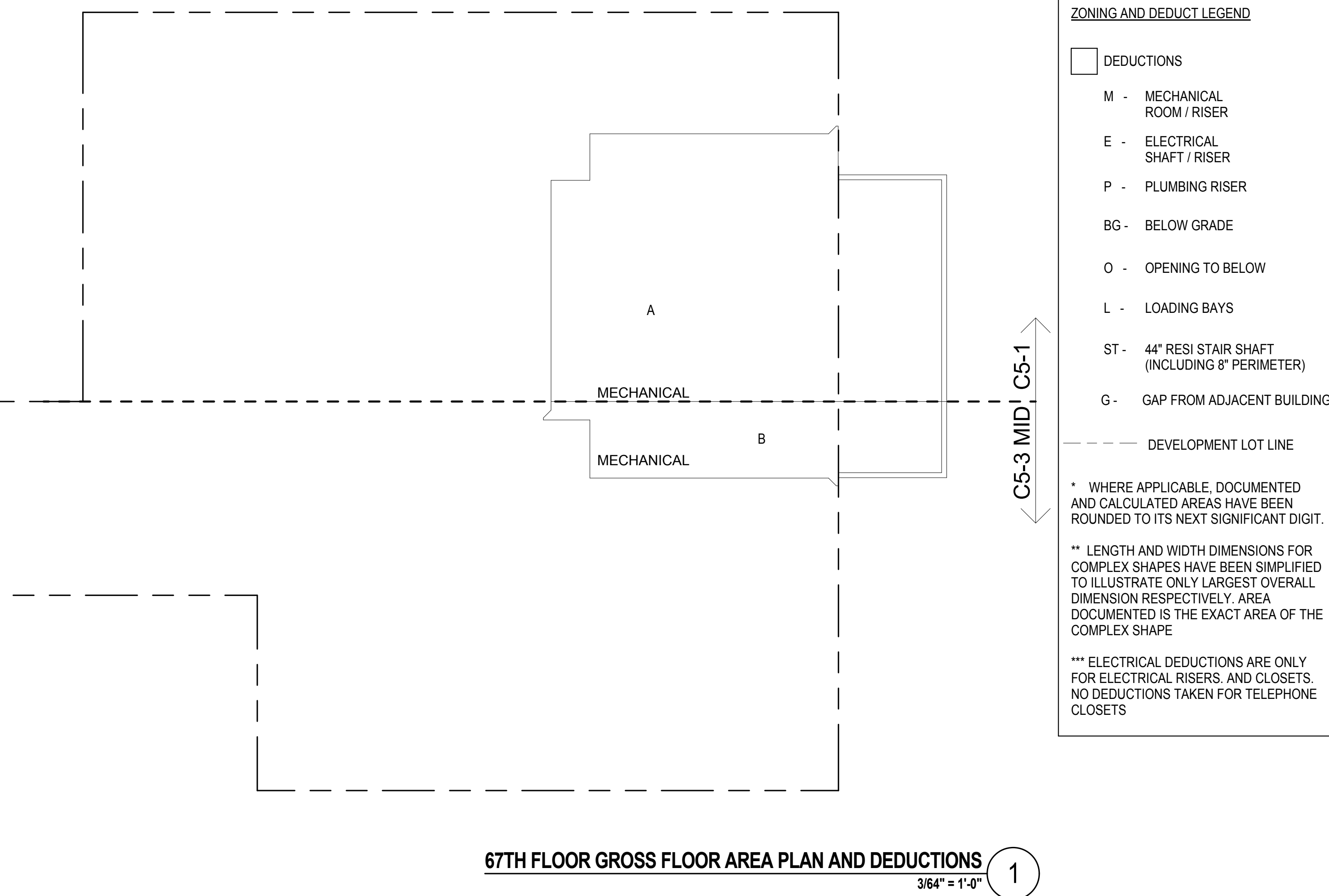
69TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,285	2,006	4,279
TOTAL		6,285	2,006	4,279

69TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	69.1	2'-1"	3'-6"	7.4
RESIDENTIAL	M	69.2	4'-7"	4'-11"	22.6
RESIDENTIAL	M	69.3	4'-5"	8'-0"	35.1
RESIDENTIAL	M	69.4	3'-7"	8'-9"	31.5
RESIDENTIAL	M	69.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	69.6	2'-7"	2'-11"	7.4
RESIDENTIAL	P	69.7	1'-9"	1'-11"	3.4
RESIDENTIAL	M	69.8	2'-1"	6'-6"	13.5
RESIDENTIAL	M	69.9	2'-11"	4'-7"	13.4
RESIDENTIAL	M	69.10	4'-4"	6'-6"	28.2
RESIDENTIAL	M	69.11	4'-7"	5'-4"	24.5
RESIDENTIAL	M	69.12	1'-7"	2'-4"	3.6
RESIDENTIAL	M	69.13	2'-11"	5'-2"	15.0
RESIDENTIAL	M	69.14	4'-10"	7'-9"	37.3
RESIDENTIAL	M	69.15	1'-2"	2'-3"	2.6
RESIDENTIAL	O	69.16	24'-4"	60'-7"	1,472.7
RESIDENTIAL	O	69.17	2'-4"	67'-1"	154.4
RESIDENTIAL	P	69.18	4'-8"	4'-11"	22.9
RESIDENTIAL	P	69.19	1'-0"	3'-9"	3.8
RESIDENTIAL	P	69.20	1'-0"	4'-11"	4.9
RESIDENTIAL	P	69.21	1'-1"	9'-4"	10.2
RESIDENTIAL	P	69.22	1'-0"	3'-6"	3.5
RESIDENTIAL	P	69.23	1'-0"	4'-11"	5.0
RESIDENTIAL	P	69.24	0'-10"	2'-6"	2.1
RESIDENTIAL	P	69.25	1'-2"	3'-3"	3.8
RESIDENTIAL	P	69.26	0'-10"	6'-0"	5.0
RESIDENTIAL	P	69.27	1'-5"	2'-10"	4.0
RESIDENTIAL	P	69.28	1'-0"	6'-1"	6.1
RESIDENTIAL	ST	69.29	1'-4"	20'-9"	27.7
RESIDENTIAL	ST	69.30	0'-8"	31'-3"	20.8
RESIDENTIAL	M	69.31	1'-0"	1'-0"	1.0
SUBTOTAL					2,005.8

69TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,873	143	1,730
TOTAL		1,873	143	1,730

69TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	69.32	1'-0"	1'-0"	1.0
RESIDENTIAL	M	69.33	4'-5"	5'-9"	25.6
RESIDENTIAL	M	69.34	5'-2"	11'-1"	57.1
RESIDENTIAL	M	69.35	4'-11"	6'-6"	32.1
RESIDENTIAL	ST	69.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	69.37	0'-10"	1'-0"	0.8
RESIDENTIAL	ST	69.38	0'-8"	1'-6"	1.0
RESIDENTIAL	P	69.39	1'-6"	6'-4"	9.5
RESIDENTIAL	P	69.40	1'-0"	6'-2"	6.2
RESIDENTIAL	P	69.41	1'-0"	1'-6"	1.5
RESIDENTIAL	P	69.42	0'-10"	1'-6"	1.2
RESIDENTIAL	M	69.43	0'-11"	1'-7"	1.5
RESIDENTIAL	ST	69.44	0'-8"	7'-2"	4.8
SUBTOTAL					143.4

69TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,158	2,149	6,009
TOTAL		8,158	2,149	6,009



67TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 1

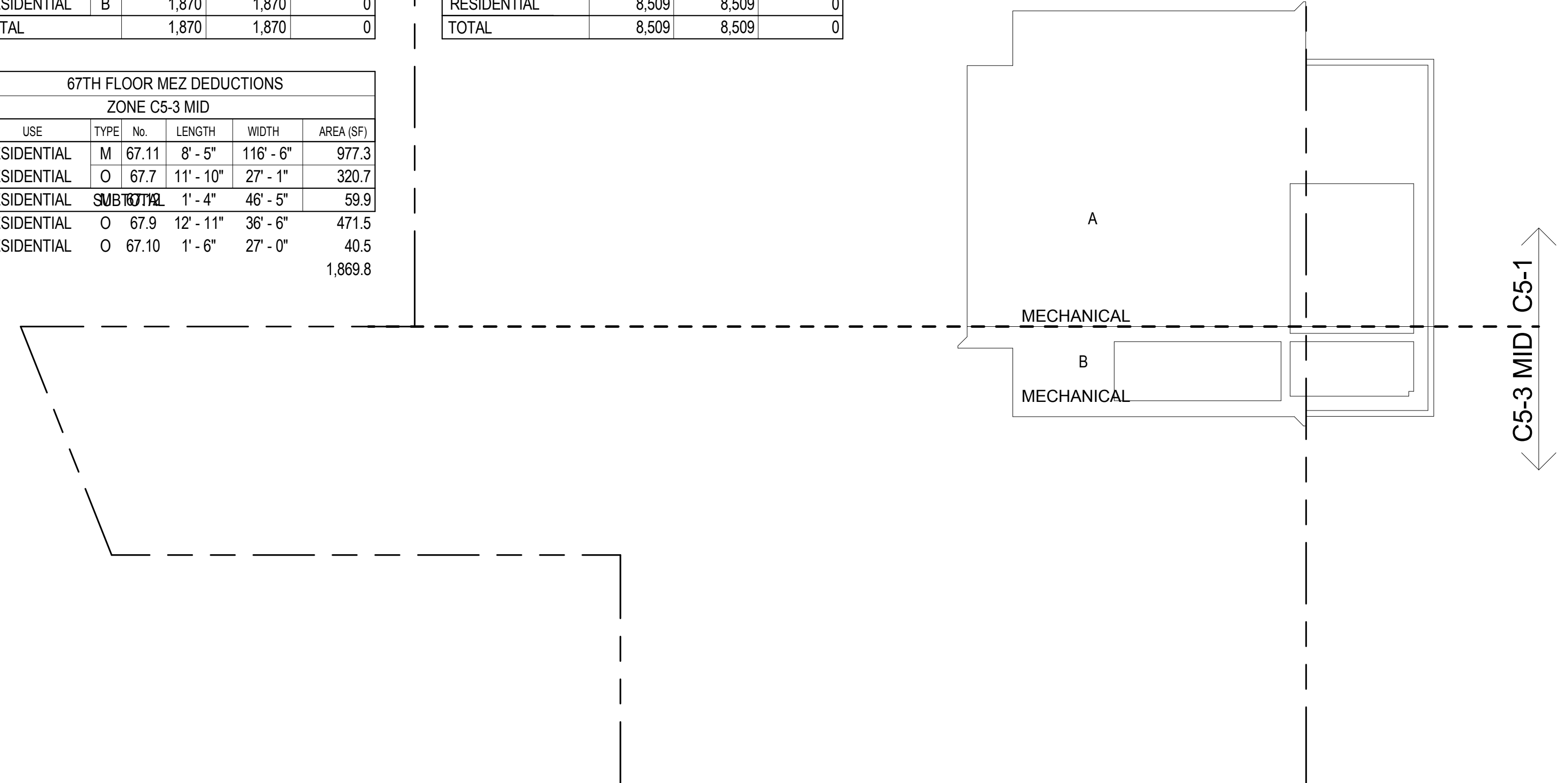
67TH FLOOR MEZ AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,639	6,639	0
TOTAL		6,639	6,639	0

67TH FLOOR MEZ DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	67.5	33' - 8"	169' - 0"	5,685.
RESIDENTIAL	O	67.6	27' - 0"	31' - 6"	843.
RESIDENTIAL	M	67.8	1' - 4"	85' - 0"	110.
					6,638.
SUBTOTAL					

67TH FLOOR MEZ AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,870	1,870	0
TOTAL		1,870	1,870	0

67TH FLOOR MEZ DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	67.11	8'-5"	116'-6"	977.3
RESIDENTIAL	O	67.7	11'-10"	27'-1"	320.7
RESIDENTIAL	M	67.8	1'-4"	46'-5"	59.9
RESIDENTIAL	O	67.9	12'-11"	36'-6"	471.5
RESIDENTIAL	O	67.10	1'-6"	27'-0"	40.5
SUBTOTAL					1,869.8

67TH FLOOR MEZ AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,509	8,509	0
TOTAL		8,509	8,509	0



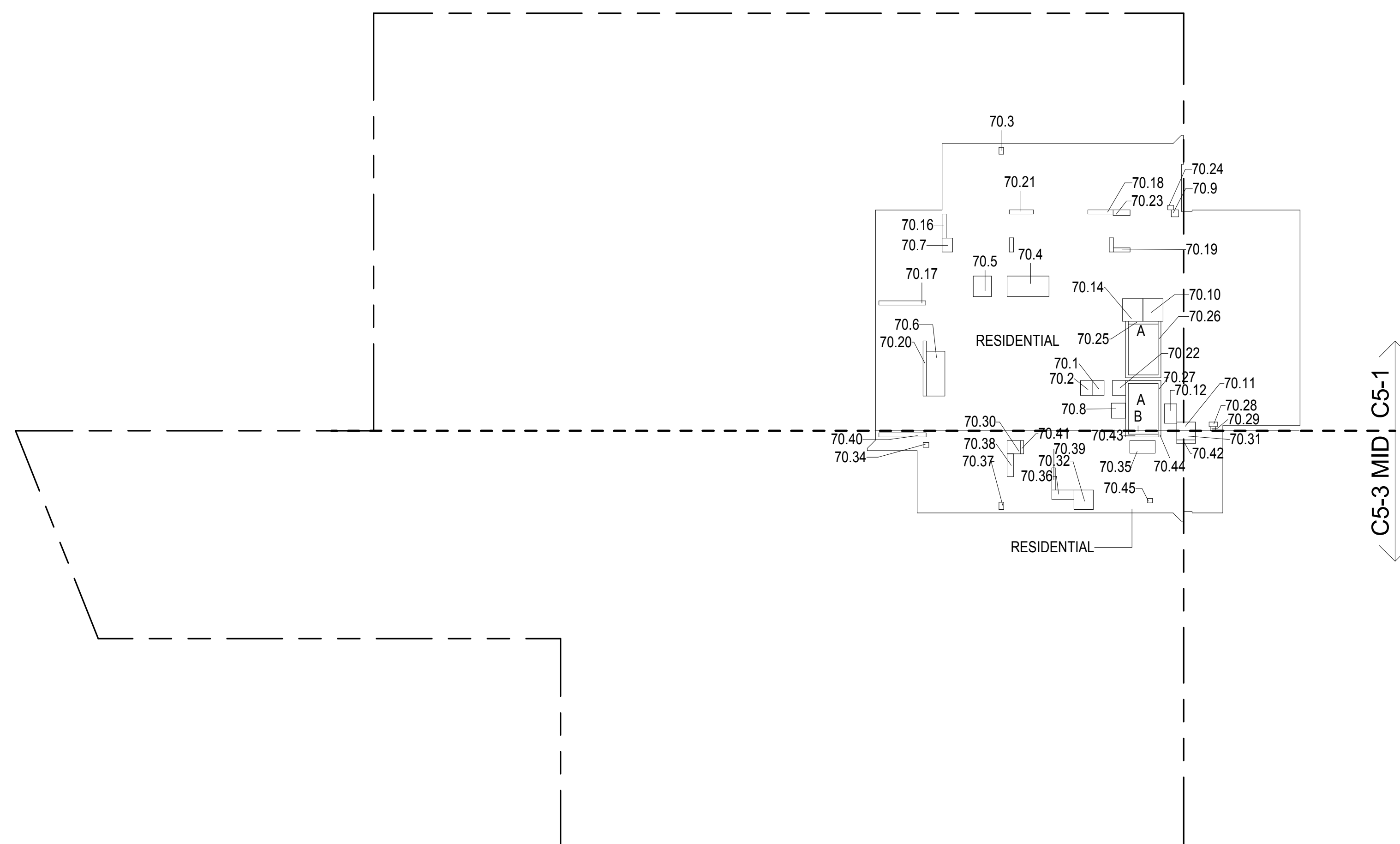
70TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	362	5,965
TOTAL		6,327	362	5,965

70TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	70.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	70.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	70.3	1'-1"	1'-8"	1.8
RESIDENTIAL	M	70.4	4'-11"	10'-1"	49.8
RESIDENTIAL	M	70.5	4'-4"	4'-11"	21.6
RESIDENTIAL	M	70.6	4'-5"	10'-9"	48.0
RESIDENTIAL	M	70.7	2'-6"	3'-4"	8.5
RESIDENTIAL	M	70.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	70.9	1'-8"	1'-9"	3.0
RESIDENTIAL	M	70.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	70.11	2'-1"	4'-6"	9.4
RESIDENTIAL	M	70.12	3'-0"	4'-8"	13.9
RESIDENTIAL	P	70.13	1'-0"	3'-5"	3.5
RESIDENTIAL	P	70.14	4'-11"	5'-5"	26.6
RESIDENTIAL	P	70.15	1'-0"	3'-5"	3.5
RESIDENTIAL	P	70.16	1'-0"	5'-10"	5.7
RESIDENTIAL	P	70.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	70.18	1'-0"	6'-1"	6.1
RESIDENTIAL	P	70.19	1'-0"	4'-0"	4.0
RESIDENTIAL	P	70.20	0'-10"	13'-3"	10.8
RESIDENTIAL	P	70.21	1'-0"	8'-10"	5.8
RESIDENTIAL	E	70.22	3'-2"	3'-7"	11.2
RESIDENTIAL	P	70.23	1'-4"	4'-1"	5.4
RESIDENTIAL	M	70.24	1'-1"	1'-5"	1.5
RESIDENTIAL	ST	70.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	70.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	70.27	0'-8"	31'-3"	20.8
RESIDENTIAL	M	70.28	1'-1"	2'-0"	2.2
RESIDENTIAL	M	70.29	0'-11"	1'-4"	1.2
SUBTOTAL					362.1

70TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	115	1,391
TOTAL		1,506	115	1,391

70TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	70.30	3'-2"	3'-3"	10.2
RESIDENTIAL	M	70.31	2'-3"	4'-6"	9.9
RESIDENTIAL	M	70.32	4'-8"	4'-8"	21.9
RESIDENTIAL	M	70.34	1'-2"	1'-4"	1.6
RESIDENTIAL	M	70.35	3'-1"	6'-1"	18.8
RESIDENTIAL	M	70.36	2'-3"	5'-4"	12.2
RESIDENTIAL	M	70.37	1'-2"	1'-9"	1.9
RESIDENTIAL	P	70.38	1'-6"	5'-6"	8.2
RESIDENTIAL	P	70.39	0'-10"	5'-4"	4.4
RESIDENTIAL	P	70.40	1'-0"	11'-4"	11.4
RESIDENTIAL	P	70.41	0'-10"	3'-3"	2.6
RESIDENTIAL	P	70.42	0'-11"	4'-6"	3.9
RESIDENTIAL	ST	70.43	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	70.44	0'-8"	1'-6"	1.0
RESIDENTIAL	M	70.45	1'-1"	1'-3"	1.3
SUBTOTAL					115.2

70TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	477	7,356	
TOTAL	7,833	477	7,356	



70TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

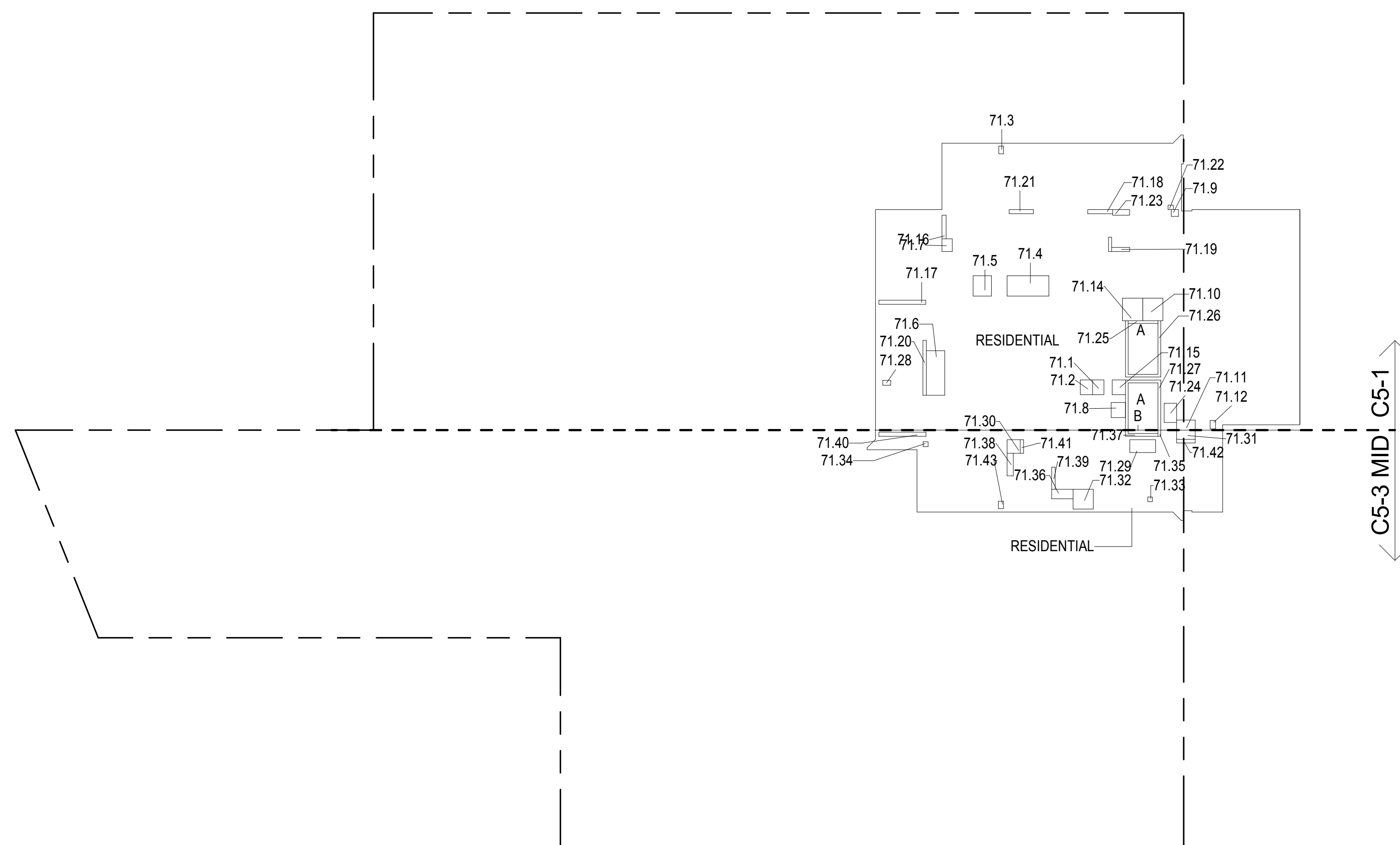
71ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

71ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	71.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	71.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	71.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	71.4	4'-11"	10'-1"	49.8
RESIDENTIAL	M	71.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	71.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	71.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	71.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	71.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	71.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	71.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	71.12	1'-4"	2'-1"	2.8
RESIDENTIAL	P	71.13	0'-9"	3'-5"	2.6
RESIDENTIAL	P	71.14	4'-11"	5'-5"	26.6
RESIDENTIAL	E	71.15	3'-2"	3'-7"	11.2
RESIDENTIAL	P	71.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	71.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	71.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	71.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	71.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	71.21	1'-0"	5'-10"	5.8
RESIDENTIAL	M	71.22	1'-1"	1'-3"	1.4
RESIDENTIAL	P	71.23	1'-4"	4'-1"	5.4
RESIDENTIAL	M	71.24	3'-0"	4'-8"	13.9
RESIDENTIAL	ST	71.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	71.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	71.27	0'-8"	31'-3"	20.8
RESIDENTIAL	P	71.28	1'-2"	1'-11"	2.2
SUBTOTAL					359.2

71ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

71ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	71.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	71.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	71.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	71.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	71.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	71.34	1'-2"	1'-2"	1.4
RESIDENTIAL	ST	71.35	0'-8"	1'-6"	1.0
RESIDENTIAL	M	71.36	2'-3"	5'-2"	11.8
RESIDENTIAL	ST	71.37	0'-8"	8'-8"	5.8
RESIDENTIAL	P	71.38	1'-6"	5'-6"	8.2
RESIDENTIAL	P	71.39	0'-10"	5'-4"	4.4
RESIDENTIAL	P	71.40	1'-0"	11'-4"	11.4
RESIDENTIAL	P	71.41	0'-10"	3'-3"	2.7
RESIDENTIAL	P	71.42	0'-10"	4'-6"	3.9
RESIDENTIAL	M	71.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

71ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



71ST FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

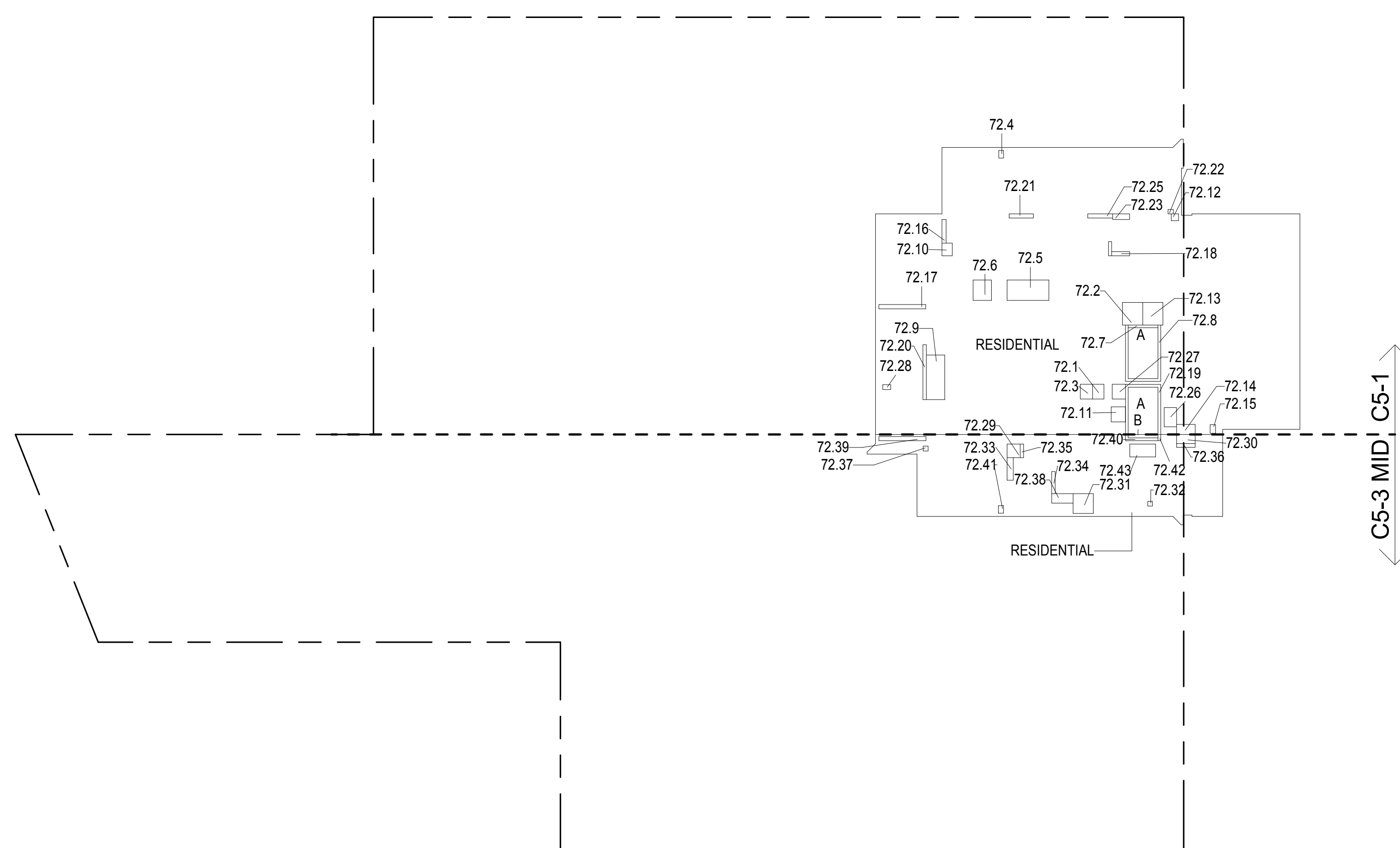
72ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

72ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	72.1	2'-9"	3'-7"	9.7
RESIDENTIAL	P	72.2	4'-11"	5'-5"	26.6
RESIDENTIAL	M	72.3	2'-11"	3'-7"	10.4
RESIDENTIAL	M	72.4	1'-1"	1'-10"	2.1
RESIDENTIAL	M	72.5	4'-5"	10'-1"	49.8
RESIDENTIAL	M	72.6	4'-5"	4'-11"	21.6
RESIDENTIAL	ST	72.7	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	72.8	0'-8"	34'-3"	22.8
RESIDENTIAL	M	72.9	4'-5"	10'-9"	47.7
RESIDENTIAL	M	72.10	2'-6"	3'-1"	7.6
RESIDENTIAL	M	72.11	3'-5"	3'-8"	12.5
RESIDENTIAL	M	72.12	1'-8"	1'-9"	2.8
RESIDENTIAL	M	72.13	4'-10"	5'-5"	26.3
RESIDENTIAL	M	72.14	2'-5"	4'-6"	10.7
RESIDENTIAL	M	72.15	1'-4"	2'-1"	2.8
RESIDENTIAL	P	72.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	72.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	72.18	1'-0"	4'-4"	4.3
RESIDENTIAL	ST	72.19	0'-8"	31'-3"	20.8
RESIDENTIAL	P	72.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	72.21	1'-0"	5'-10"	5.8
RESIDENTIAL	M	72.22	1'-1"	1'-3"	1.4
RESIDENTIAL	P	72.23	1'-4"	4'-1"	5.4
RESIDENTIAL	P	72.24	0'-9"	3'-5"	2.6
RESIDENTIAL	P	72.25	1'-0"	6'-0"	6.0
RESIDENTIAL	M	72.26	3'-0"	4'-8"	13.9
RESIDENTIAL	E	72.27	3'-2"	3'-7"	11.2
RESIDENTIAL	P	72.28	1'-2"	1'-11"	2.2
SUBTOTAL					359.2

72ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

72ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	72.29	3'-2"	3'-3"	10.3
RESIDENTIAL	M	72.30	2'-3"	4'-6"	10.0
RESIDENTIAL	M	72.31	4'-9"	4'-10"	23.1
RESIDENTIAL	M	72.32	1'-1"	1'-2"	1.3
RESIDENTIAL	P	72.33	1'-6"	5'-6"	8.2
RESIDENTIAL	P	72.34	0'-10"	5'-4"	4.4
RESIDENTIAL	P	72.35	0'-10"	3'-3"	2.7
RESIDENTIAL	P	72.36	0'-10"	4'-6"	3.9
RESIDENTIAL	M	72.37	1'-2"	1'-2"	1.4
RESIDENTIAL	M	72.38	2'-3"	5'-2"	11.8
RESIDENTIAL	P	72.39	1'-0"	11'-4"	11.4
RESIDENTIAL	ST	72.40	0'-8"	8'-8"	5.8
RESIDENTIAL	M	72.41	1'-3"	1'-9"	2.2
RESIDENTIAL	ST	72.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	72.43	3'-1"	6'-3"	19.2
SUBTOTAL					116.6

72ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	

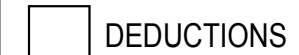


72ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

3

ZONING AND DEDUCT LEGEND

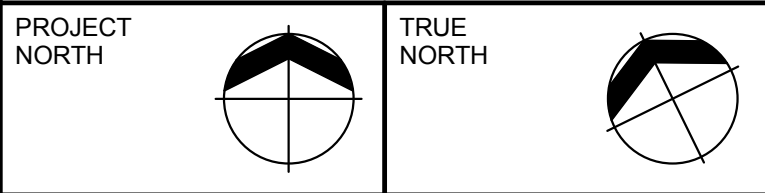
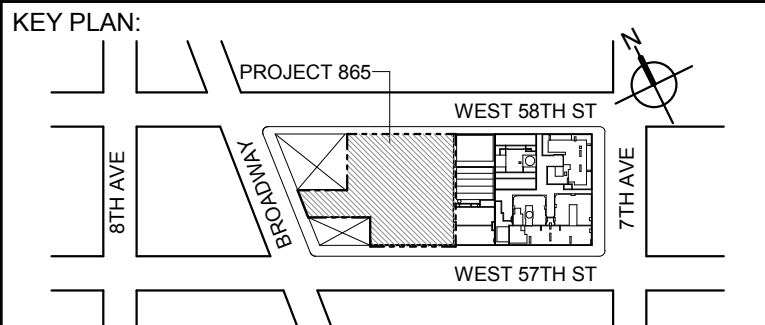


- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPMENT LOT LINE

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 86

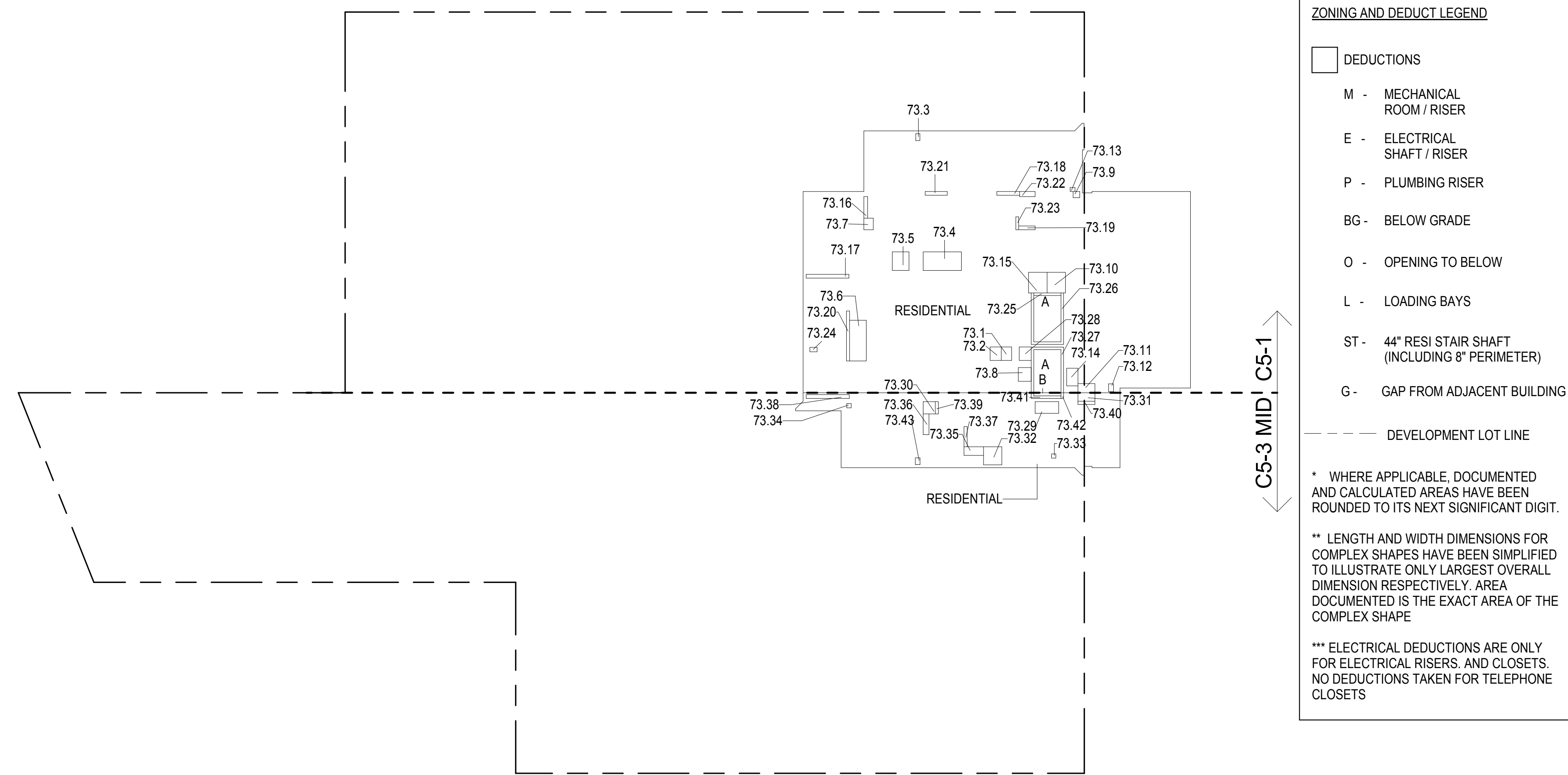
73RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

73RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	73.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	73.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	73.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	73.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	73.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	73.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	73.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	73.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	73.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	73.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	73.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	73.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	73.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	73.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	73.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	73.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	73.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	73.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	73.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	73.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	73.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	73.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	73.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	73.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	73.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	73.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	73.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	73.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

73RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

73RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	73.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	73.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	73.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	73.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	73.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	73.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	73.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	73.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	73.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	73.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	73.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	73.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	73.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	73.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	73.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

73RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



73RD FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

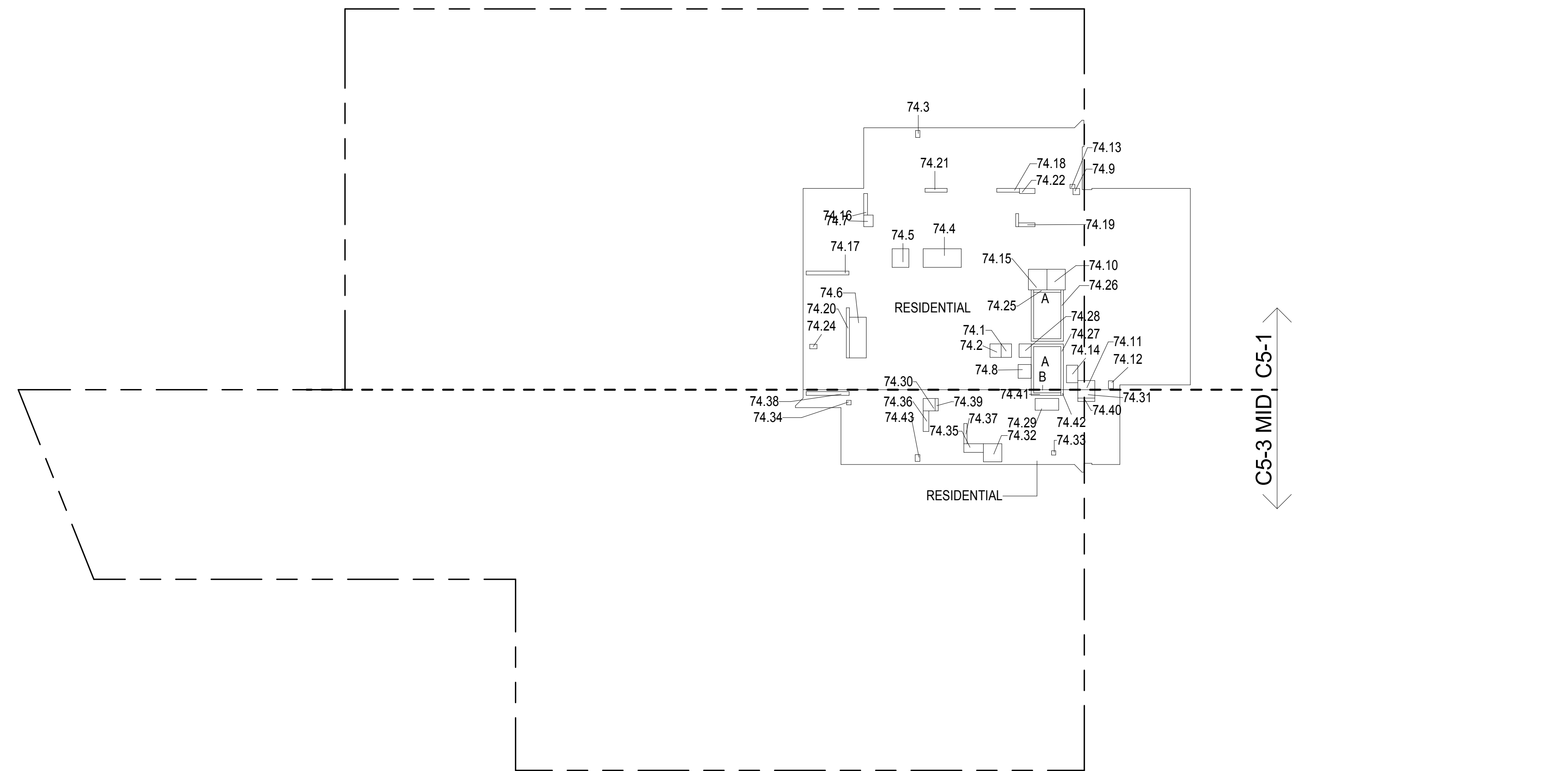
74TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

74TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	74.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	74.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	74.3	1'-1 1/2"	1'-10"	2.1
RESIDENTIAL	M	74.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	74.5	4'-4 1/2"	4'-11"	21.6
RESIDENTIAL	M	74.6	4'-5 1/2"	10'-9"	47.7
RESIDENTIAL	M	74.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	74.8	3'-5 1/2"	3'-8"	12.5
RESIDENTIAL	M	74.9	1'-7 1/2"	1'-9"	2.8
RESIDENTIAL	M	74.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	74.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	74.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	74.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	74.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	74.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	74.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	74.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	74.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	74.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	74.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	74.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	74.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	74.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	74.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	74.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	74.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	74.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	74.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

74TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

74TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	74.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	74.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	74.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	74.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	74.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	74.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	74.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	74.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	74.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	74.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	74.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	74.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	74.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	74.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	74.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

74TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



74TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

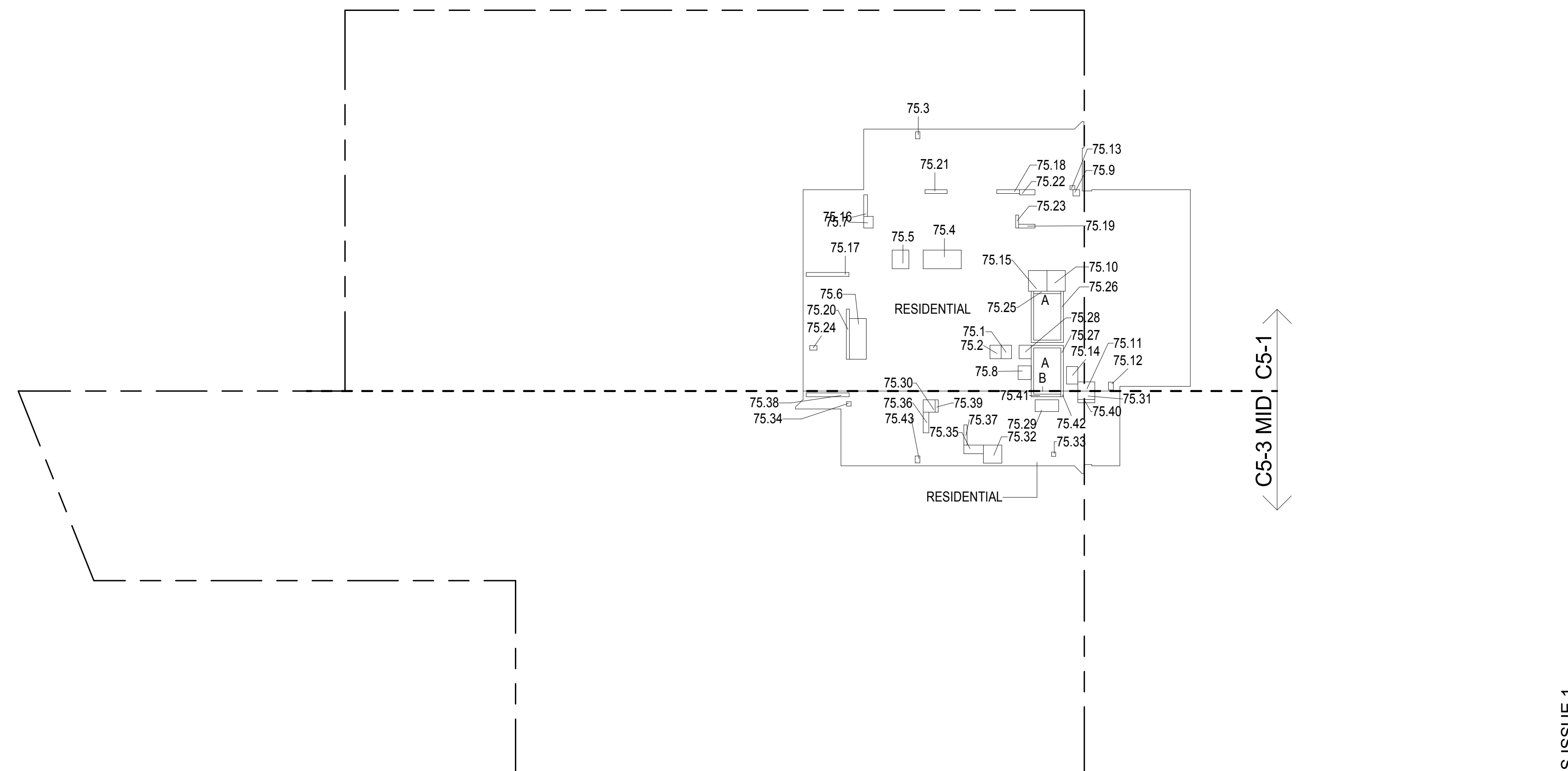
75TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

75TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	75.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	75.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	75.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	75.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	75.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	75.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	75.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	75.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	75.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	75.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	75.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	75.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	75.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	75.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	75.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	75.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	75.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	75.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	75.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	75.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	75.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	75.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	75.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	75.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	75.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	75.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	75.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	75.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

75TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

75TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	75.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	75.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	75.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	75.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	75.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	75.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	75.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	75.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	75.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	75.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	75.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	75.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	75.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	75.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	75.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

75TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



75TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

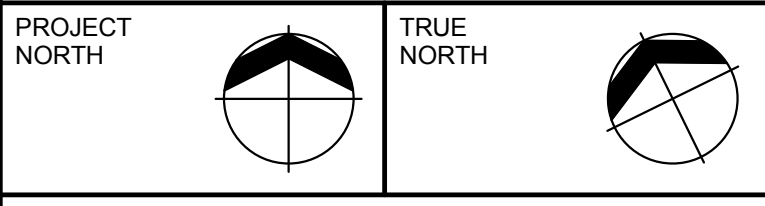
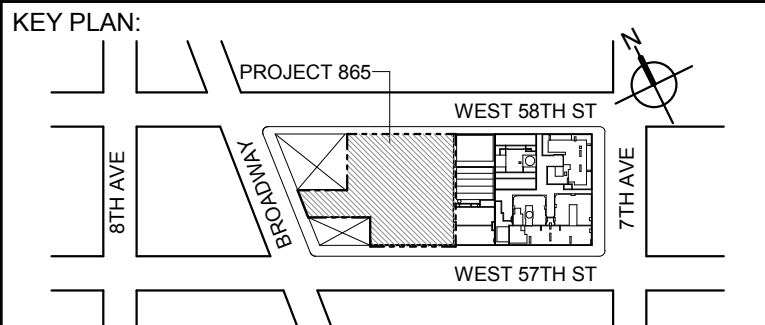
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ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL
ROOM / RISER
E - ELECTRICAL
SHAFT / RISER
P - PLUMBING
RISERBG - BELOW GRADE
O - OPENING TO BELOW
L - LOADING BAYS
ST - 44" RESI STAIR SHAFT
(INCLUDING 8" PERIMETER)
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED
AND CALCULATED AREAS HAVE BEEN
ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.** LENGTH AND WIDTH DIMENSIONS FOR
COMPLEX SHAPES HAVE BEEN SIMPLIFIED
TO ILLUSTRATE ONLY LARGEST OVERALL
DIMENSION RESPECTIVELY. AREAS
DOCUMENTED IS THE EXACT AREA OF THE
COMPLEX SHAPE*** ELECTRICAL DEDUCTIONS ARE ONLY
FOR ELECTRICAL RISERS, AND CLOSETS.
NO DEDUCTIONS TAKEN FOR TELEPHONE
CLOSETS

DEVELOPER:

EXTELL DEVELOPMENT COMPANY

805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core

ADRIAN SMITH + GORDON GILL ARCHITECTURE

111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core

AAI ARCHITECTS, P.C.

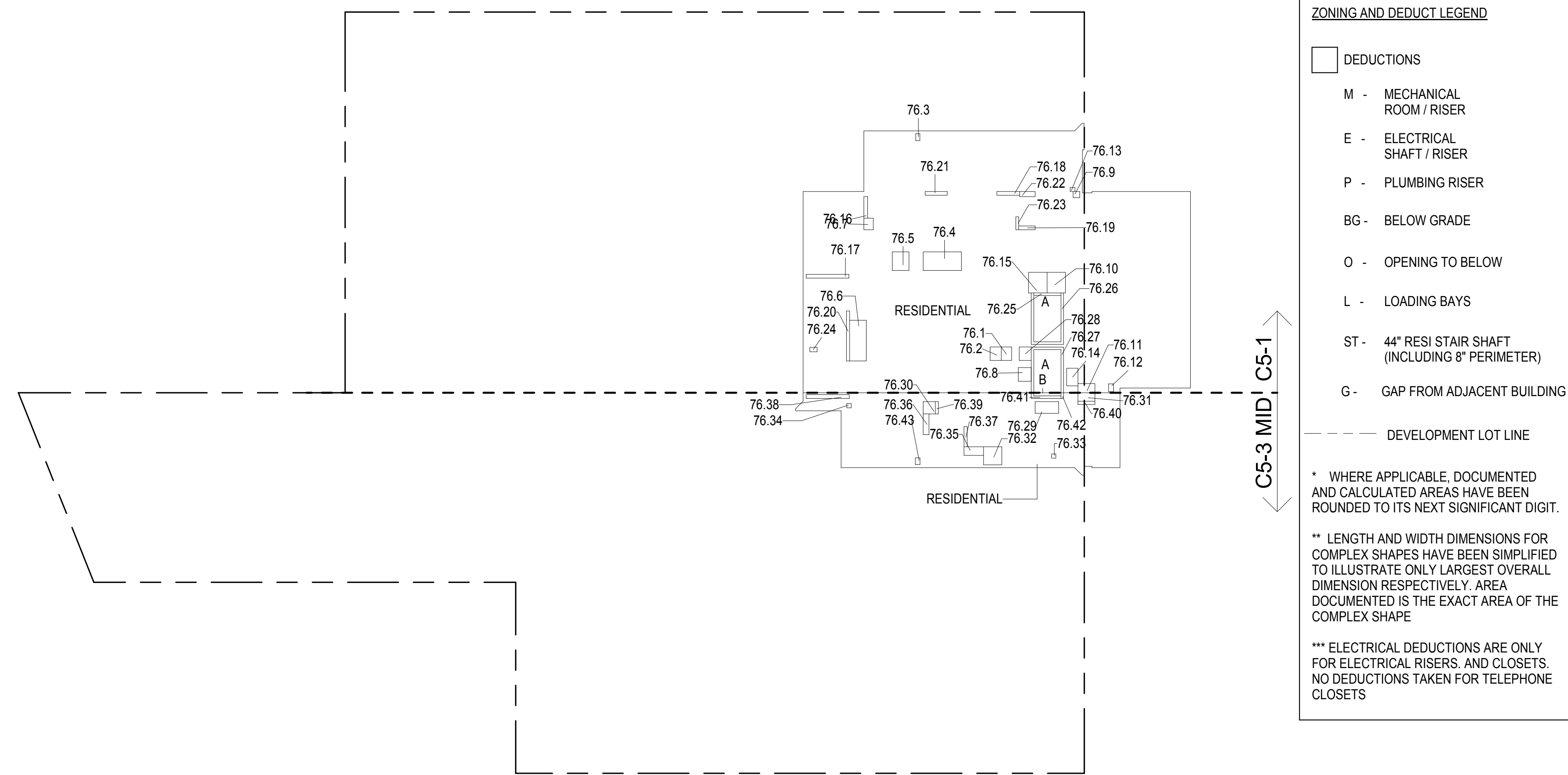
76TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

76TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	76.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	76.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	76.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	76.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	76.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	76.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	76.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	76.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	76.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	76.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	76.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	76.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	76.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	76.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	76.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	76.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	76.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	76.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	76.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	76.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	76.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	76.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	76.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	76.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	76.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	76.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	76.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	76.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

76TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

76TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	76.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	76.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	76.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	76.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	76.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	76.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	76.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	76.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	76.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	76.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	76.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	76.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	76.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	76.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	76.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

76TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



76TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

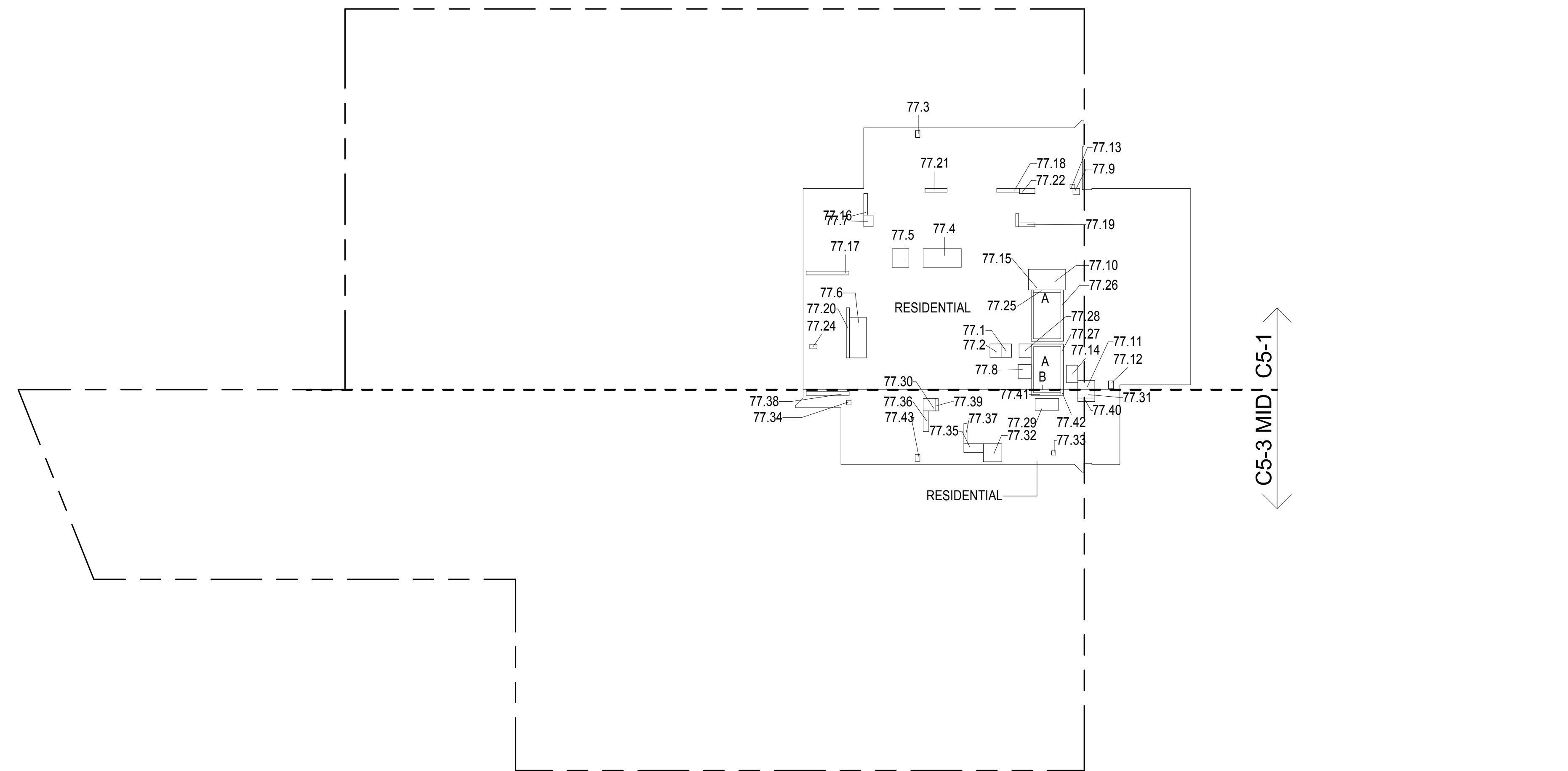
77TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

77TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	77.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	77.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	77.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	77.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	77.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	77.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	77.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	77.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	77.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	77.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	77.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	77.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	77.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	77.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	77.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	77.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	77.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	77.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	77.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	77.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	77.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	77.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	77.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	77.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	77.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	77.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	77.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	77.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

77TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

77TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	77.29	3'-1"	6'-3"	19.23
RESIDENTIAL	M	77.30	3'-2"	3'-3"	10.29
RESIDENTIAL	M	77.31	2'-3"	4'-6"	9.96
RESIDENTIAL	M	77.32	4'-9"	4'-10"	23.11
RESIDENTIAL	M	77.33	1'-1"	1'-2"	1.26
RESIDENTIAL	M	77.34	1'-2"	1'-2"	1.37
RESIDENTIAL	M	77.35	2'-3"	5'-2"	11.79
RESIDENTIAL	P	77.36	1'-6"	5'-6"	8.19
RESIDENTIAL	P	77.37	0'-10"	5'-4"	4.44
RESIDENTIAL	P	77.38	1'-0"	11'-4"	11.37
RESIDENTIAL	P	77.39	0'-10"	3'-3"	2.71
RESIDENTIAL	P	77.40	0'-10"	4'-6"	3.86
RESIDENTIAL	ST	77.41	0'-8"	8'-8"	5.78
RESIDENTIAL	ST	77.42	0'-8"	1'-6"	1.00
RESIDENTIAL	M	77.43	1'-3"	1'-9"	2.25
SUBTOTAL					116.60

77TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



77TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

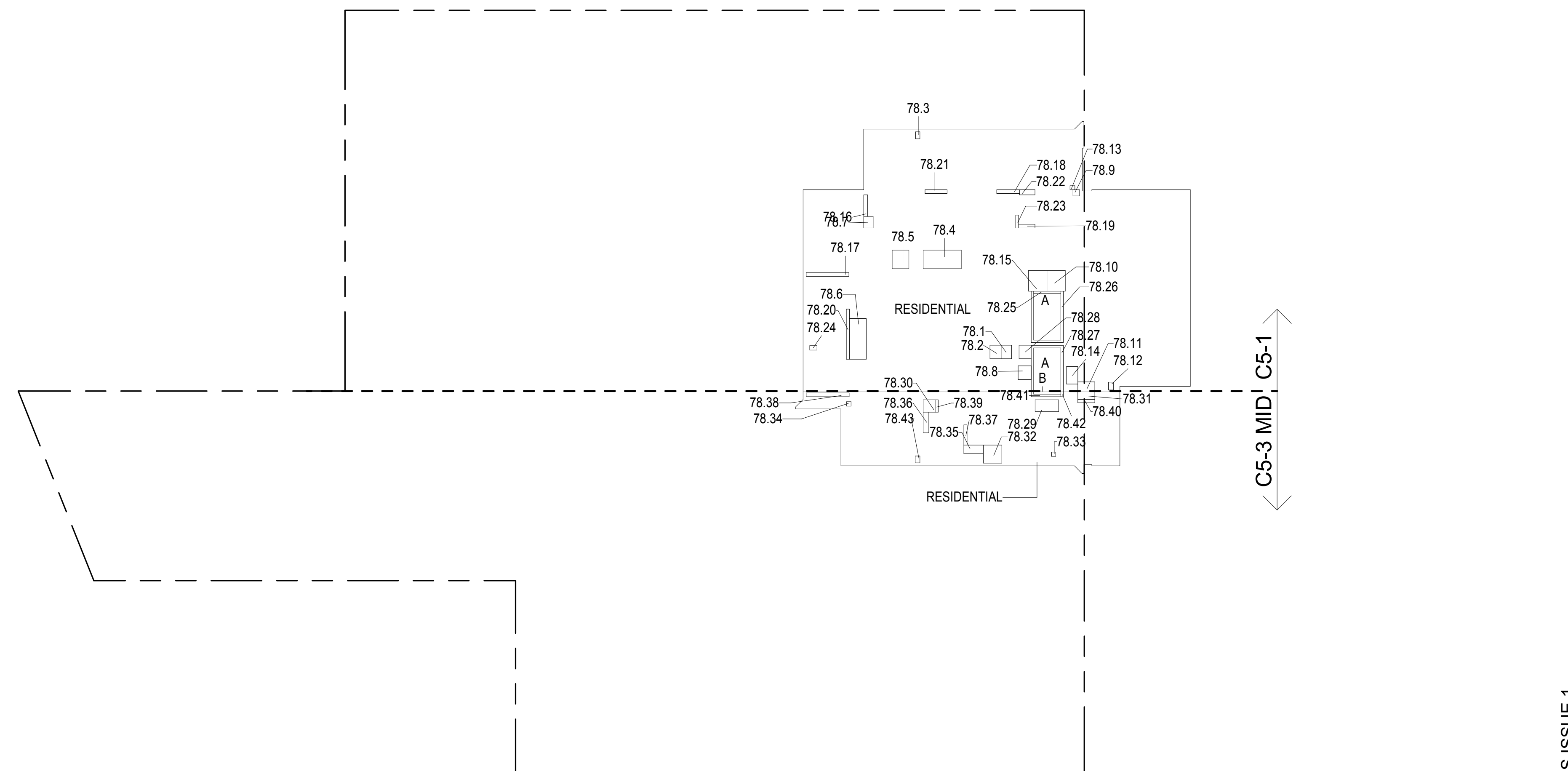
78TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

78TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	78.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	78.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	78.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	78.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	78.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	78.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	78.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	78.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	78.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	78.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	78.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	78.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	78.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	78.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	78.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	78.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	78.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	78.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	78.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	78.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	78.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	78.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	78.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	78.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	78.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	78.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	78.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	78.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

78TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

78TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	78.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	78.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	78.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	78.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	78.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	78.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	78.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	78.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	78.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	78.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	78.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	78.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	78.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	78.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	78.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

78TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



78TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

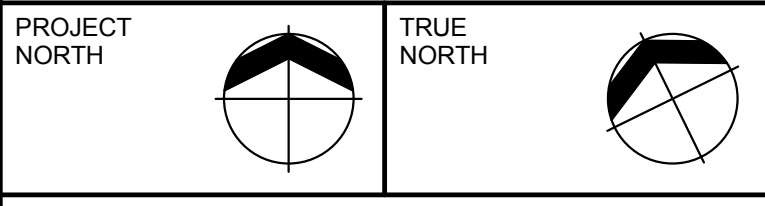
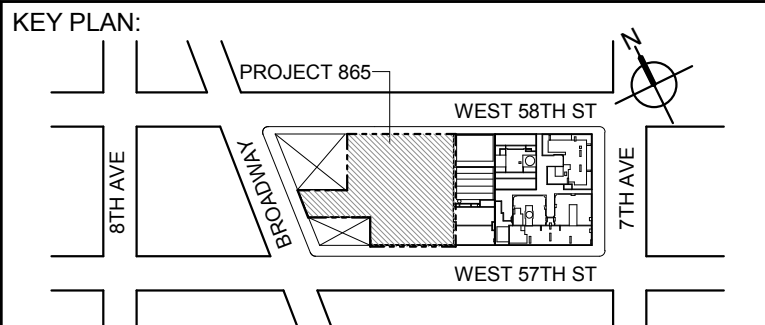
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ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL
ROOM / RISER
E - ELECTRICAL
SHAFT / RISER
P - PLUMBING
RISERBG - BELOW GRADE
O - OPENING TO BELOW
L - LOADING BAYS
ST - 44" RESI STAIR SHAFT
(INCLUDING 8" PERIMETER)
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED
AND CALCULATED AREAS HAVE BEEN
ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
** LENGTH AND WIDTH DIMENSIONS FOR
COMPLEX SHAPES HAVE BEEN SIMPLIFIED
TO ILLUSTRATE ONLY LARGEST OVERALL
DIMENSION RESPECTIVELY. AREAS
DOCUMENTED IS THE EXACT AREA OF THE
COMPLEX SHAPE*** ELECTRICAL DEDUCTIONS ARE ONLY
FOR ELECTRICAL RISERS, AND CLOSETS.
NO DEDUCTIONS TAKEN FOR TELEPHONE
CLOSETSDEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
Tel: 416 867 1500 FAX: 416 867 7150

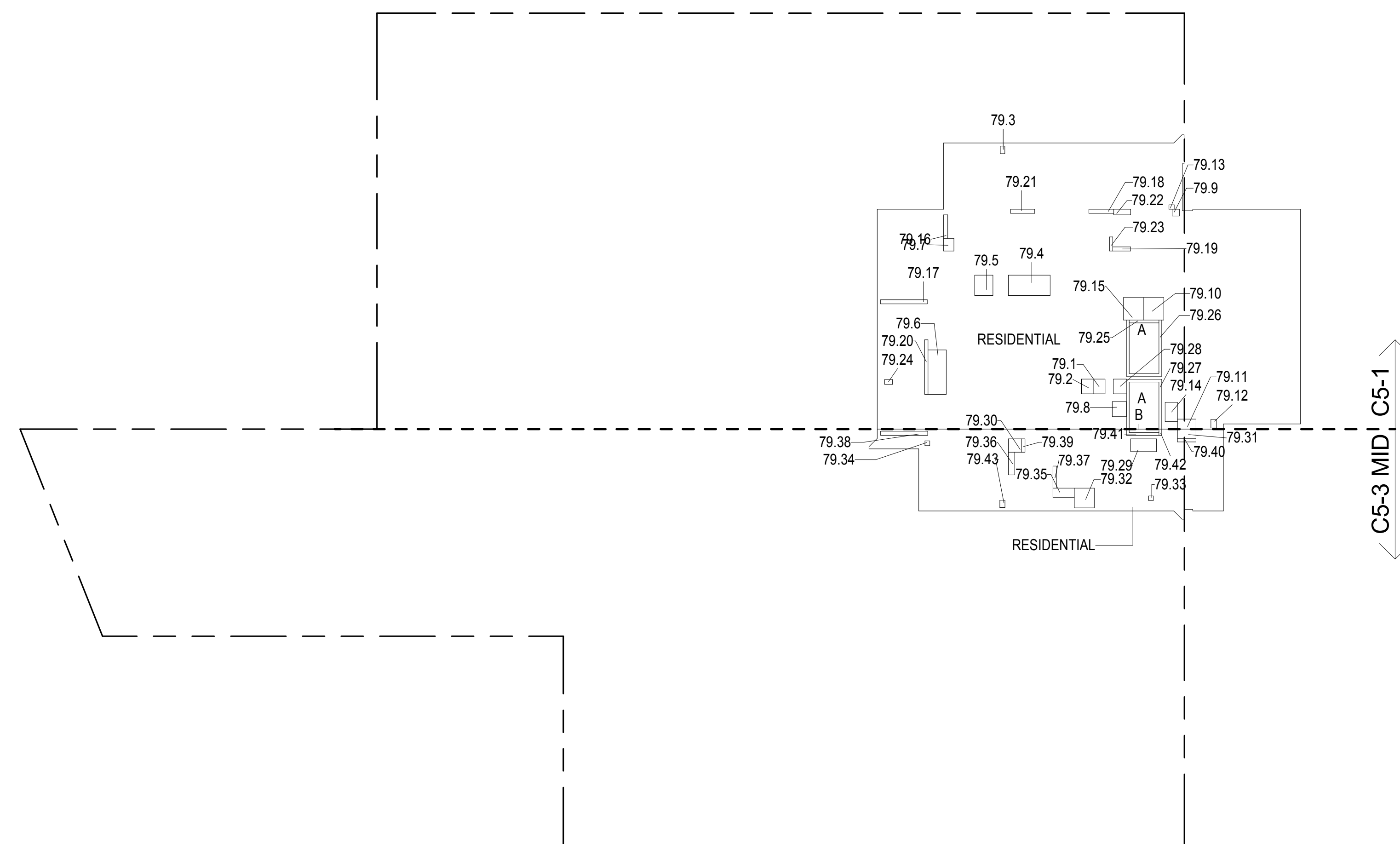
79TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

79TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	79.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	79.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	79.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	79.4	4'-5"	4'-11"	21.6
RESIDENTIAL	M	79.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	79.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	79.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	79.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	79.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	79.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	79.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	79.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	79.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	79.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	79.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	79.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	79.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	79.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	79.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	79.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	79.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	79.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	79.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	79.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	79.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	79.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	79.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

79TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

79TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	79.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	79.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	79.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	79.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	79.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	79.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	79.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	79.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	79.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	79.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	79.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	79.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	79.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	79.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	79.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

79TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



79TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

1

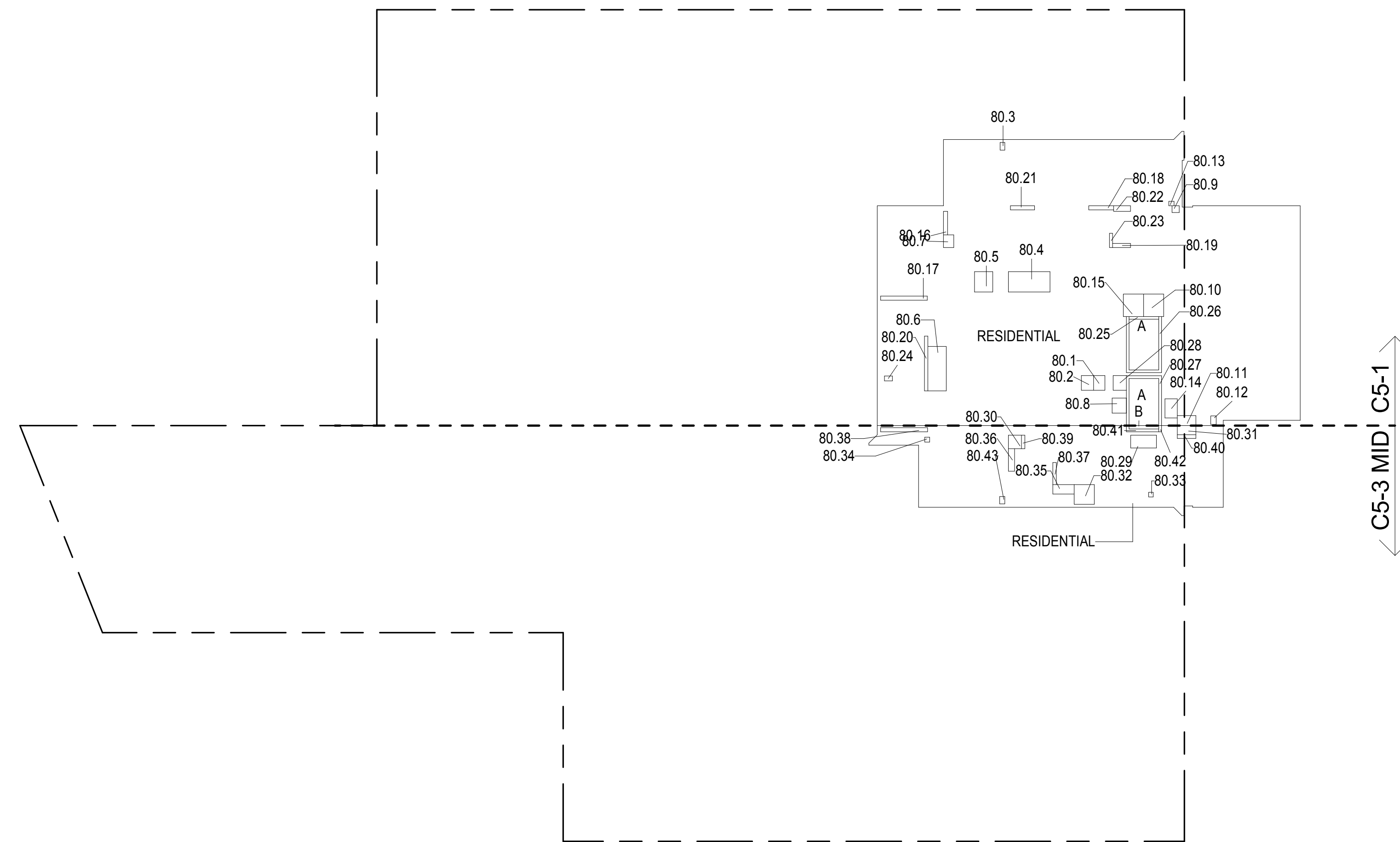
80TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

80TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	80.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	80.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	80.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	80.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	80.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	80.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	80.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	80.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	80.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	80.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	80.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	80.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	80.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	80.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	80.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	80.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	80.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	80.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	80.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	80.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	80.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	80.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	80.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	80.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	80.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	80.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	80.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	80.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

80TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

80TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	80.29	3'-1"	6'-3"	19.23
RESIDENTIAL	M	80.30	3'-2"	3'-3"	10.29
RESIDENTIAL	M	80.31	2'-3"	4'-6"	9.96
RESIDENTIAL	M	80.32	4'-9"	4'-10"	23.11
RESIDENTIAL	M	80.33	1'-1"	1'-2"	1.26
RESIDENTIAL	M	80.34	1'-2"	1'-2"	1.37
RESIDENTIAL	M	80.35	2'-3"	5'-2"	11.79
RESIDENTIAL	P	80.36	1'-6"	5'-6"	8.19
RESIDENTIAL	P	80.37	0'-10"	5'-4"	4.44
RESIDENTIAL	P	80.38	1'-0"	11'-4"	11.37
RESIDENTIAL	P	80.39	0'-10"	3'-3"	2.71
RESIDENTIAL	P	80.40	0'-10"	4'-6"	3.86
RESIDENTIAL	ST	80.41	0'-8"	8'-8"	5.78
RESIDENTIAL	ST	80.42	0'-8"	1'-6"	1.00
RESIDENTIAL	M	80.43	1'-3"	1'-9"	2.25
SUBTOTAL					116.60

80TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



80TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

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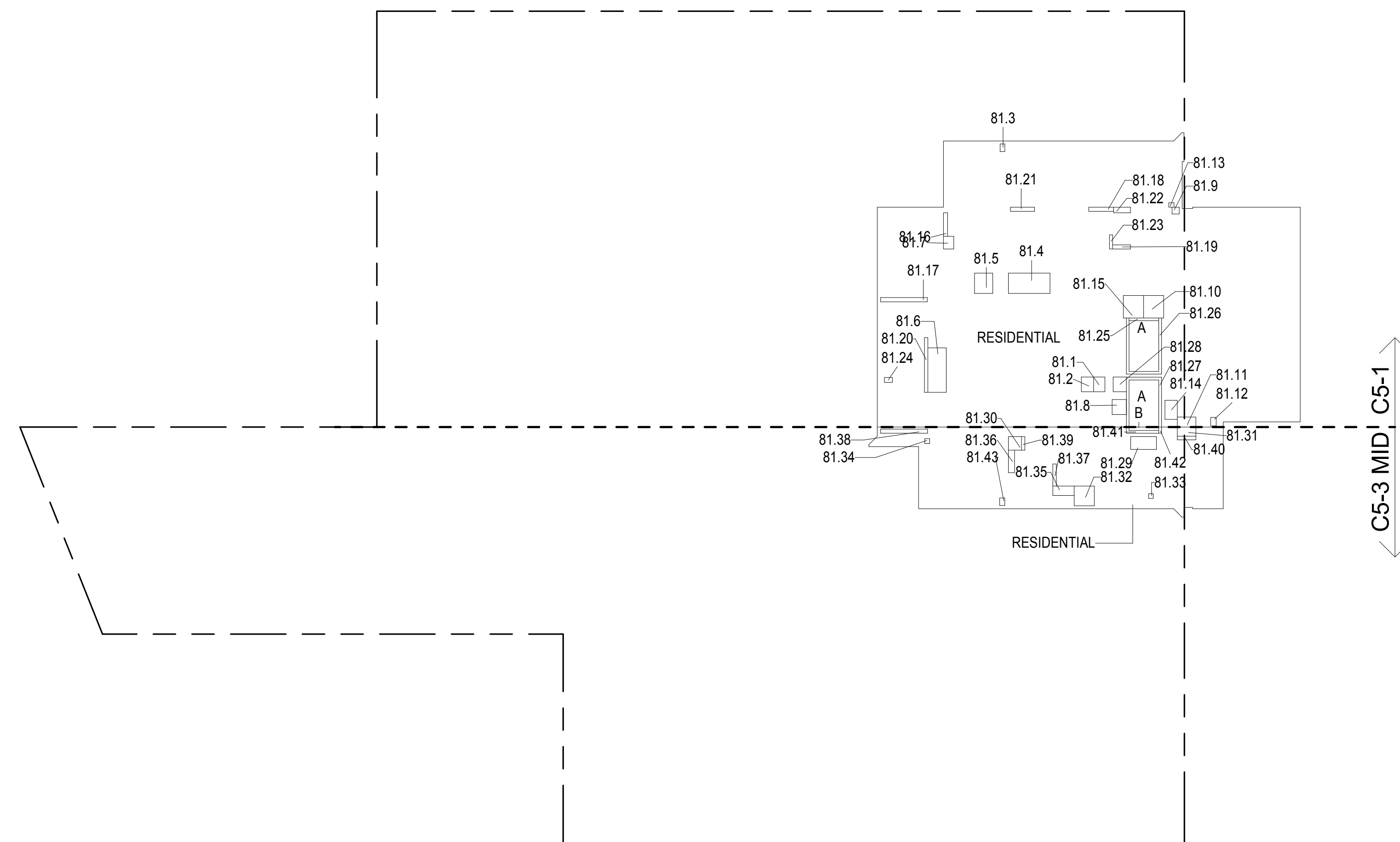
81ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

81ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	81.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	81.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	81.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	81.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	81.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	81.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	81.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	81.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	81.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	81.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	81.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	81.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	81.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	81.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	81.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	81.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	81.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	81.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	81.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	81.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	81.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	81.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	81.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	81.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	81.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	81.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	81.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	81.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

81ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

81ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	81.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	81.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	81.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	81.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	81.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	81.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	81.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	81.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	81.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	81.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	81.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	81.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	81.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	81.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	81.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

81ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



81ST FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

3

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL

ROOM / RISER

E - ELECTRICAL

SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT

(INCLUDING 8" PERIMETER)

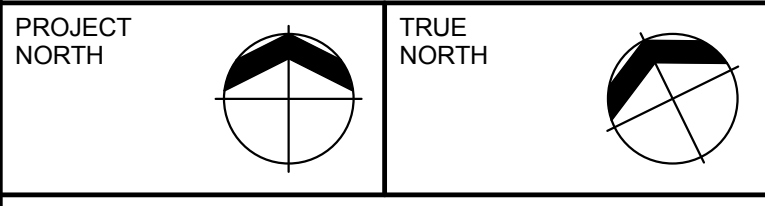
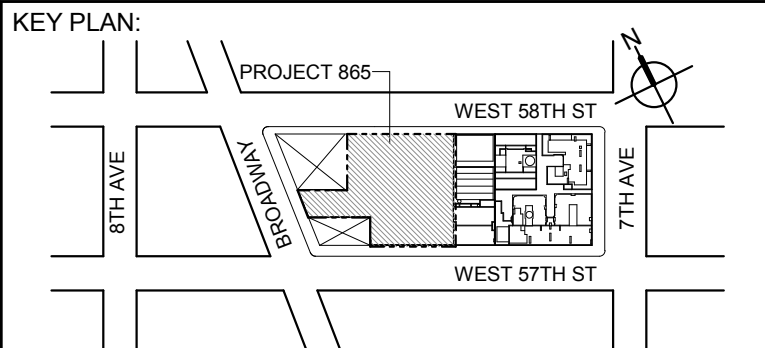
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPER:

EXTELL DEVELOPMENT COMPANY

805 THIRD AVENUE, 17TH FLOOR

NEW YORK, NY 10022 USA

TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core

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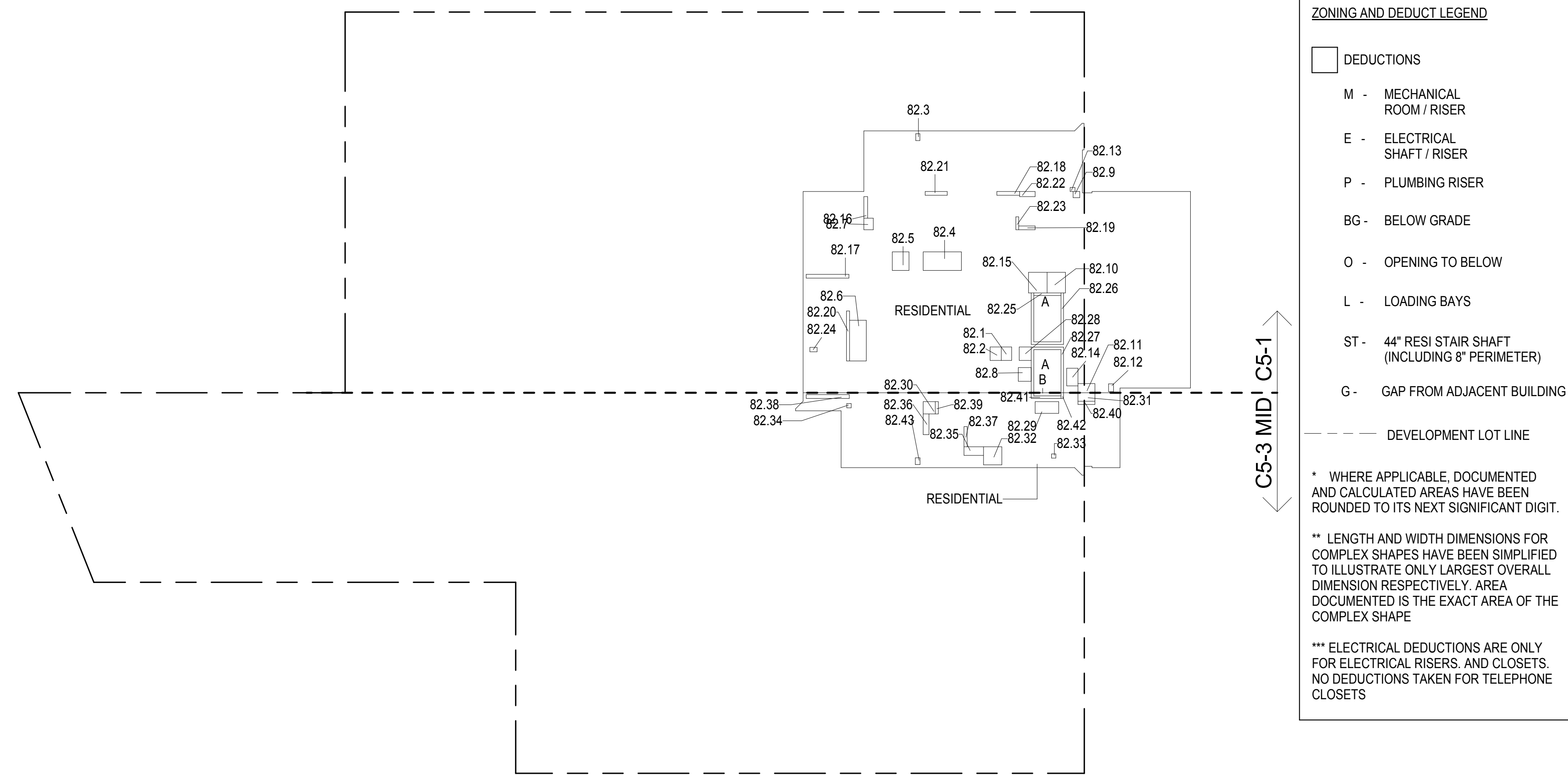
82ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

82ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	82.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	82.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	82.3	1'-11"	1'-10"	2.1
RESIDENTIAL	M	82.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	82.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	82.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	82.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	82.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	82.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	82.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	82.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	82.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	82.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	82.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	82.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	82.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	82.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	82.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	82.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	82.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	82.21	1'-4"	5'-10"	5.8
RESIDENTIAL	P	82.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	82.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	82.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	82.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	82.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	82.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	82.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

82ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

82ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	82.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	82.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	82.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	82.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	82.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	82.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	82.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	82.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	82.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	82.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	82.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	82.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	82.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	82.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	82.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

82ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



82ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 1

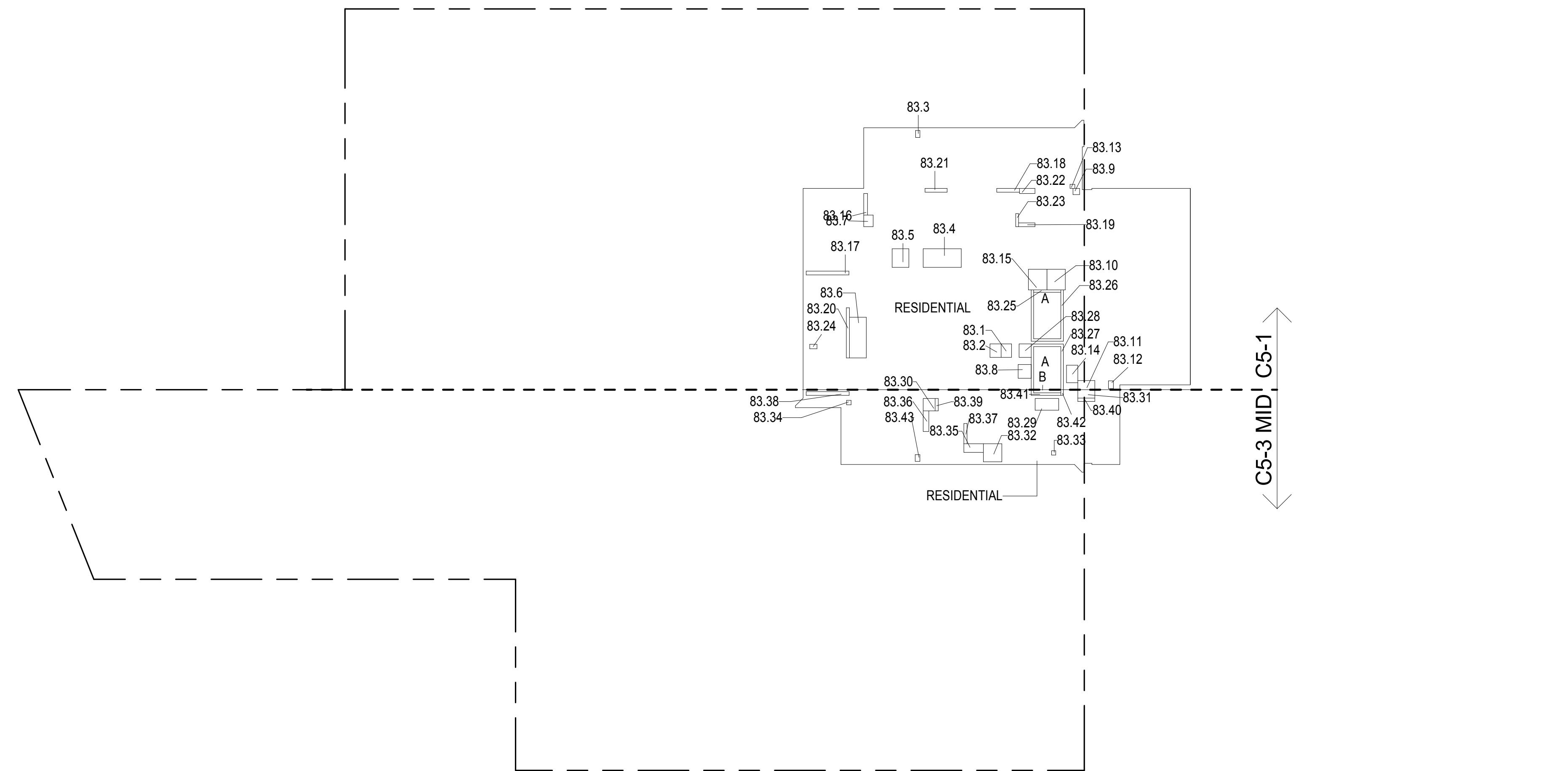
83RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

83RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	83.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	83.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	83.3	1'-11"	1'-10"	2.1
RESIDENTIAL	M	83.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	83.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	83.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	83.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	83.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	83.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	83.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	83.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	83.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	83.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	83.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	83.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	83.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	83.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	83.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	83.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	83.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	83.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	83.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	83.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	83.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	83.25	0'-6"	7'-2"	4.6
RESIDENTIAL	ST	83.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	83.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	83.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

83RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

83RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	83.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	83.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	83.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	83.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	83.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	83.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	83.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	83.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	83.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	83.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	83.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	83.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	83.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	83.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	83.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

83RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



83RD FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 2

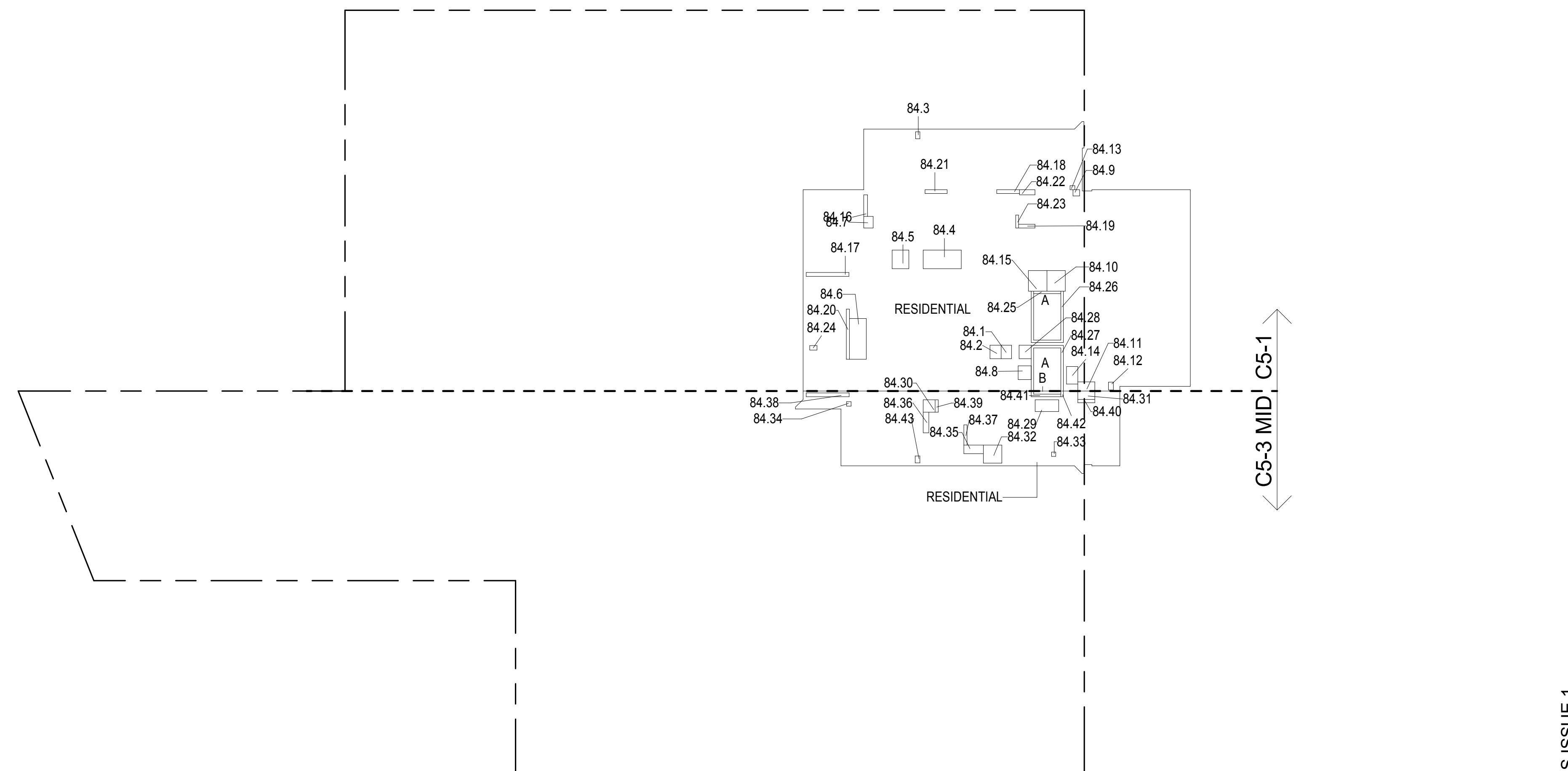
84TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

84TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	84.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	84.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	84.3	1'-11"	1'-10"	2.1
RESIDENTIAL	M	84.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	84.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	84.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	84.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	84.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	84.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	84.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	84.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	84.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	84.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	84.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	84.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	84.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	84.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	84.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	84.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	84.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	84.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	84.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	84.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	84.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	84.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	84.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	84.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	84.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

84TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

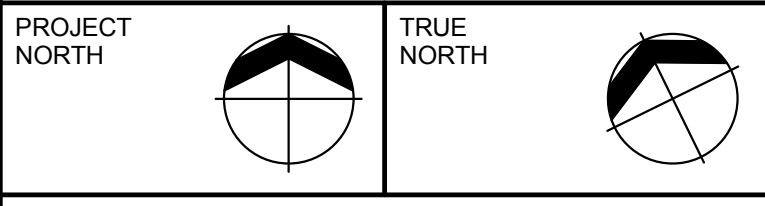
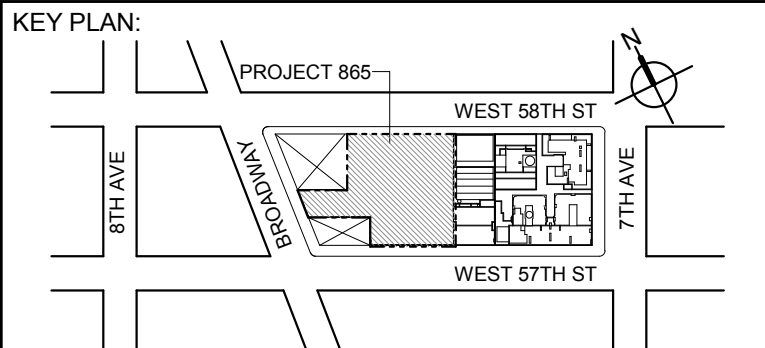
84TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	84.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	84.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	84.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	84.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	84.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	84.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	84.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	84.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	84.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	84.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	84.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	84.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	84.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	84.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	84.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

84TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



84TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 3

- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
Toronto, ON M5V 1E7 Canada
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STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

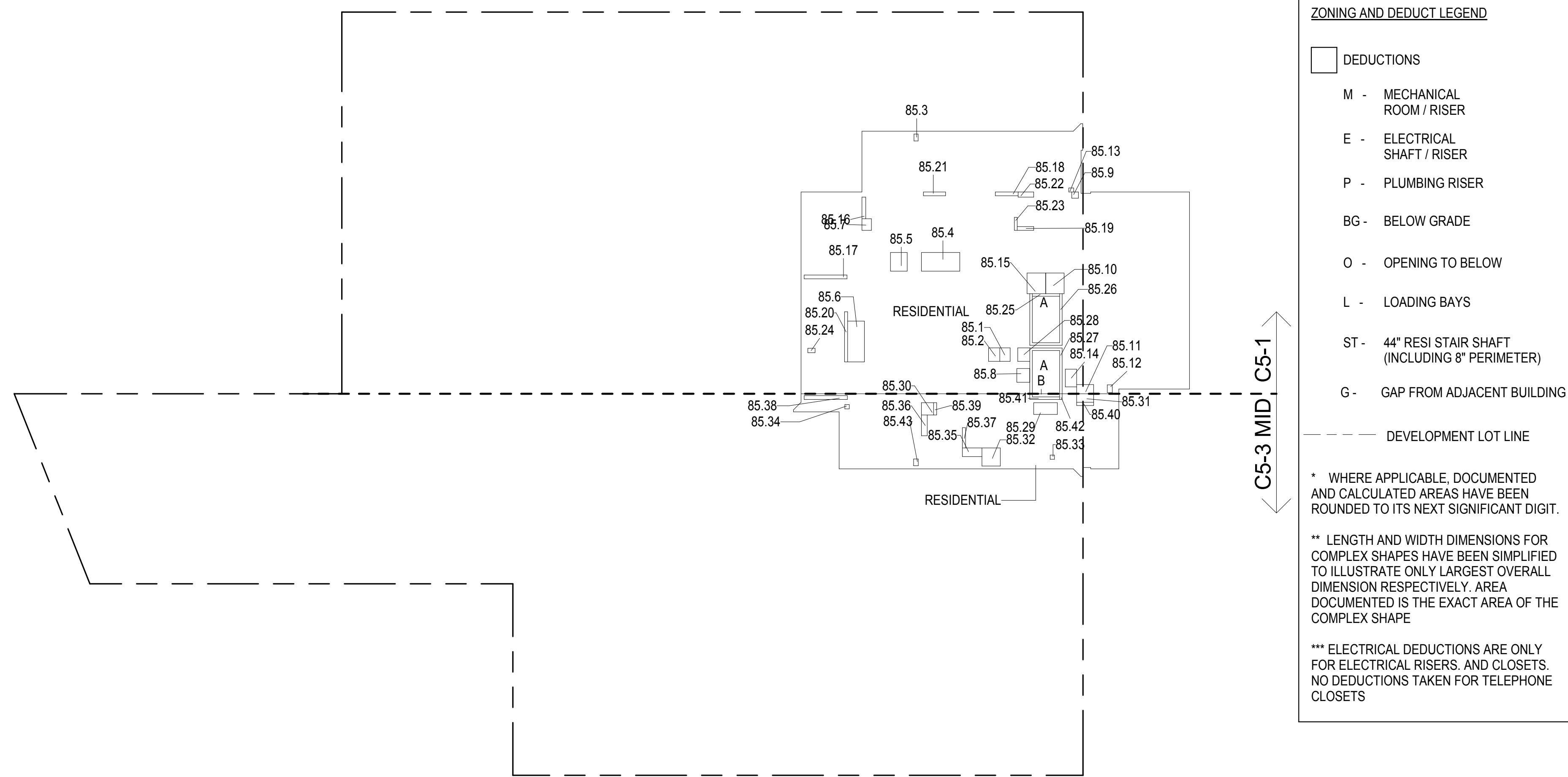
85TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

85TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	85.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	85.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	85.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	85.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	85.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	85.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	85.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	85.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	85.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	85.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	85.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	85.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	85.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	85.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	85.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	85.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	85.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	85.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	85.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	85.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	85.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	85.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	85.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	85.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	85.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	85.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	85.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	85.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

85TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

85TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	85.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	85.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	85.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	85.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	85.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	85.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	85.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	85.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	85.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	85.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	85.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	85.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	85.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	85.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	85.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

85TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



85TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 1

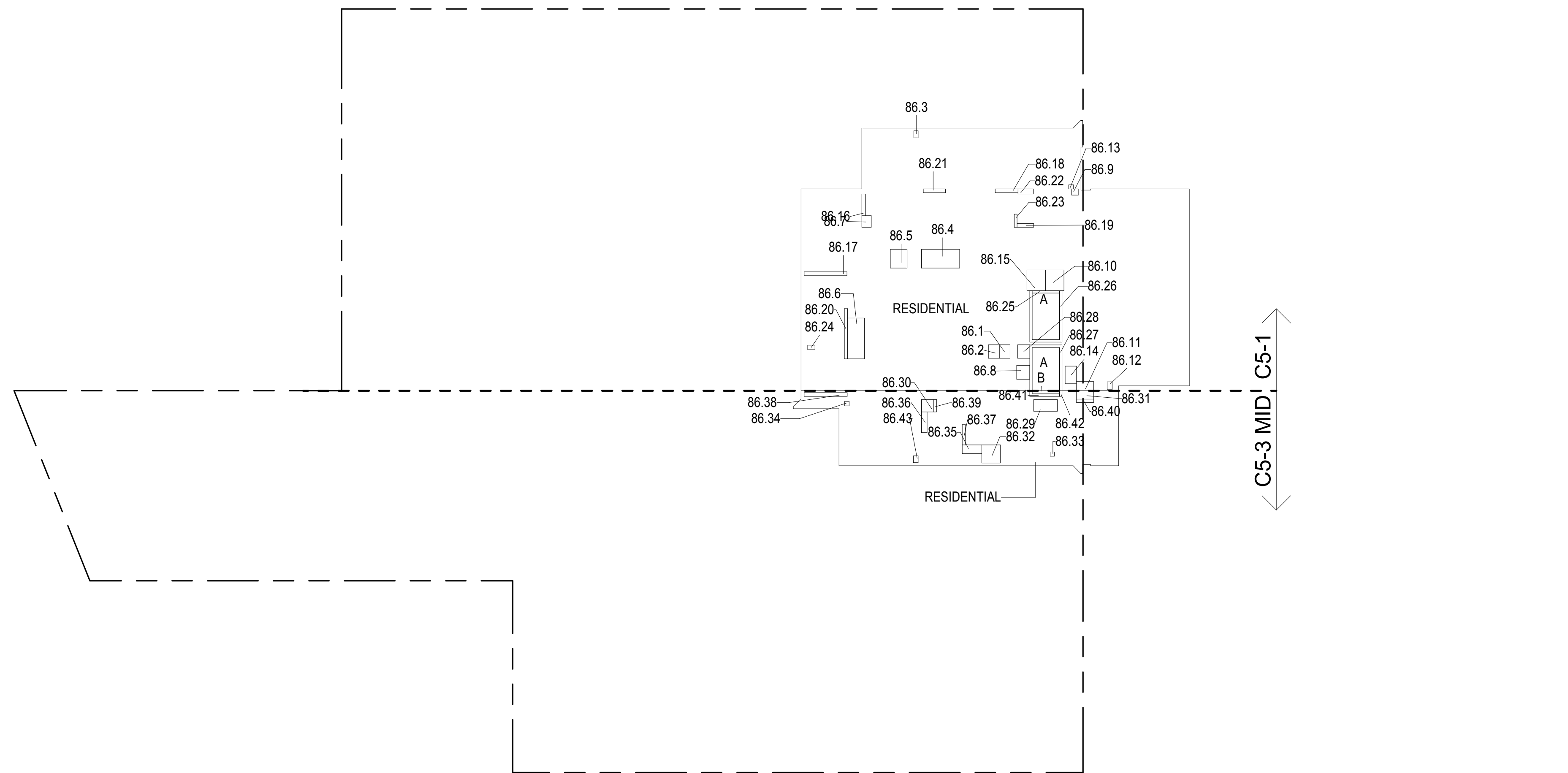
86TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

86TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	86.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	86.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	86.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	86.4	4'-5"	4'-11"	21.6
RESIDENTIAL	M	86.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	86.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	86.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	86.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	86.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	86.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	86.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	86.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	86.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	86.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	86.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	86.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	86.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	86.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	86.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	86.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	86.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	86.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	86.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	86.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	86.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	86.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	86.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

86TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

86TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	86.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	86.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	86.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	86.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	86.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	86.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	86.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	86.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	86.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	86.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	86.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	86.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	86.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	86.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	86.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

86TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



86TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 2

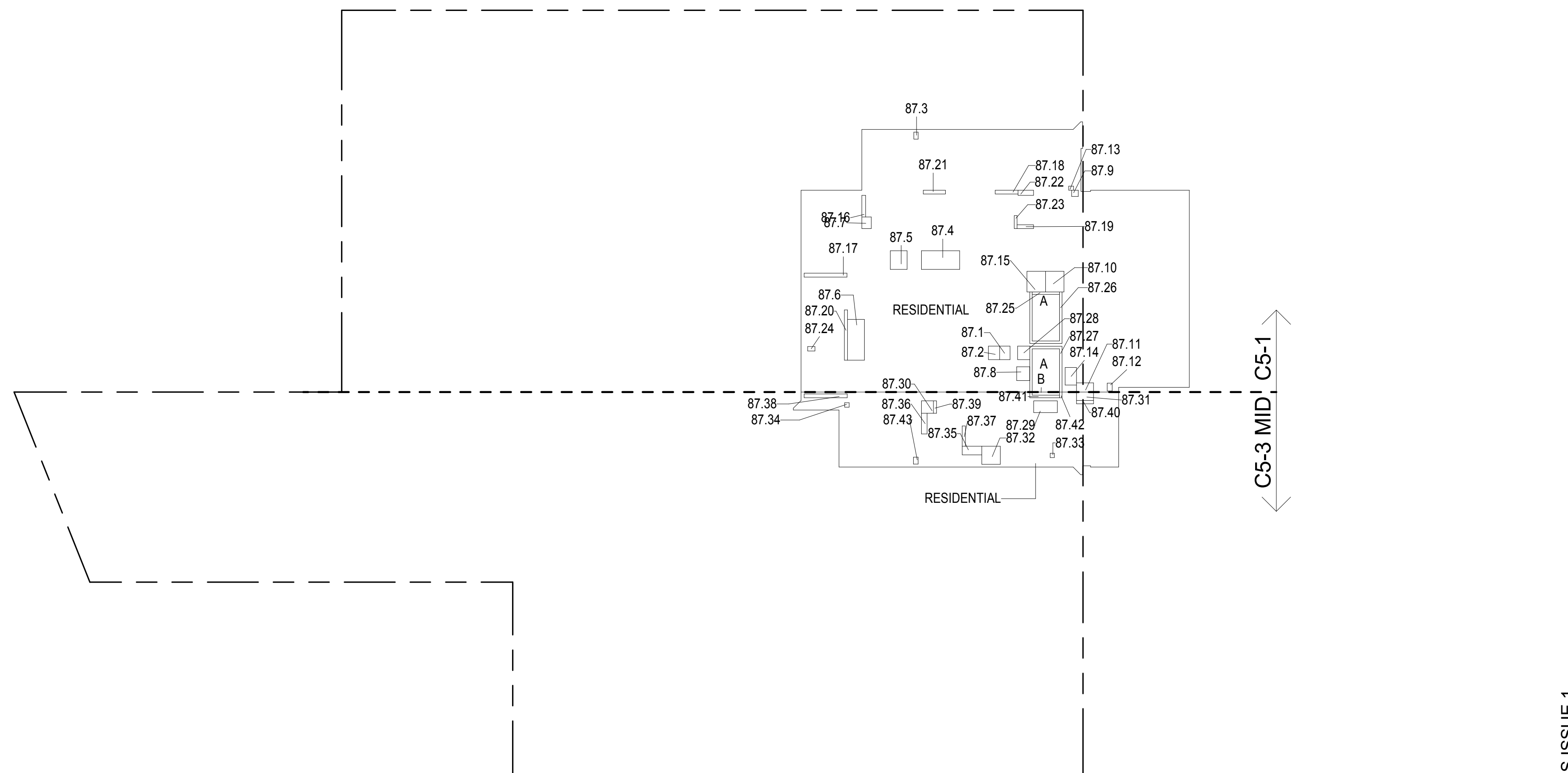
87TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

87TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	87.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	87.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	87.3	1'-1"	1'-10"	2.1
RESIDENTIAL	M	87.4	4'-11"	10'-1"	49.6
RESIDENTIAL	M	87.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	87.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	87.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	87.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	87.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	87.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	87.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	87.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	87.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	87.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	87.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	87.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	87.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	87.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	87.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	87.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	87.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	87.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	87.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	87.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	87.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	87.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	87.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	87.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

87TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

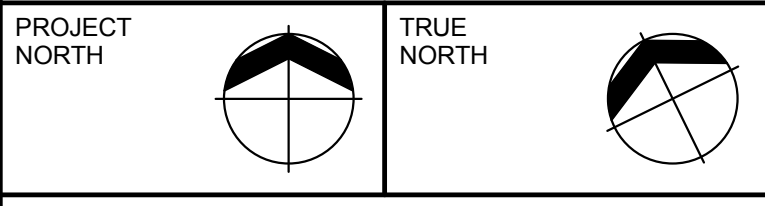
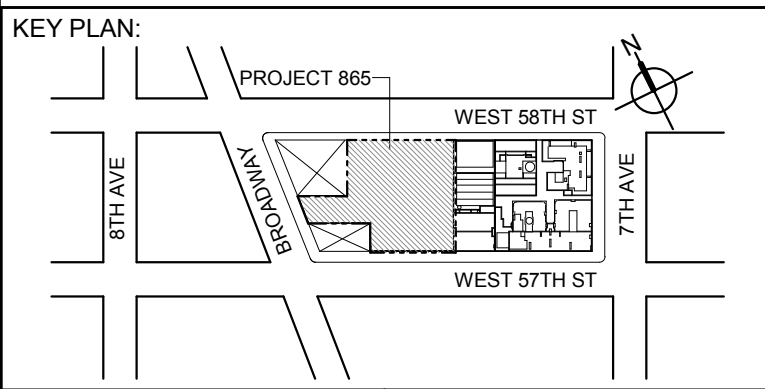
87TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	87.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	87.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	87.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	87.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	87.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	87.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	87.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	87.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	87.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	87.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	87.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	87.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	87.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	87.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	87.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

87TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



87TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 3

- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



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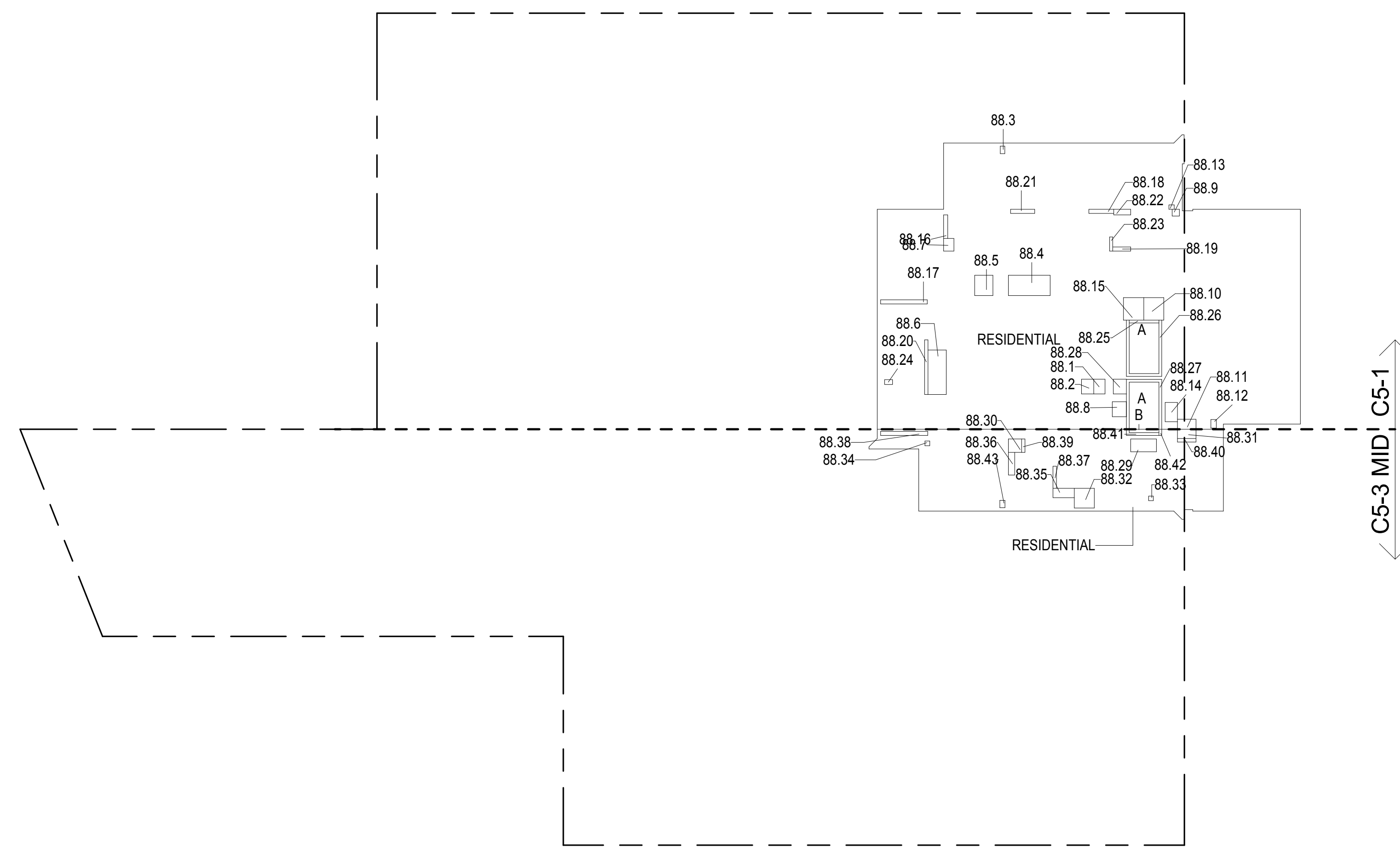
88TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	359	5,968
TOTAL		6,327	359	5,968

88TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	88.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	88.2	2'-11"	3'-7"	10.4
RESIDENTIAL	M	88.3	1'-11"	1'-10"	2.1
RESIDENTIAL	M	88.4	4'-11"	10'-11"	49.6
RESIDENTIAL	M	88.5	4'-5"	4'-11"	21.6
RESIDENTIAL	M	88.6	4'-5"	10'-9"	47.7
RESIDENTIAL	M	88.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	88.8	3'-5"	3'-8"	12.5
RESIDENTIAL	M	88.9	1'-8"	1'-9"	2.8
RESIDENTIAL	M	88.10	4'-10"	5'-5"	26.3
RESIDENTIAL	M	88.11	2'-5"	4'-6"	10.7
RESIDENTIAL	M	88.12	1'-4"	2'-1"	2.8
RESIDENTIAL	M	88.13	1'-1"	1'-3"	1.4
RESIDENTIAL	M	88.14	3'-0"	4'-8"	13.9
RESIDENTIAL	P	88.15	4'-11"	5'-5"	26.6
RESIDENTIAL	P	88.16	1'-0"	5'-8"	5.6
RESIDENTIAL	P	88.17	1'-0"	11'-3"	11.3
RESIDENTIAL	P	88.18	1'-0"	6'-0"	6.0
RESIDENTIAL	P	88.19	1'-0"	4'-4"	4.3
RESIDENTIAL	P	88.20	0'-10"	13'-3"	10.7
RESIDENTIAL	P	88.21	1'-0"	5'-10"	5.8
RESIDENTIAL	P	88.22	1'-4"	4'-1"	5.4
RESIDENTIAL	P	88.23	0'-9"	3'-5"	2.6
RESIDENTIAL	P	88.24	1'-2"	1'-11"	2.2
RESIDENTIAL	ST	88.25	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	88.26	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	88.27	0'-8"	31'-3"	20.8
RESIDENTIAL	E	88.28	3'-2"	3'-7"	11.2
SUBTOTAL					359.2

88TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	117	1,389
TOTAL		1,506	117	1,389

88TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	88.29	3'-1"	6'-3"	19.2
RESIDENTIAL	M	88.30	3'-2"	3'-3"	10.3
RESIDENTIAL	M	88.31	2'-3"	4'-6"	10.0
RESIDENTIAL	M	88.32	4'-9"	4'-10"	23.1
RESIDENTIAL	M	88.33	1'-1"	1'-2"	1.3
RESIDENTIAL	M	88.34	1'-2"	1'-2"	1.4
RESIDENTIAL	M	88.35	2'-3"	5'-2"	11.8
RESIDENTIAL	P	88.36	1'-6"	5'-6"	8.2
RESIDENTIAL	P	88.37	0'-10"	5'-4"	4.4
RESIDENTIAL	P	88.38	1'-0"	11'-4"	11.4
RESIDENTIAL	P	88.39	0'-10"	3'-3"	2.7
RESIDENTIAL	P	88.40	0'-10"	4'-6"	3.9
RESIDENTIAL	ST	88.41	0'-8"	8'-8"	5.8
RESIDENTIAL	ST	88.42	0'-8"	1'-6"	1.0
RESIDENTIAL	M	88.43	1'-3"	1'-9"	2.2
SUBTOTAL					116.6

88TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	476	7,357	
TOTAL	7,833	476	7,357	



88TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 1

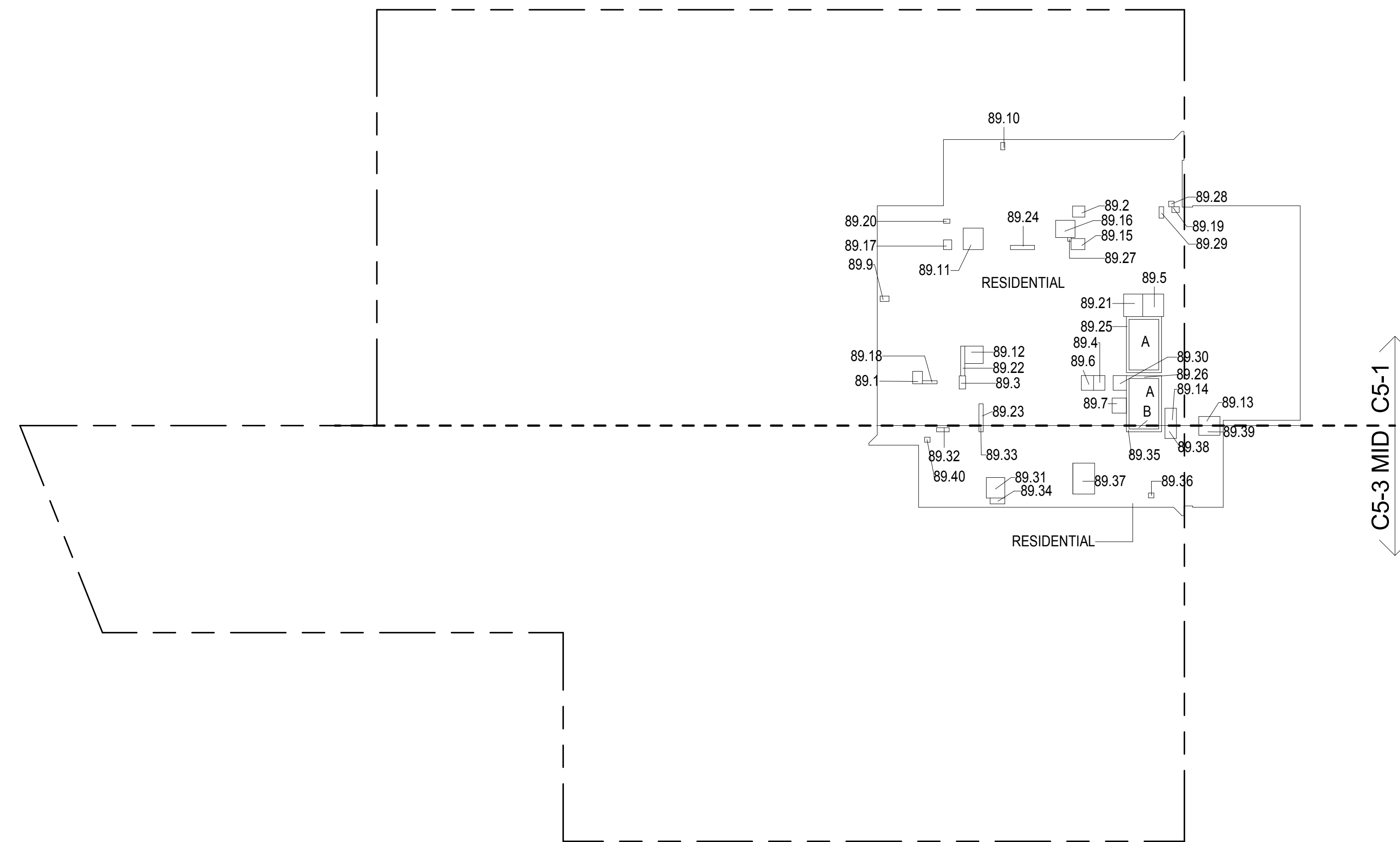
89TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	300	6,027
TOTAL		6,327	300	6,027

89TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	89.1	2'-5"	3'-0"	7.2
RESIDENTIAL	M	89.2	2'-8"	3'-0"	8.0
RESIDENTIAL	M	89.3	1'-7"	3'-2"	5.0
RESIDENTIAL	E	89.4	2'-9"	3'-7"	9.7
RESIDENTIAL	M	89.5	5'-11"	5'-5"	27.5
RESIDENTIAL	M	89.6	2'-11"	3'-7"	10.4
RESIDENTIAL	M	89.7	3'-5"	3'-8"	12.5
RESIDENTIAL	M	89.9	1'-3"	2'-2"	2.7
RESIDENTIAL	M	89.10	1'-0"	1'-9"	1.8
RESIDENTIAL	M	89.11	4'-10"	5'-2"	25.0
RESIDENTIAL	M	89.12	4'-2"	4'-5"	18.5
RESIDENTIAL	M	89.13	2'-2"	5'-1"	11.2
RESIDENTIAL	M	89.14	2'-9"	4'-2"	11.5
RESIDENTIAL	M	89.15	2'-8"	3'-4"	8.9
RESIDENTIAL	M	89.16	4'-2"	4'-9"	19.7
RESIDENTIAL	M	89.17	2'-0"	2'-4"	4.7
RESIDENTIAL	P	89.18	0'-9"	3'-6"	2.6
RESIDENTIAL	M	89.19	1'-5"	1'-9"	2.5
RESIDENTIAL	M	89.20	1'-0"	1'-7"	1.6
RESIDENTIAL	P	89.21	4'-7"	5'-5"	25.1
RESIDENTIAL	P	89.22	1'-0"	7'-2"	7.2
RESIDENTIAL	P	89.23	1'-0"	5'-3"	5.3
RESIDENTIAL	P	89.24	1'-0"	5'-10"	6.0
RESIDENTIAL	ST	89.25	1'-4"	20'-9"	27.6
RESIDENTIAL	ST	89.26	0'-8"	31'-3"	20.8
RESIDENTIAL	P	89.27	0'-10"	0'-11"	0.8
RESIDENTIAL	M	89.28	1'-4"	1'-4"	1.8
RESIDENTIAL	M	89.29	1'-1"	2'-9"	3.0
RESIDENTIAL	E	89.30	3'-2"	3'-7"	11.2
SUBTOTAL					299.7

89TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	101	1,405
TOTAL		1,506	101	1,405

89TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	89.31	4'-6"	4'-11"	22.2
RESIDENTIAL	P	89.32	1'-0"	3'-1"	3.1
RESIDENTIAL	P	89.33	1'-0"	1'-6"	1.5
RESIDENTIAL	M	89.34	1'-5"	3'-7"	5.1
RESIDENTIAL	ST	89.35	0'-8"	10'-2"	6.8
RESIDENTIAL	M	89.36	1'-2"	1'-4"	1.6
RESIDENTIAL	M	89.37	5'-3"	7'-6"	39.1
RESIDENTIAL	M	89.38	2'-9"	3'-1"	8.5
RESIDENTIAL	M	89.39	2'-4"	5'-1"	12.0
RESIDENTIAL	M	89.40	1'-2"	1'-4"	1.6
SUBTOTAL					101.4

89TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,833	401	7,432	
TOTAL	7,833	401	7,432	



89TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 2

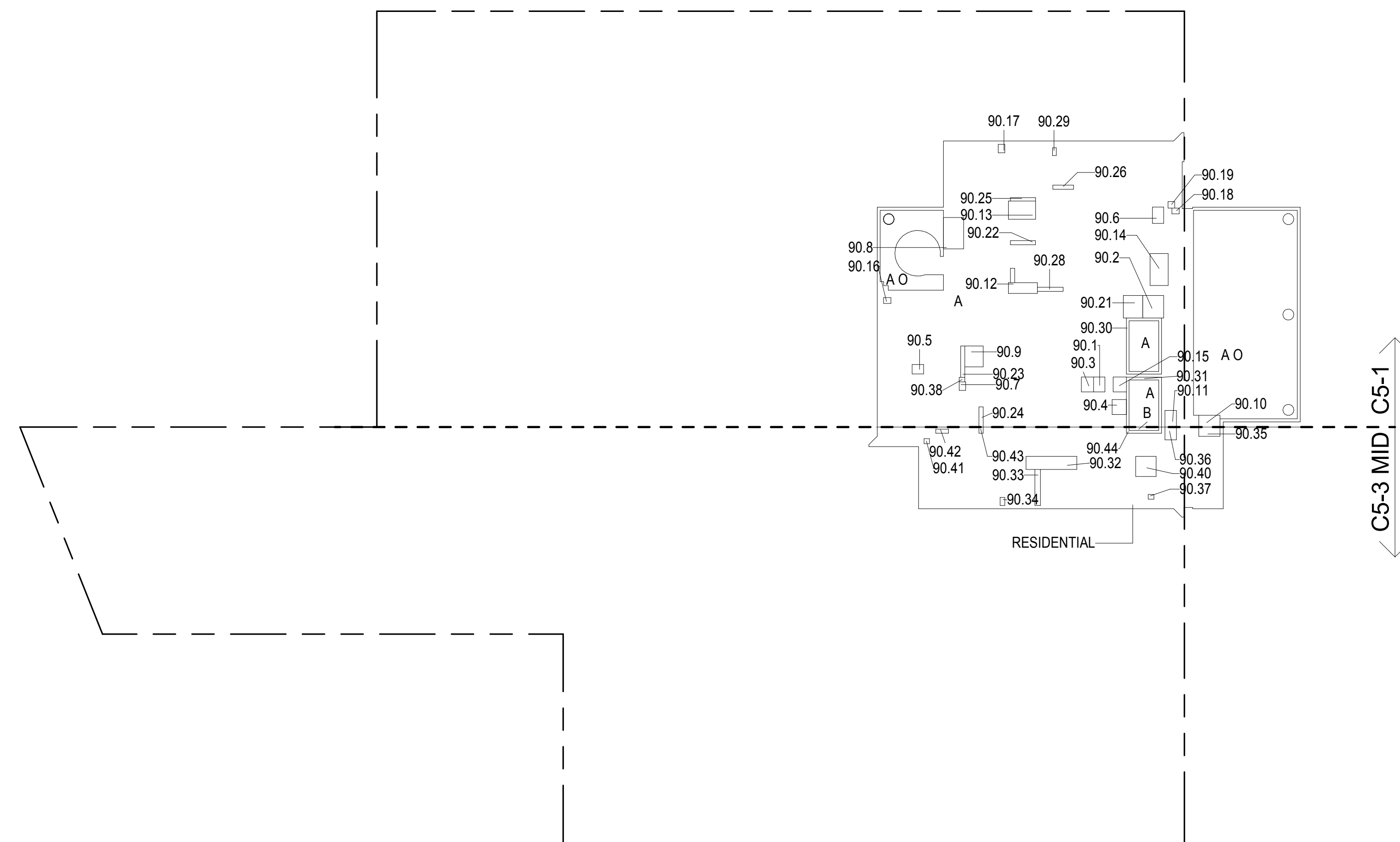
90TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,323	1,804	4,519
TOTAL		6,323	1,804	4,519

90TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	90.1	2'-9"	3'-7"	9.9
RESIDENTIAL	M	90.2	5'-1"	5'-5"	27.5
RESIDENTIAL	M	90.3	2'-11"	3'-7"	10.5
RESIDENTIAL	M	90.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	90.5	2'-3"	2'-9"	6.3
RESIDENTIAL	M	90.6	2'-8"	4'-0"	10.6
RESIDENTIAL	M	90.7	1'-7"	2'-1"	3.3
RESIDENTIAL	M	90.8	4'-11"	7'-7"	37.1
RESIDENTIAL	M	90.9	4'-5"	5'-1"	22.4
RESIDENTIAL	M	90.10	2'-10"	5'-1"	14.4
RESIDENTIAL	M	90.11	2'-9"	4'-0"	11.0
RESIDENTIAL	M	90.12	2'-7"	7'-0"	18.3
RESIDENTIAL	M	90.13	4'-5"	6'-7"	29.0
RESIDENTIAL	M	90.14	4'-4"	7'-9"	33.6
RESIDENTIAL	E	90.15	3'-2"	3'-7"	11.3
RESIDENTIAL	M	90.16	1'-5"	1'-9"	2.5
RESIDENTIAL	M	90.17	1'-7"	2'-0"	3.3
RESIDENTIAL	M	90.18	1'-5"	1'-9"	2.5
RESIDENTIAL	M	90.19	1'-7"	1'-7"	2.5
RESIDENTIAL	O	90.20	24'-3"	51'-3"	1,240.3
RESIDENTIAL	P	90.21	4'-8"	5'-5"	25.4
RESIDENTIAL	P	90.22	1'-0"	6'-1"	6.2
RESIDENTIAL	P	90.23	1'-0"	7'-7"	7.6
RESIDENTIAL	P	90.24	1'-0"	4'-10"	5.0
RESIDENTIAL	P	90.25	0'-10"	6'-1"	5.0
RESIDENTIAL	P	90.26	1'-0"	5'-0"	5.0
RESIDENTIAL	O	90.27	4'-1"	45'-2"	183.1
RESIDENTIAL	P	90.28	1'-0"	6'-3"	6.2
RESIDENTIAL	P	90.29	0'-11"	1'-11"	1.7
RESIDENTIAL	ST	90.30	1'-4"	20'-9"	27.6
RESIDENTIAL	ST	90.31	0'-8"	31'-3"	20.8
RESIDENTIAL	P	90.38	1'-1"	1'-4"	1.5
SUBTOTAL					1,803.8

90TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	111	1,395
TOTAL		1,506	111	1,395

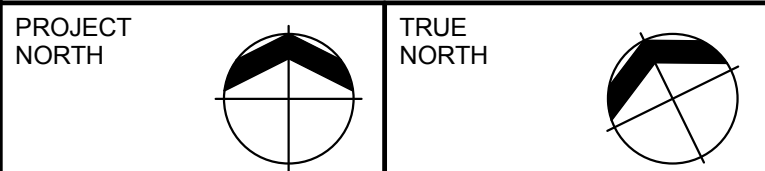
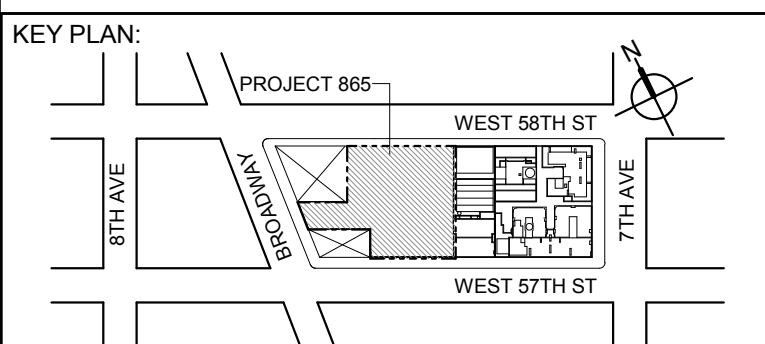
90TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	90.32	3'-2"	12'-3"	38.6
RESIDENTIAL	P	90.33	1'-4"	8'-8"	11.6
RESIDENTIAL	M	90.34	1'-2"	1'-11"	2.2
RESIDENTIAL	M	90.35	2'-3"	5'-1"	11.5
RESIDENTIAL	M	90.36	2'-9"	3'-1"	8.5
RESIDENTIAL	M	90.37	1'-2"	1'-5"	1.6
RESIDENTIAL	M	90.40	4'-10"	4'-11"	24.1
RESIDENTIAL	M	90.41	1'-2"	1'-4"	1.6
RESIDENTIAL	P	90.42	1'-0"	3'-1"	3.1
RESIDENTIAL	P	90.43	1'-0"	1'-6"	1.5
RESIDENTIAL	ST	90.44	0'-8"	10'-2"	6.8
SUBTOTAL					111.0

90TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	7,829	1,915	5,914	
TOTAL	7,829	1,915	5,914	



90TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0" 3

- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
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Jan H

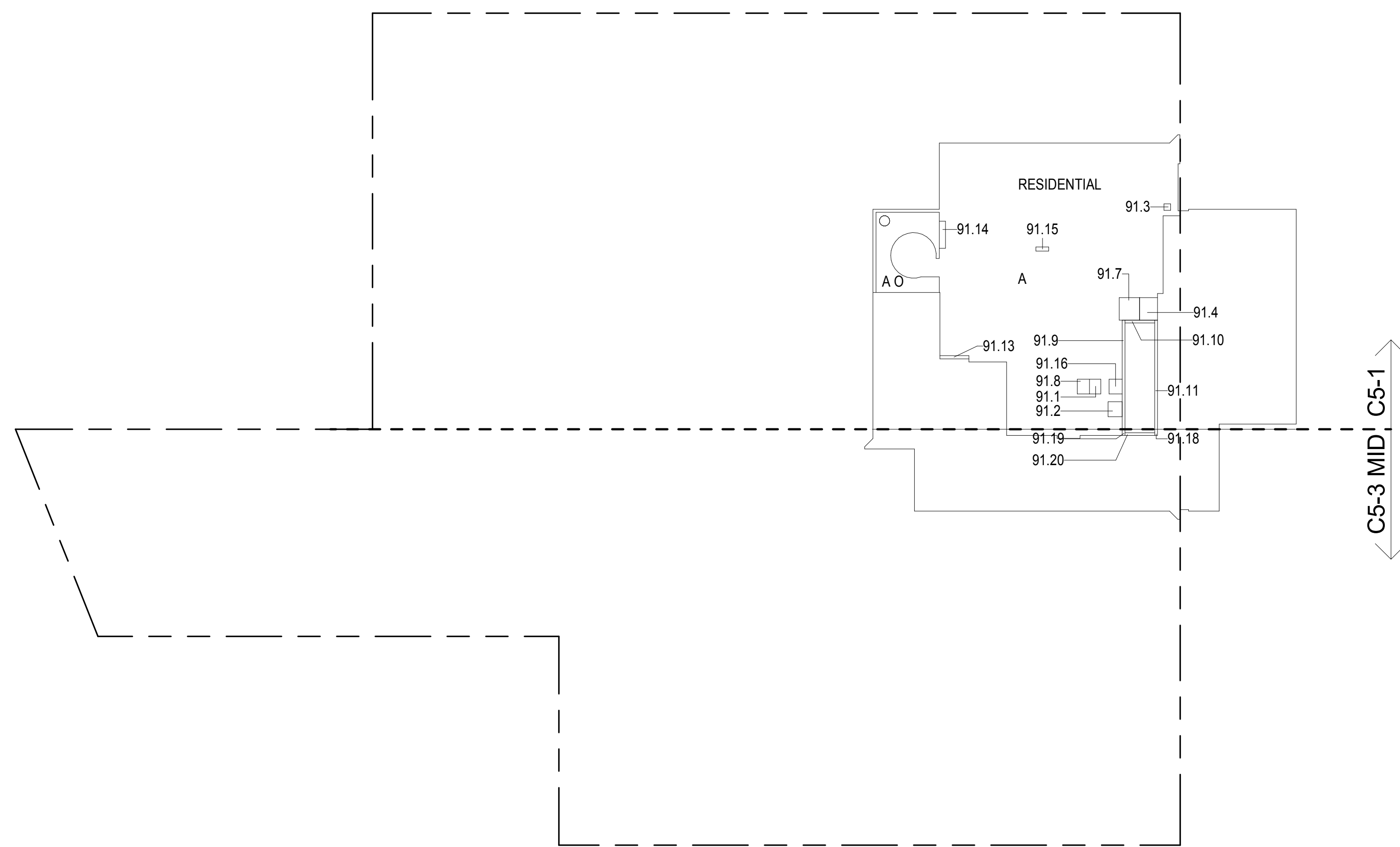
91ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	6,327	2,862	3,465
TOTAL		6,327	2,862	3,465

91ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	91.1	2'-9"	3'-7"	9.7
RESIDENTIAL	M	91.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	91.3	1'-7"	1'-7"	2.5
RESIDENTIAL	M	91.4	4'-4"	5'-5"	23.6
RESIDENTIAL	M	91.5	30'-11"	55'-8"	1,729.1
RESIDENTIAL	M	91.6	16'-4"	48'-11"	800.3
RESIDENTIAL	P	91.7	4'-11"	5'-5"	26.6
RESIDENTIAL	P	91.8	2'-11"	3'-7"	10.4
RESIDENTIAL	ST	91.9	0'-8"	26'-4"	17.5
RESIDENTIAL	ST	91.10	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	91.11	0'-8"	26'-4"	17.5
RESIDENTIAL	O	91.12	4'-2"	45'-1"	187.4
RESIDENTIAL	P	91.13	0'-9"	7'-0"	5.3
RESIDENTIAL	M	91.14	1'-6"	6'-6"	9.8
RESIDENTIAL	M	91.15	1'-0"	3'-1"	3.1
RESIDENTIAL	E	91.16	3'-2"	3'-7"	11.2
SUBTOTAL					2,862.3

91ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,506	1,454	52
TOTAL		1,506	1,454	52

91ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	91.17	15' - 6"	93' - 2"	1,447.6
RESIDENTIAL	ST	91.18	0' - 8"	1' - 6"	1.0
RESIDENTIAL	ST	91.19	0' - 8"	1' - 6"	1.0
RESIDENTIAL	ST	91.20	0' - 7"	7' - 2"	4.6
SUBTOTAL					1,454.1

91ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		7,833	4,316	3,517
TOTAL		7,833	4,316	3,517



- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44\"/>

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

91ST FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

1

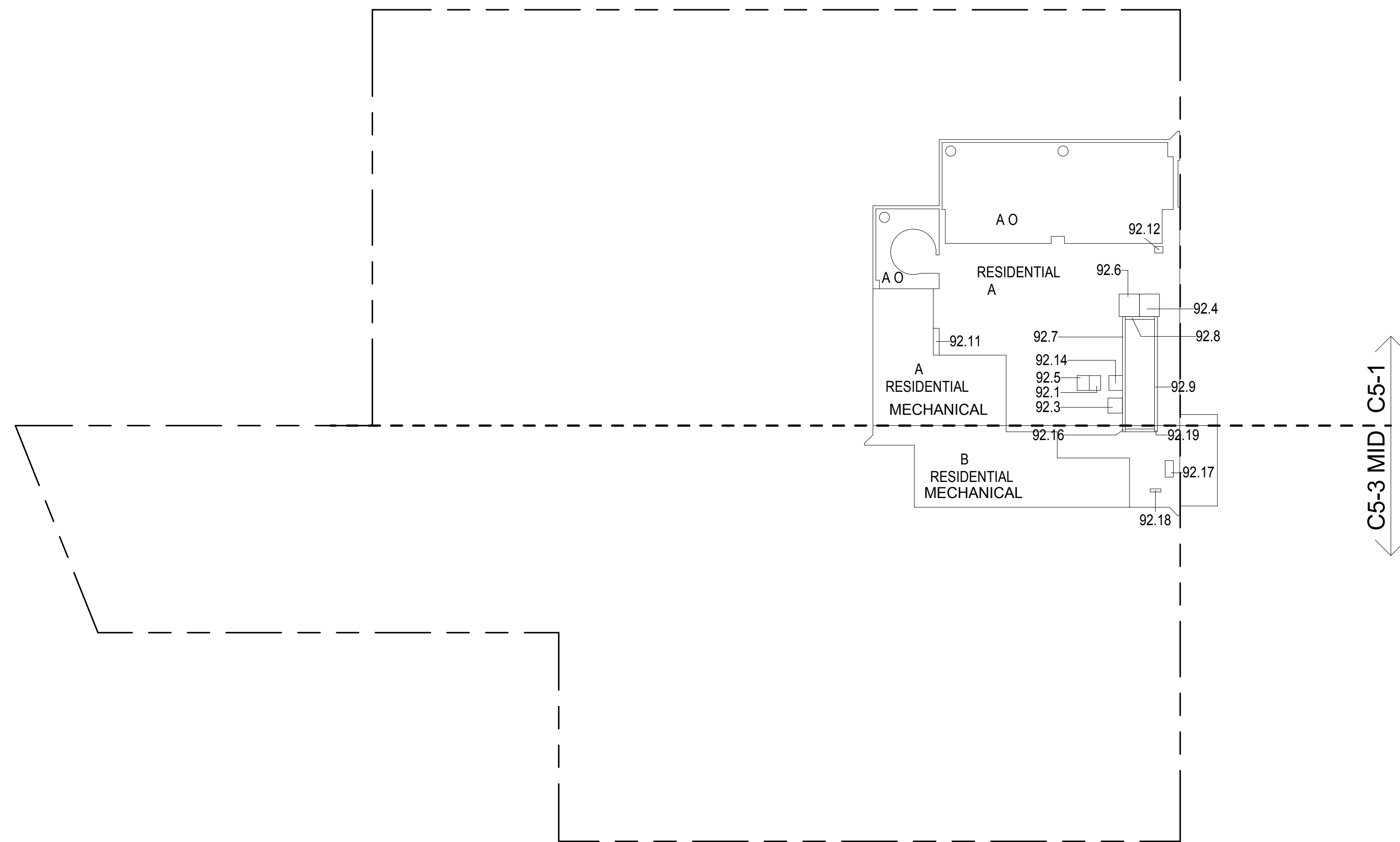
92ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	4,884	2,426	2,458
TOTAL		4,884	2,426	2,458

92ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	E	92.1	2'-9"	3'-7"	9.9
RESIDENTIAL	M	92.2	15'-10"	49'-4"	780.6
RESIDENTIAL	M	92.3	3'-6"	3'-8"	12.8
RESIDENTIAL	M	92.4	4'-10"	5'-5"	26.3
RESIDENTIAL	P	92.5	2'-11"	3'-7"	10.5
RESIDENTIAL	P	92.6	4'-11"	5'-5"	26.6
RESIDENTIAL	ST	92.7	0'-8"	26'-4"	17.5
RESIDENTIAL	ST	92.8	0'-8"	7'-1"	4.7
RESIDENTIAL	ST	92.9	0'-8"	26'-4"	17.5
RESIDENTIAL	O	92.10	21'-10"	60'-0"	1,310.9
RESIDENTIAL	P	92.11	1'-5"	6'-6"	9.2
RESIDENTIAL	M	92.12	1'-7"	2'-0"	3.2
RESIDENTIAL	O	92.13	4'-1"	45'-2"	185.0
RESIDENTIAL	E	92.14	3'-3"	3'-7"	11.6
SUBTOTAL					2,426.4

92ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,496	938	557
TOTAL		1,496	938	557

92ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	92.15	0'-8"	7'-1"	4.7
RESIDENTIAL	ST	92.16	0'-8"	1'-6"	1.0
RESIDENTIAL	M	92.17	2'-0"	4'-0"	8.0
RESIDENTIAL	P	92.18	0'-9"	2'-7"	2.0
RESIDENTIAL	ST	92.19	0'-8"	1'-6"	1.0
RESIDENTIAL	M	92.20	13'-2"	69'-11"	921.4
SUBTOTAL					938.1

92ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,380	3,365	3,015
TOTAL		6,380	3,365	3,015



92ND FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

2

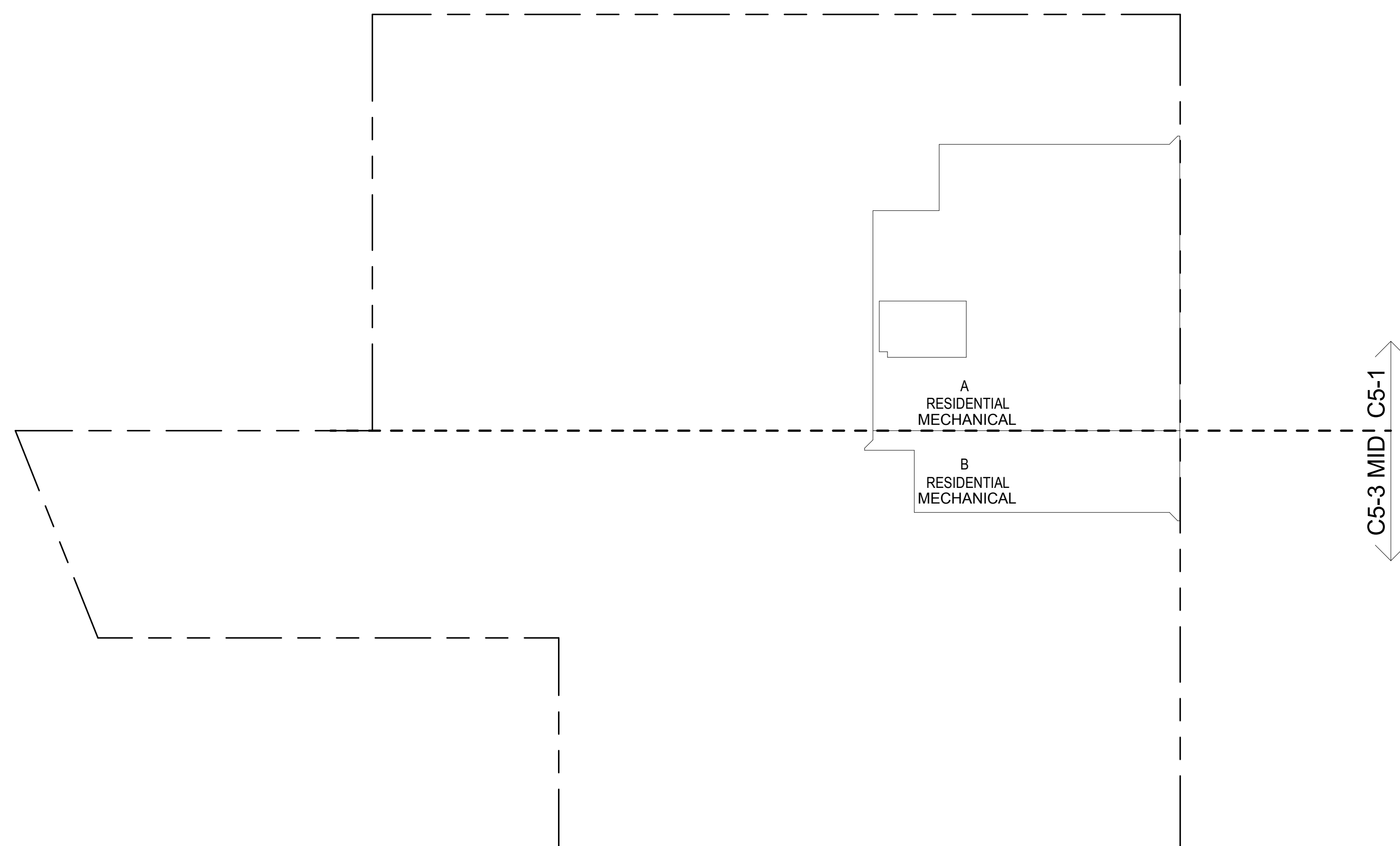
93RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	A	4,865	4,583	282
TOTAL		4,865	4,583	282

93RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	93.1	47' - 0"	97' - 7"	4,582.8
SUBTOTAL					4,582.8

93RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	B	1,319	1,319	0
TOTAL		1,319	1,319	0

93RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	93.2	16' - 5"	80' - 2"	1,319.2
SUBTOTAL					1,319.2

93RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,184	5,902	282
TOTAL		6,184	5,902	282



93ND FLOOR EMR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

3

0 10' - 8" 21' - 4" 42' - 8"

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS
91ST, 92ND, 93RD FLOOR

SEAL & SIGNATURE:

DATE: 05 DEC 14

PROJECT No:

1216-00

DRAWN: Author

REV:

CHK: Checker

2

SCALE: 3/64" = 1'-0"

DWG No:

Z-039.00

DOB PAGE No: 40 of 500

DOB EMPLOYEE STAMP:

DOB B-SCAN:

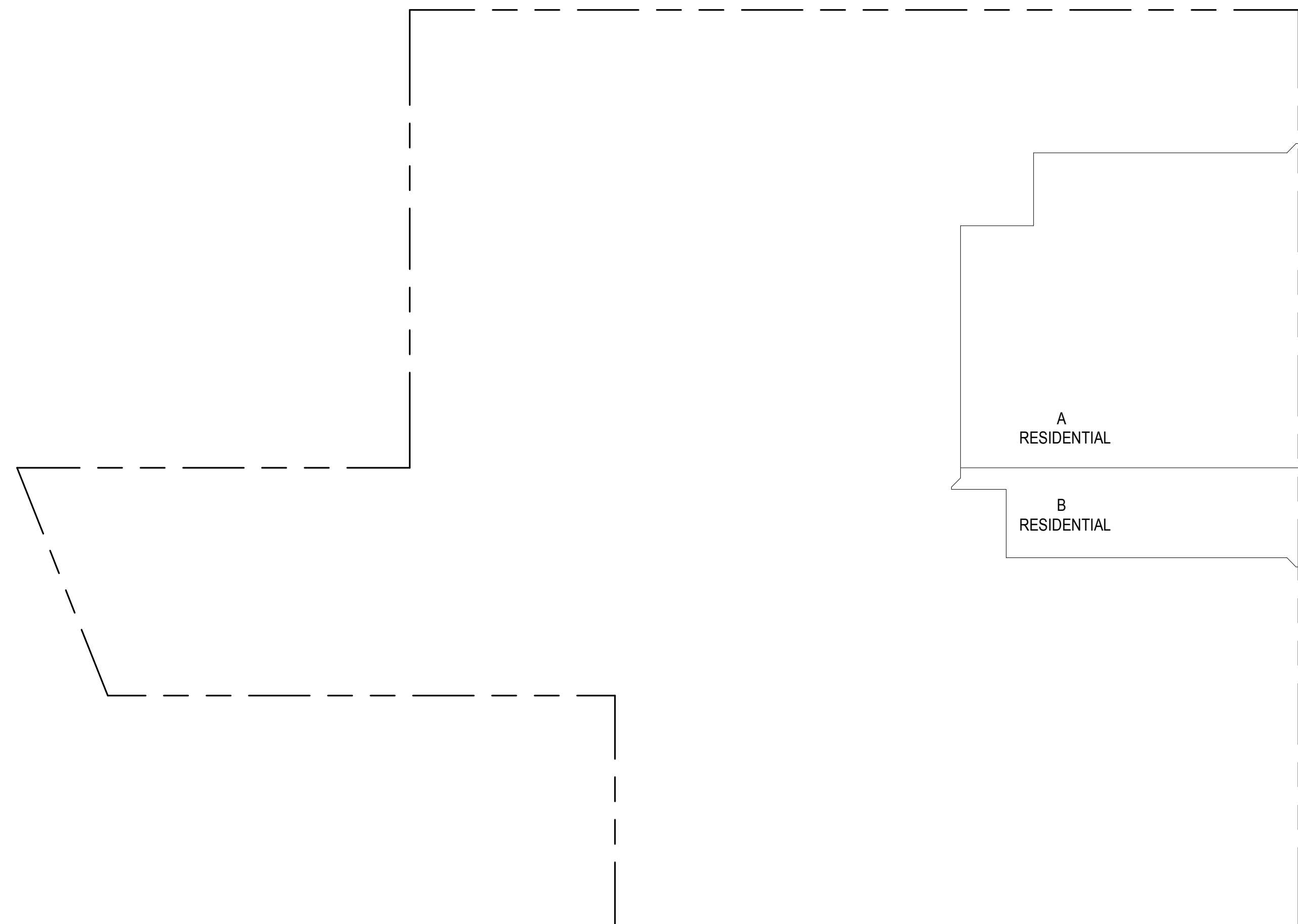
94TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	4,865	4,865	0	
TOTAL		4,865	4,865	0	

94TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	94.1	53'-4"	91'-2"	4,864.3
SUBTOTAL					4,864.3

94TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	1,319	1,319	0	
TOTAL		1,319	1,319	0	

94TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	94.2	16'-5"	80'-2"	1,319.2
SUBTOTAL					1,319.2

94TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE		*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,184	6,184	0	
TOTAL		6,184	6,184	0	



94TH FLOOR DAMPER GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

1

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

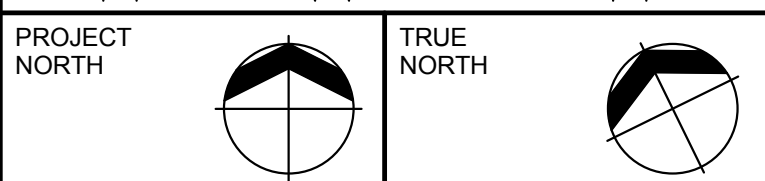
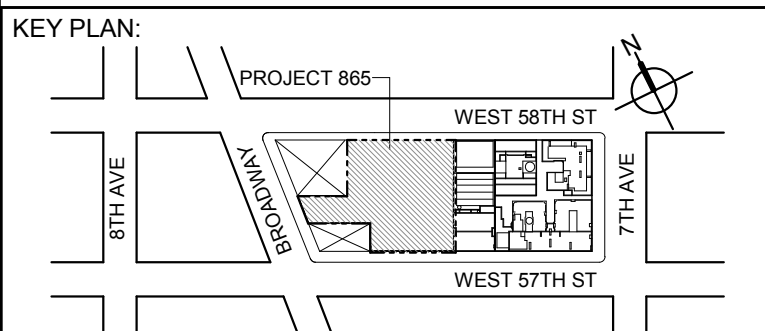
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPER:

EXTELL DEVELOPMENT COMPANY805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core

AAI ARCHITECTS, P.C.4011 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
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WSP CANTOR SENUK228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services21 Fern Plaza - 380 West 31st Street, 8th Floor
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CURTAINWALL CONSULTANT:

A.J.P. Consulting40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasbarth & Partners LLC11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.35 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

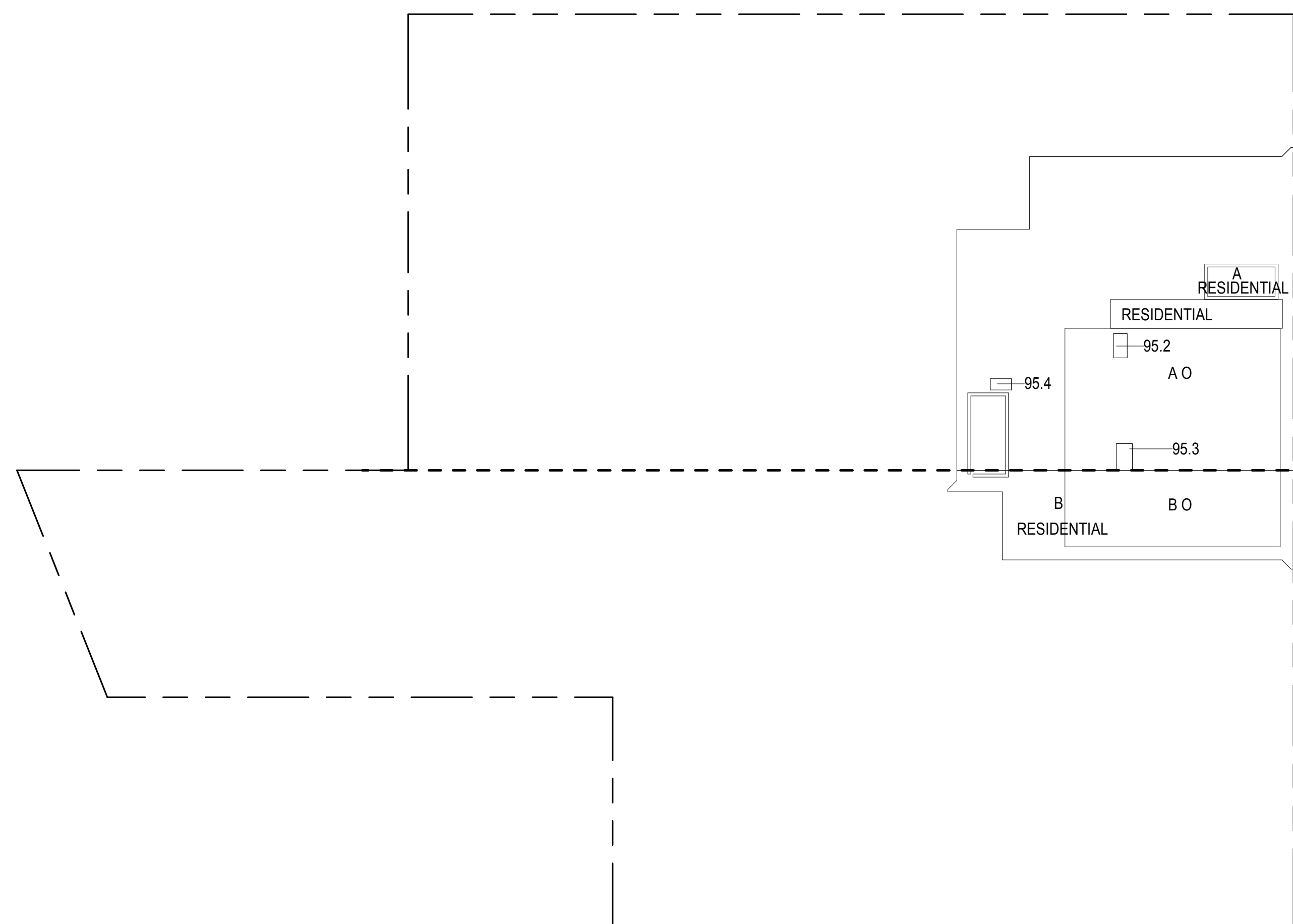
95TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	4,865	4,865	0	
TOTAL		4,865	4,865	0	

95TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	95.1	6'-4"	37'-10"	239.9
RESIDENTIAL	M	95.2	3'-0"	5'-4"	16.0
RESIDENTIAL	M	95.3	3'-6"	5'-10"	20.5
RESIDENTIAL	M	95.4	2'-6"	4'-8"	11.6
RESIDENTIAL	ST	95.5	1'-4"	22'-8"	30.2
RESIDENTIAL	ST	95.6	0'-8"	41'-9"	27.8
RESIDENTIAL	M	95.7	6'-6"	14'-10"	96.4
RESIDENTIAL	M	95.8	14'-10"	192'-9"	2,852.4
RESIDENTIAL	M	95.9	7'-8"	16'-5"	124.9
RESIDENTIAL	O	95.10	23'-10"	60'-9"	1,445.2
SUBTOTAL					4,864.9

95TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	1,319	1,319	0	
TOTAL		1,319	1,319	0	

95TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	95.11	0'-8"	0'-10"	0.6
RESIDENTIAL	M	95.12	4'-4"	118'-9"	512.7
RESIDENTIAL	ST	95.13	0'-8"	8'-8"	5.8
RESIDENTIAL	O	95.14	16'-10"	47'-5"	800.2
SUBTOTAL					1,319.2

95TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE		*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,184	6,184	0	
TOTAL		6,184	6,184	0	



95TH FLOOR GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

2

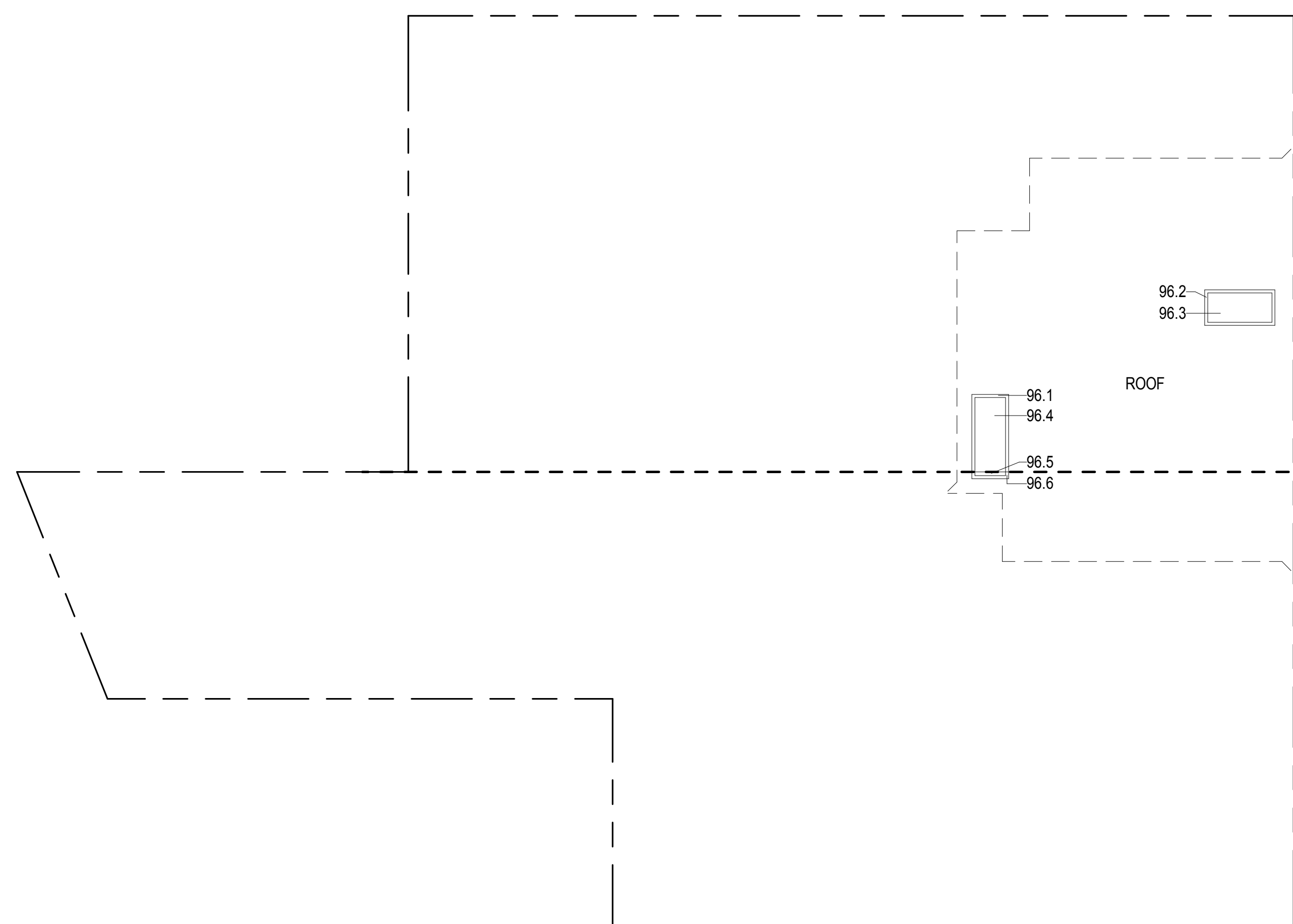
96TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	259	259	0	
TOTAL		259	259	0	

96TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	96.1	0'-8"	40'-10"	27.2
RESIDENTIAL	ST	96.2	1'-4"	22'-0"	29.3
RESIDENTIAL	M	96.3	6'-6"	14'-2"	91.8
RESIDENTIAL	M	96.4	6'-9"	16'-5"	110.5
SUBTOTAL					258.8

96TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	12	12	0	
TOTAL		12	12	0	

96TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	96.5	0'-10"	6'-9"	5.6
RESIDENTIAL	ST	96.6	0'-8"	9'-9"	6.5
SUBTOTAL					12.1

96TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE		*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		271	271	0	
TOTAL		271	271	0	



96TH FLOOR ROOF GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/64" = 1'-0"

3

0 10'-8" 21'-4" 42'-8"

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS
93RD, 94TH, 95TH (ROOF) FLOOR

SEAL & SIGNATURE: DATE: 05 DEC 14

PROJECT No: 1216-00

DRAWN: Author REV: 2

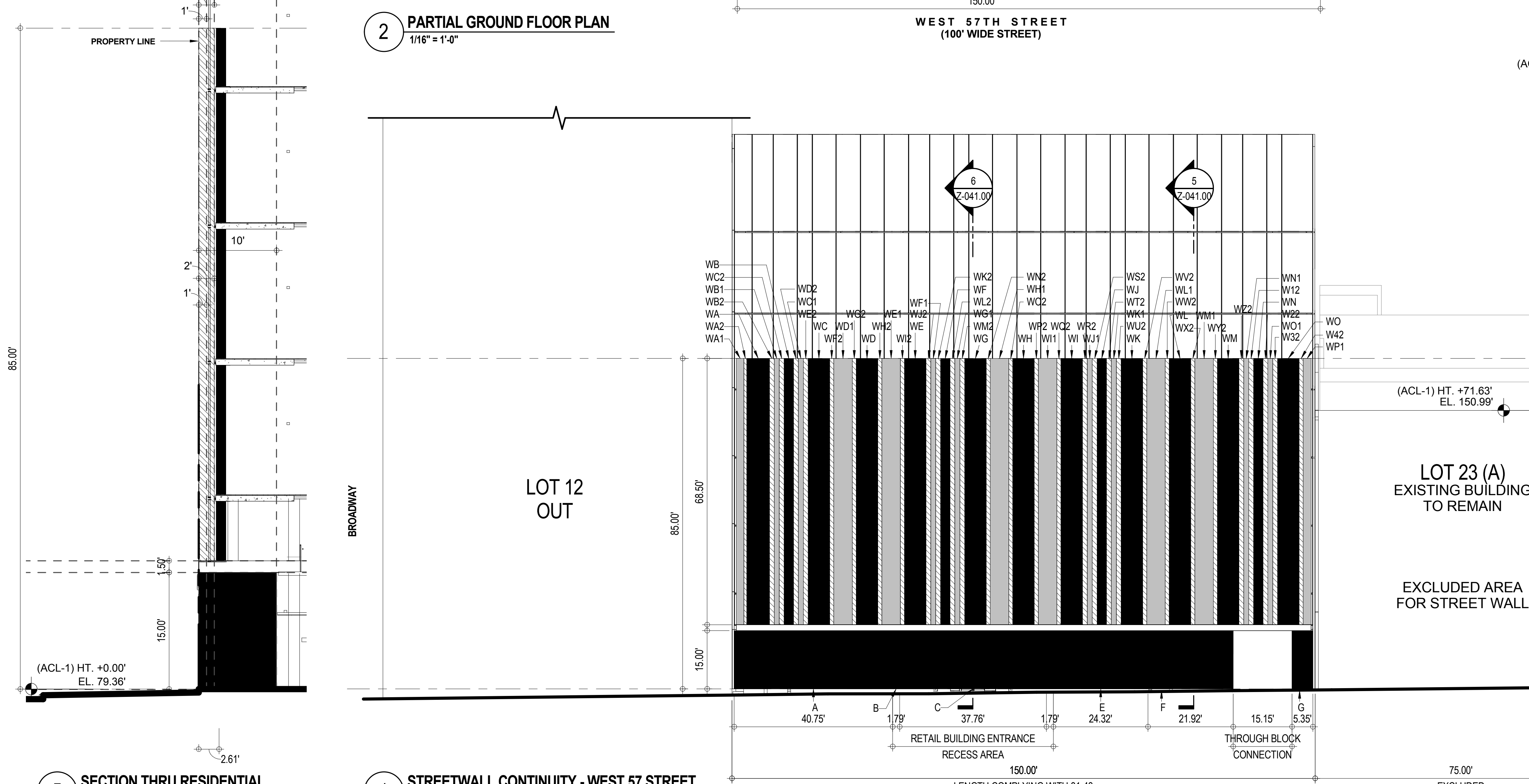
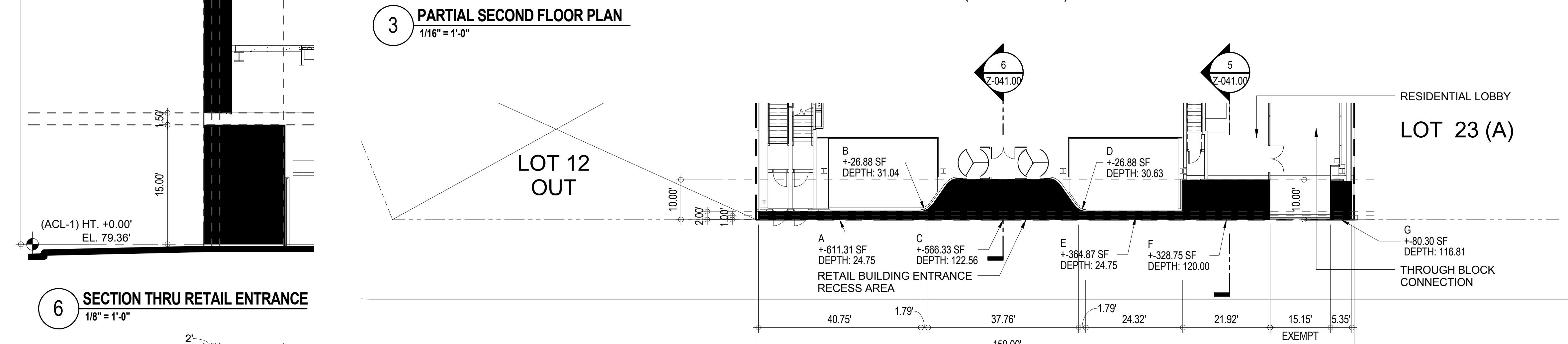
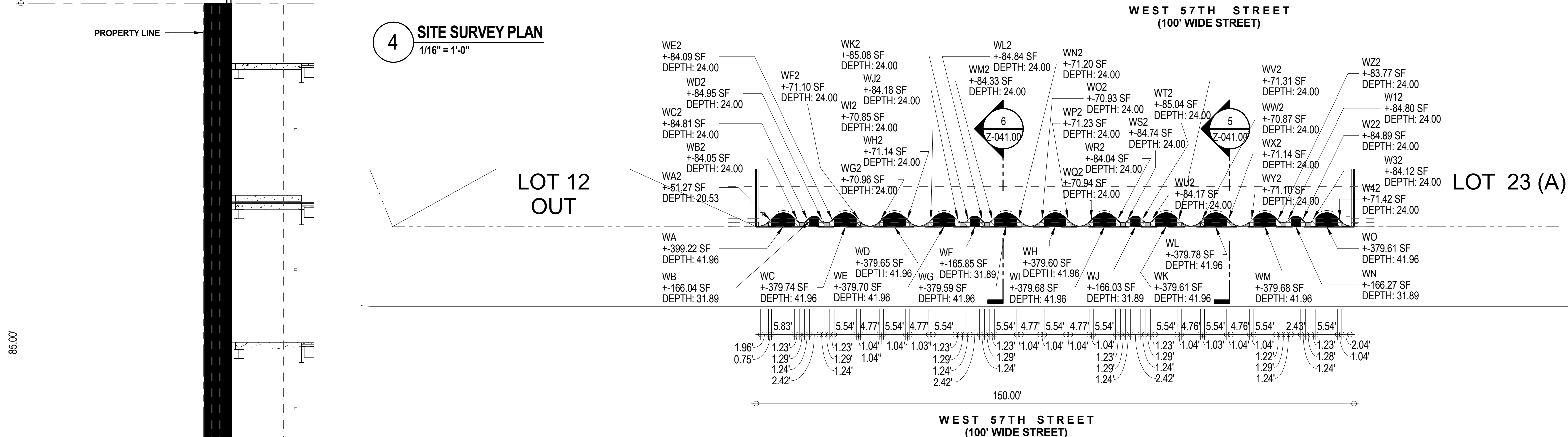
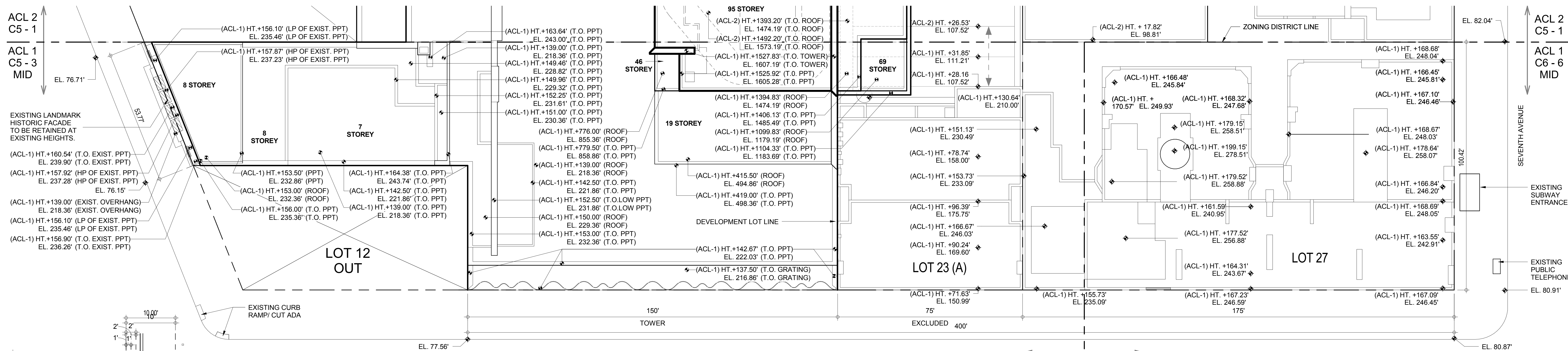
SCALE: 3/64" = 1'-0"

DWG No: Z-040.00

DOB PAGE No: 41 of 500

DOB EMPLOYEE STAMP: DOB B-SCAN:

3/4" = 1'-0" ARCH. SHEET SIZE
FILE NAME: 217 WEST 57TH STREET
DATE: 05 DEC 14



81-43

STREET WALL CONTINUITY - C5-3 (MID) AND C6-6 (MID) - WEST 57TH STREET

1) Length subject to Setback Restrictions to 85' - 80% Length Provided

80% X 400' = 320'
150' + 175' = 325' (see 1 / Z-041.00)

COMPLIES

2) Minimum Continuous Length of Street Wall - 75% Continuous Length Provided

75% X 325' = 245'
325' (see 1 / Z-041.00)

COMPLIES

3) Permitted Recesses Area

i) Maximum area permitted up to 10' Deep - 30% Area Provided

30% X 325' X 85' = 8,288 SF
A+B+C+D+E+F+WA+...WO (see TABLE)
6,865 SF

COMPLIES

ii) Maximum area permitted up to 2' Deep - 20% Area Provided

20% X 325' X 85' = 5,525 SF
L2+W12+W22+W32+...W22 (see TABLE)
± 5,288 SF

COMPLIES

iii) Maximum area permitted up to 1' Deep Area Provided

Unlimited
L1+WA1+WB1+WC1+...WP1 (see TABLE)
± 3,290 SF

COMPLIES

NOTE: Through block connection and building entrance recess are exempt

TABLE OF RECESSED AREAS

i) RECESSED AREA UP TO 10' DEEP

TYPE	AREA	TYPE	AREA
A	611 SF	WG	380 SF
B	27 SF	WH	380 SF
C	566 SF	WI	380 SF
D	27 SF	WJ	166 SF
E	365 SF	WK	380 SF
F	329 SF	WL	380 SF
G	80 SF	WM	380 SF
WA	399 SF	WN	166 SF
WB	166 SF	WO	380 SF
WC	380 SF	WP	380 SF
WD	380 SF		
WE	380 SF		
WF	166 SF		
TOTAL		6,865 SF	

ii) RECESSED AREA UP TO 2' DEEP

TYPE	AREA	TYPE	AREA
L2	± 2,961 SF	WV2	71 SF
W12	85 SF	WJ2	84 SF
W22	85 SF	WK2	85 SF
W32	84 SF	WL2	85 SF
W42	71 SF	WM2	84 SF
W52	51 SF	WN2	71 SF
W62	84 SF	WO2	71 SF
W72	85 SF	WP2	71 SF
W82	85 SF	WQ2	71 SF
W92	84 SF	WR2	84 SF
W02	71 SF	WS2	85 SF
W12	71 SF	WT2	85 SF
W22	71 SF	WU2	84 SF
W32	71 SF		
W42	71 SF		
W52	71 SF		
W62	71 SF		
W72	71 SF		
W82	71 SF		
W92	71 SF		
W02	71 SF		
TOTAL		± 5,288 SF	

iii) RECESSED AREA UP TO 1' DEEP

TYPE	AREA	TYPE	AREA
L1	± 351 SF	WM1	326 SF
WA1	134 SF	WN1	89 SF
WB1	88 SF	WO1	88 SF
WC1	88 SF	WP1	140 SF
WD1	326 SF		
WE1	327 SF		
WF1	88 SF		
WG1	88 SF		
WH1	327 SF		
WI1	327 SF		
WJ1	88 SF		
WK1	88 SF		
WL1	326 SF		
TOTAL		± 3,290 SF	



KEY PLAN

PROJECT 005

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SENUK**
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Higgins Quasebath & Partners LLC**
111 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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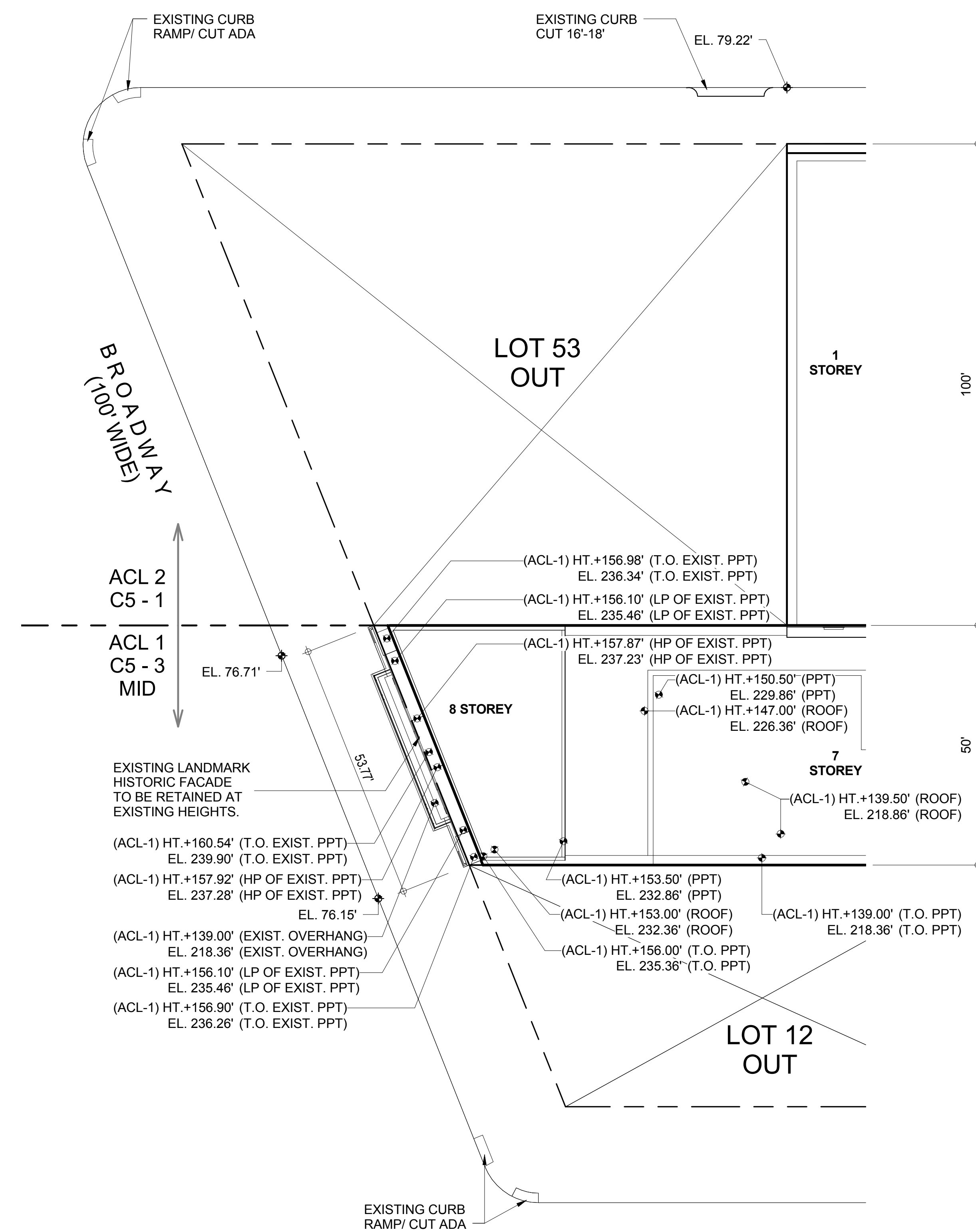
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

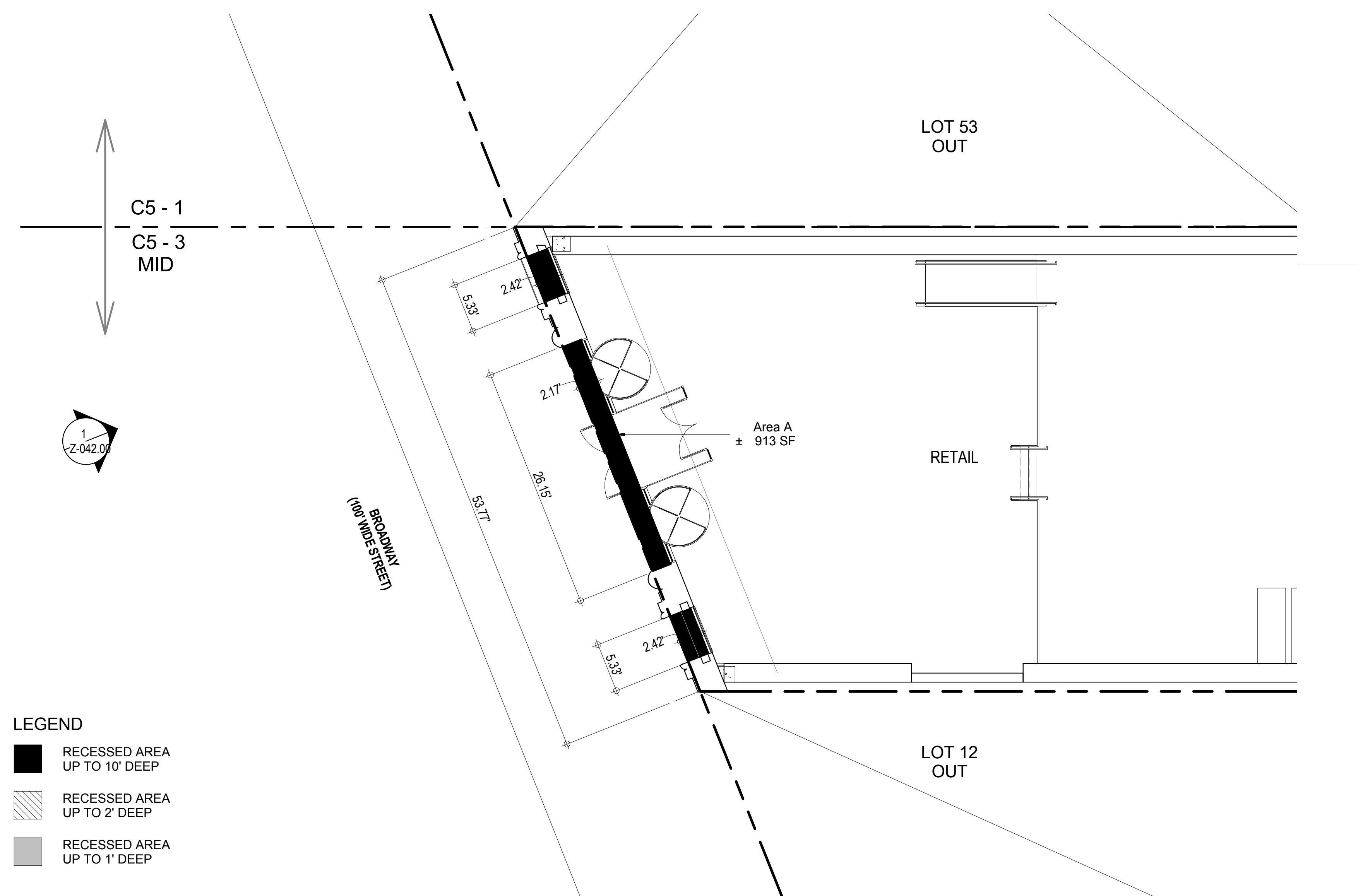
PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **STREET WALL CONTINUITY C5-3 AND C6-6 WEST 57TH STREET**

SEAL & SIGNATURE: **DAVID L. HIRSH**
DATE: 05 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: As indicated
REV: **2**
DWG No: **Z-041.00**
DOB PAGE No: 42 of 600
DOB EMPLOYEE STAMP: **DAVID L. HIRSH**
DOB B-SCAN:

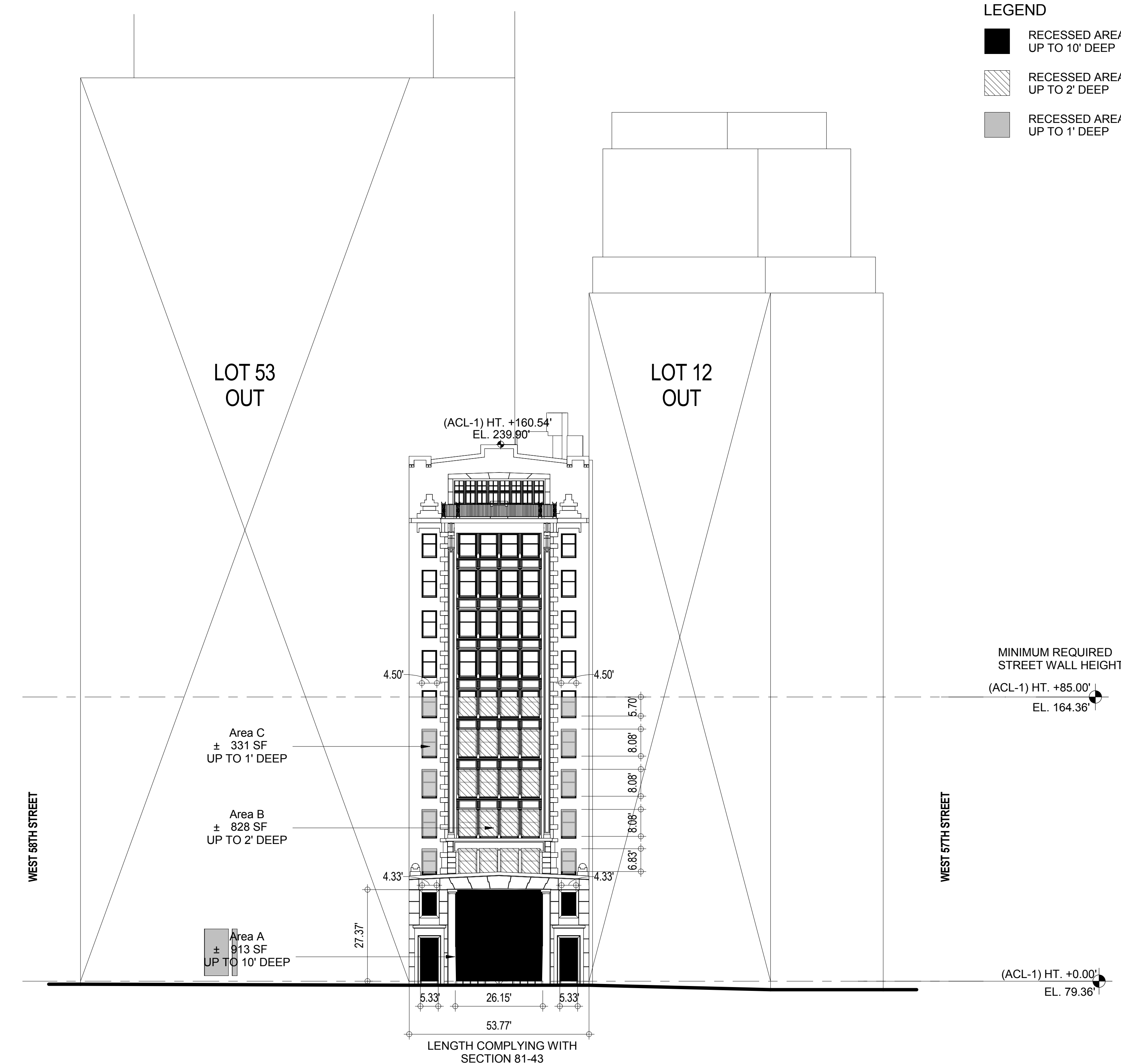


3 SITE SURVEY PLAN
1/16" = 1'-0"



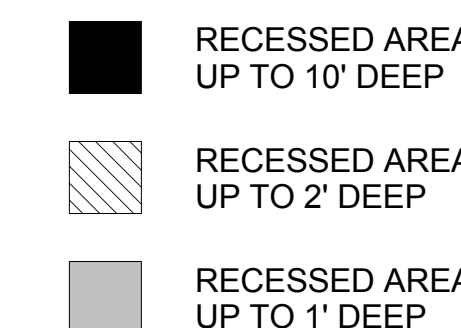
2 PARTIAL GROUND FLOOR PLAN
1/8" = 1'-0"

81-43	STREET WALL CONTINUITY - C5-3-BROADWAY		
1)	Length subject to Setback Restrictions to 85' Length Provided	80% X 53.77' = 43' 53.77' (see 1 / Z-042.00)	COMPLIES
2)	Minimum Continuous Length of Street Wall Continuous Length Provided	75% X 43' = 32.35' 53.77' (see 1 / Z-042.00)	COMPLIES
3)	Permitted Recesses Area		
	i) Maximum area permitted up to 10' deep Area Provided	30% X 53.77' X 85' = 1,371 SF Area A = ± 913 SF (see 1 / Z-042.00)	COMPLIES
	ii) Maximum area permitted up to 2' deep Area Provided	20% X 53.77' X 85' = 914 SF Area B = ± 828 SF (see 1 / Z-042.00)	COMPLIES
	iii) Maximum area permitted up to 1' deep Area Provided	Unlimited Area C = ± 331 SF (see 1 / Z-042.00)	COMPLIES



1 STREETWALL CONTINUITY WEST ELEVATION - BROADWAY
1" = 20'-0"

LEGEND



DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL

CONSULTANT



PROJECT

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

STREET WALL CONTIN
BROADWAY

SEAL & SIGNATURE

DATE: 05 DEC 14

PROJECT No:	1216-00
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DRAWN: Author	REV:
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CHK:	Checker	2
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SCALE: As indicated

DWG No: _____

Z-042.00

DOB PAGE No: 43 of 500

DOB B-SCAN:	
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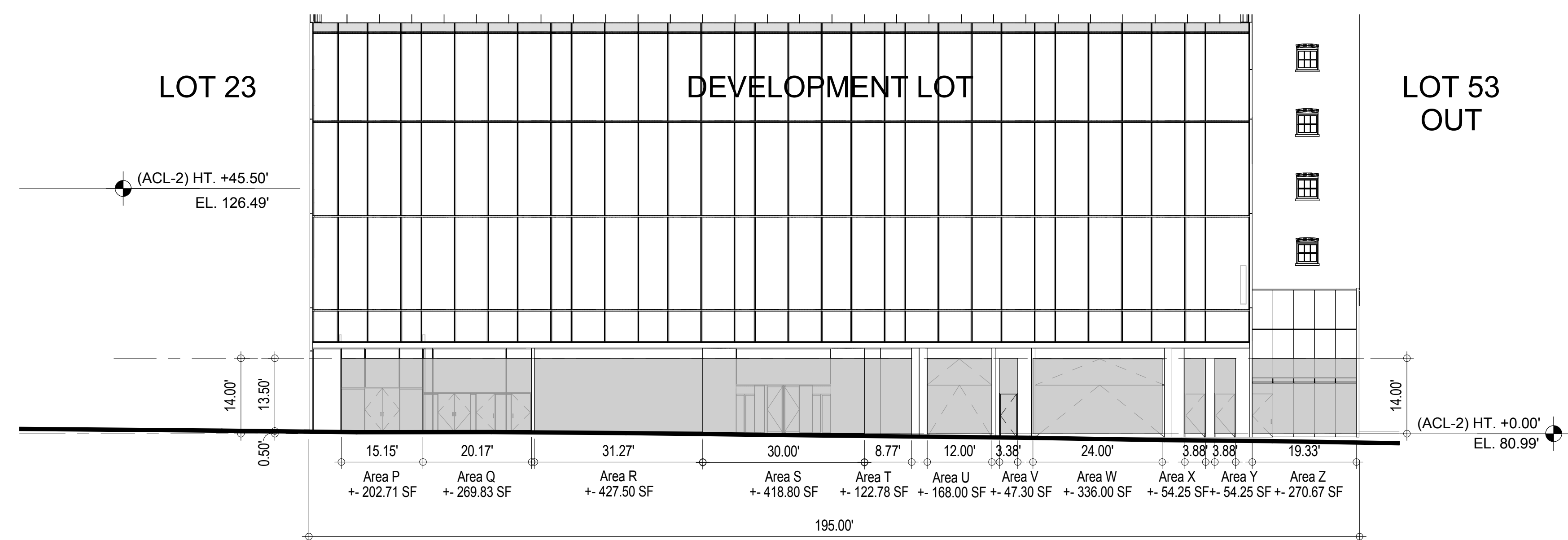
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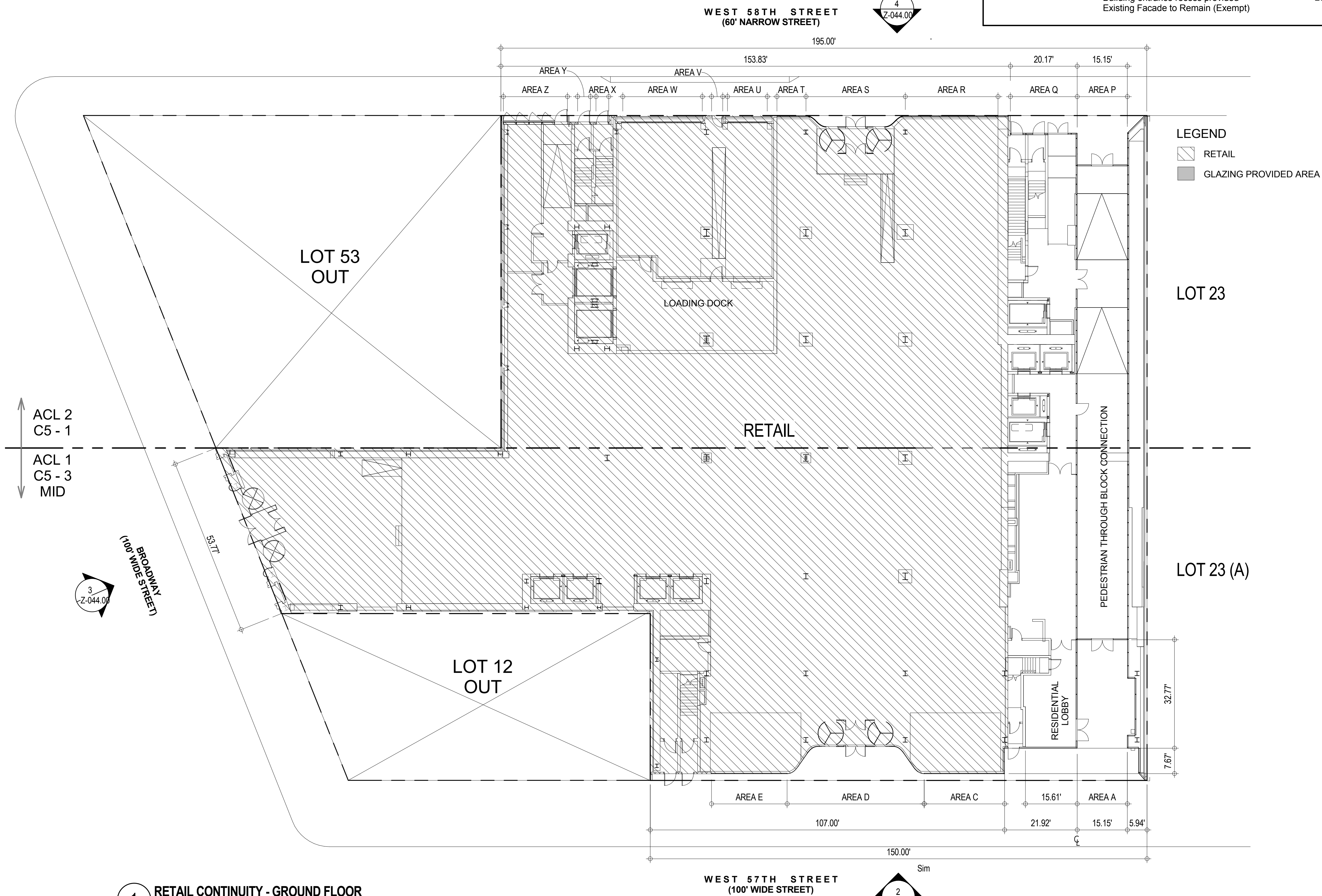
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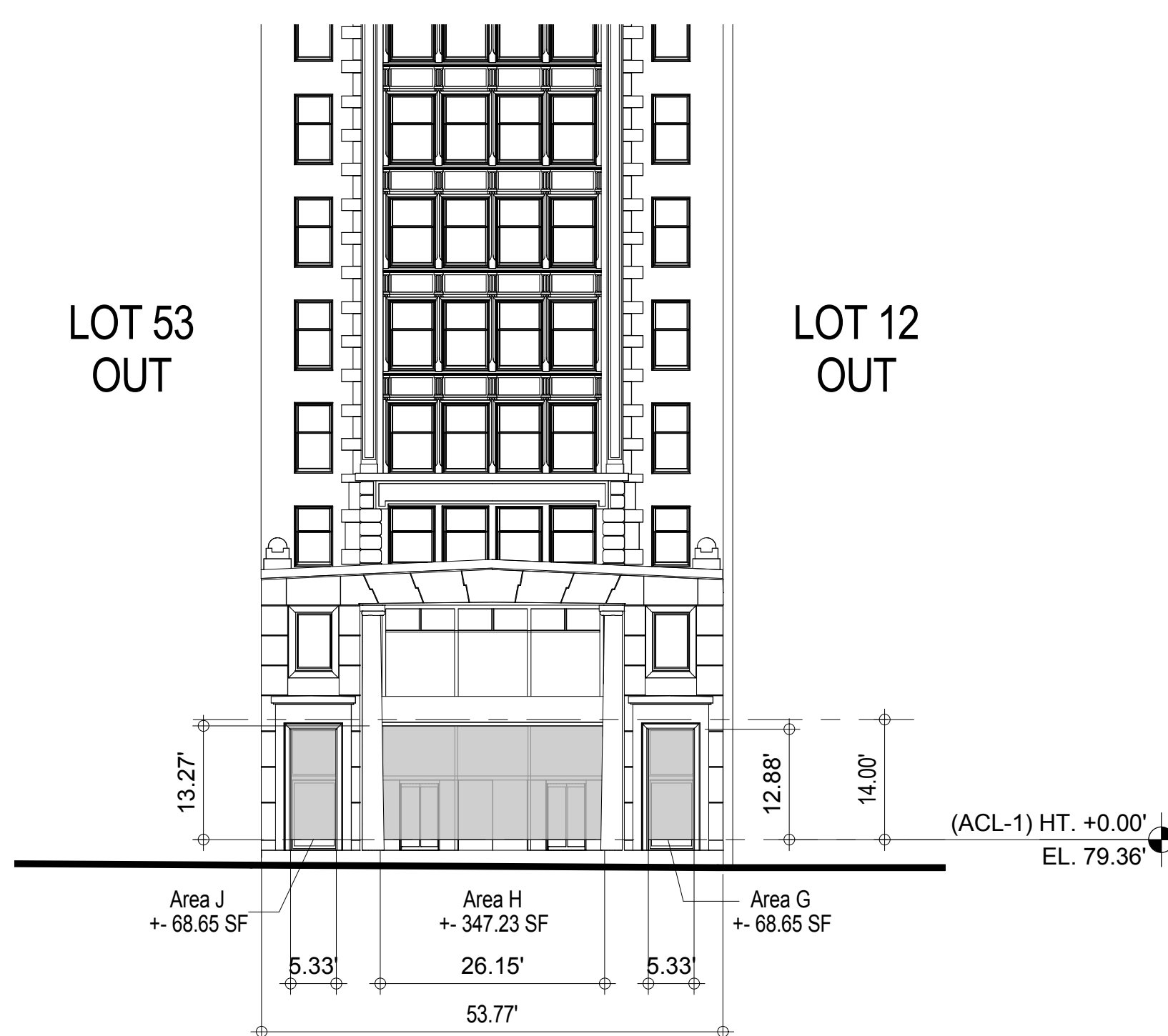


4 RETAIL CONTINUITY GLAZING C5-1 NORTH ELEVATION - WEST 58TH STREET
1/16" = 1'-0"

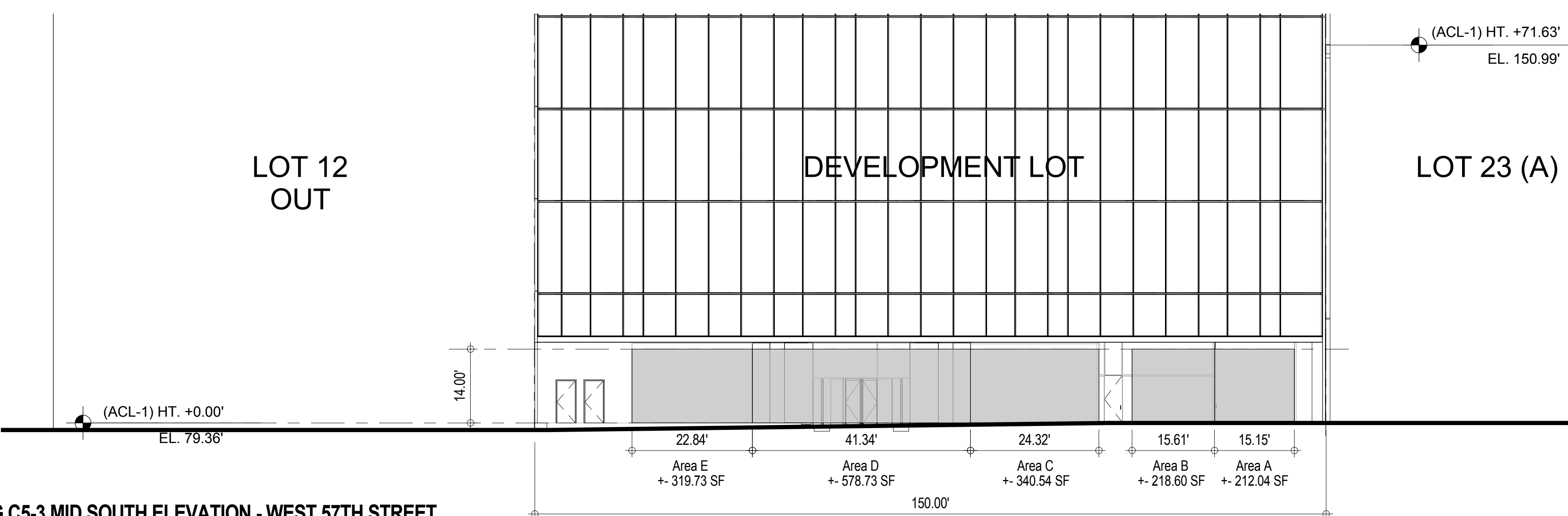
37-37	STREET WALL ARTICULATION FOR C5-1 WEST 58TH STREET ELEVATION Minimum 50% of wall surface shall be transparent between maximum 4ft above curb level to underside of ceiling (14.00') Glazing Starts 1' from Sidewalk Area of Wall Minimum Required 50% Transparency Transparency Provided (see 4 / Z-044.00)	195' X (14.00' - 0.50') = 2,632.5 SF 2,632.5 SF X 50% = 1,316.25 SF Areas P+Q+R+S+T+U+V+W+X+Y+Z 2,372 SF (see 4 / Z-044.00)	COMPLIES
81-42	GLAZING REQUIREMENTS FOR C5-3 MID BROADWAY ELEVATION 1) Along Broadway 50% of Ground Floor to be glazed (surface to be measured up to 14') Glazing Requirement Glazing Provided (see 3 / Z-044.00)	(53.77' X 14') X 50% 752.78 SF X 50% = 376.39 SF Area G + Area H + Area J 485 SF (see 3 / Z-044.00)	COMPLIES
81-42	GLAZING REQUIREMENTS FOR C5-3 MID WEST 57TH STREET ELEVATION 1) Along West 57th Street 50% of Ground Floor to be glazed (surface to be measured up to 14') Glazing Requirement Glazing Provided (see 2 / Z-044.00)	(150' X 14') X 50% 2,100 SF X 50% = 1,050 SF Areas A+B+C+D+E 1,670 SF (see 2 / Z-044.00)	COMPLIES
37-35	RETAIL CONTINUITY - C5-1 50% of front building wall of development fronting onto a wide street to contain commercial use. Development not on wide street in C5-1.	(Not applicable)	COMPLIES
81-42	RETAIL CONTINUITY - C5-3 / C6-6 MID 1) Retail Use Requirements on Designated Streets Retail Provided Exemption: Through Block Connection 2) Maximum Length of Building Entrance Recess Area i) West 57th street building entrance recess Residential entrance provided ii) Broadway building entrance recess Building entrance recess provided Existing Facade to Remain (Exempt)	West 57th Street Full Retail Use on Ground Floor 25% of building street frontage (less through block) (150' - 15.46') X 25% = 33.64' 21.92' 26.15'	COMPLIES COMPLIES COMPLIES



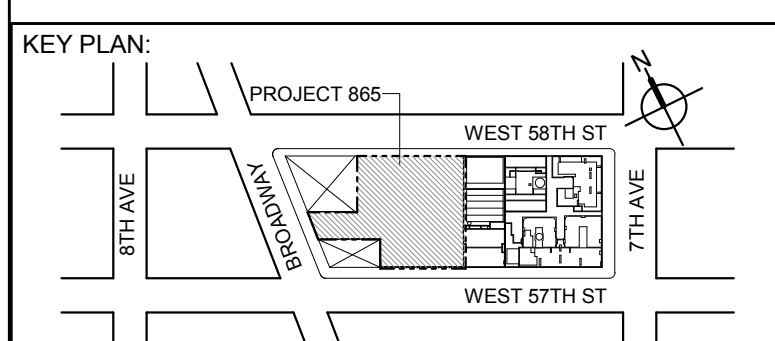
1 RETAIL CONTINUITY - GROUND FLOOR
1/16" = 1'-0"



3 RETAIL CONTINUITY GLAZING C5-3 MID WEST ELEVATION - BROADWAY
1/16" = 1'-0"



2 RETAIL CONTINUITY GLAZING C5-3 MID SOUTH ELEVATION - WEST 57TH STREET
1/16" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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1501 Broadway
New York, NY 10036 USA
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21 Fern Plaza - 380 West 31st Street, 8th Floor
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CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 18th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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CONSULTANT:

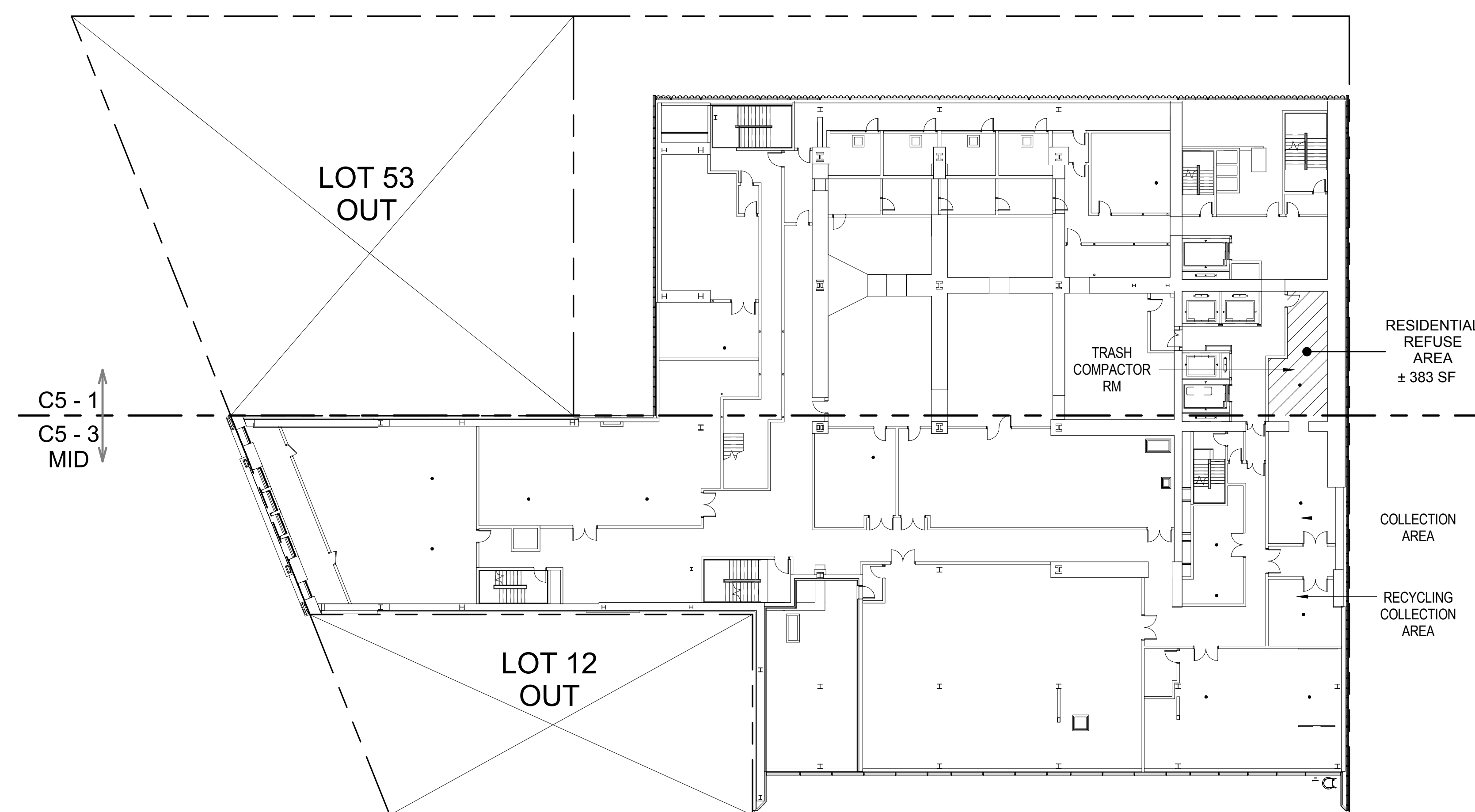


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

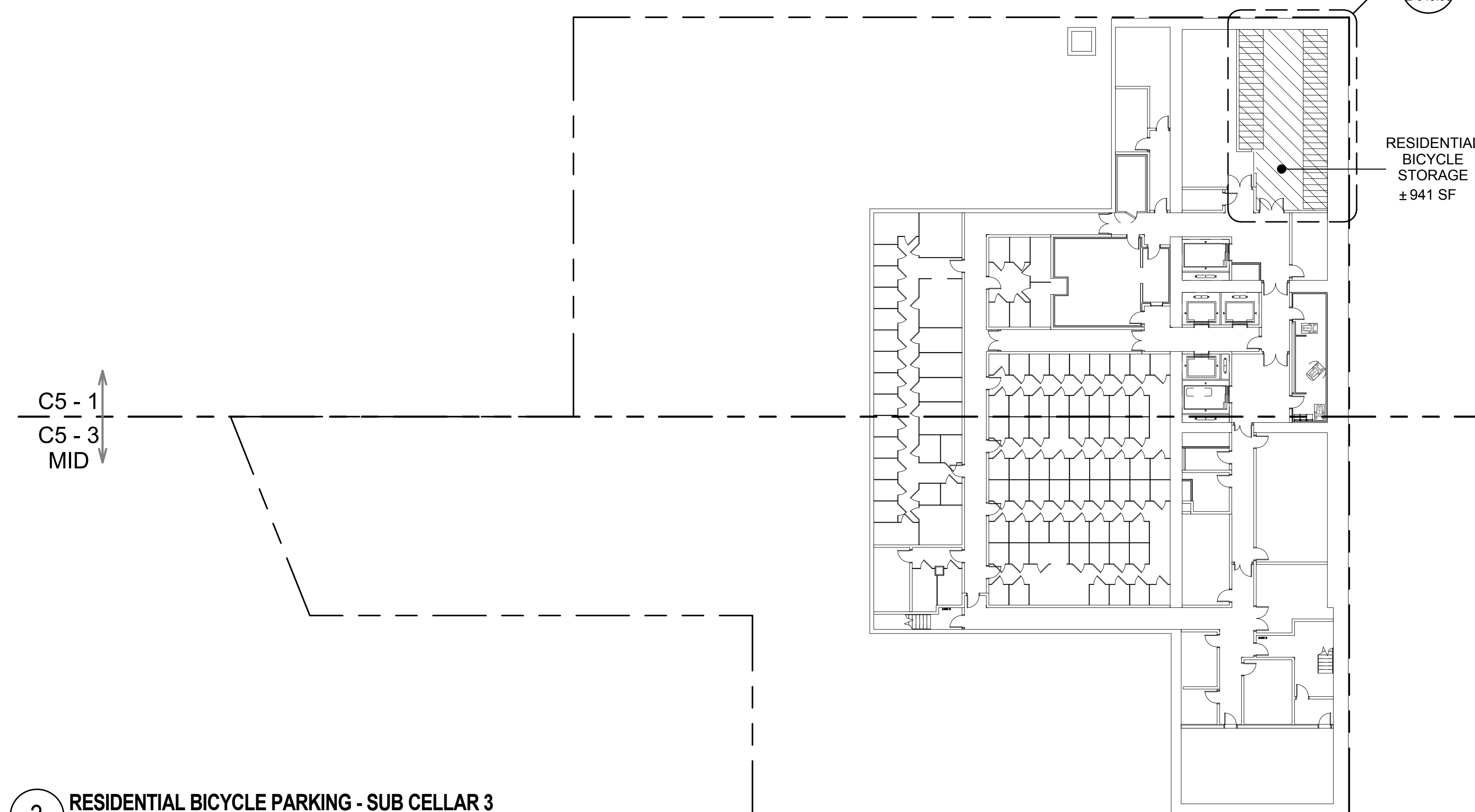
DRAWING TITLE:

RETAIL CONTINUITY

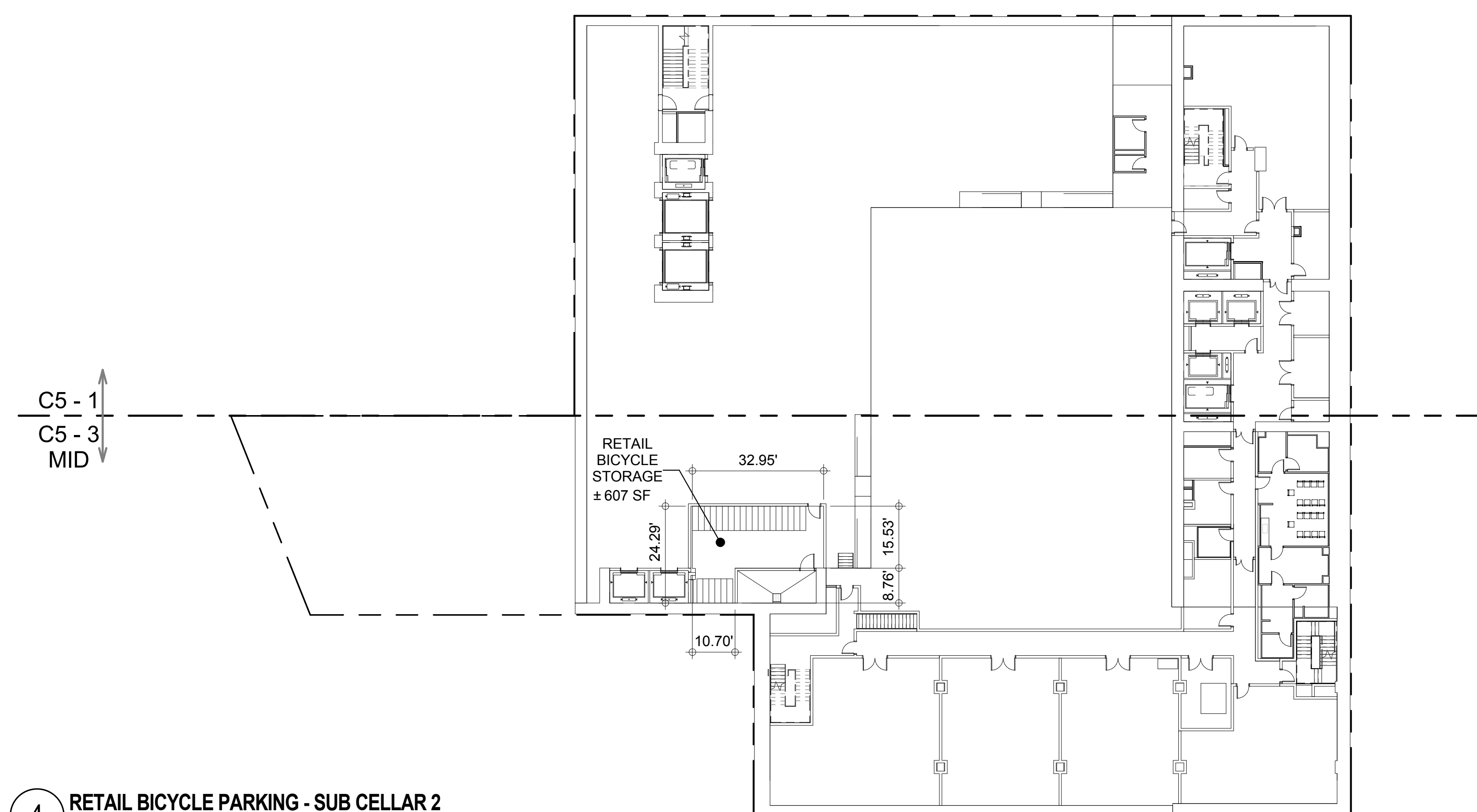
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DWG No:	Z-044.00	
DOB PAGE No:	46 of 500	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	



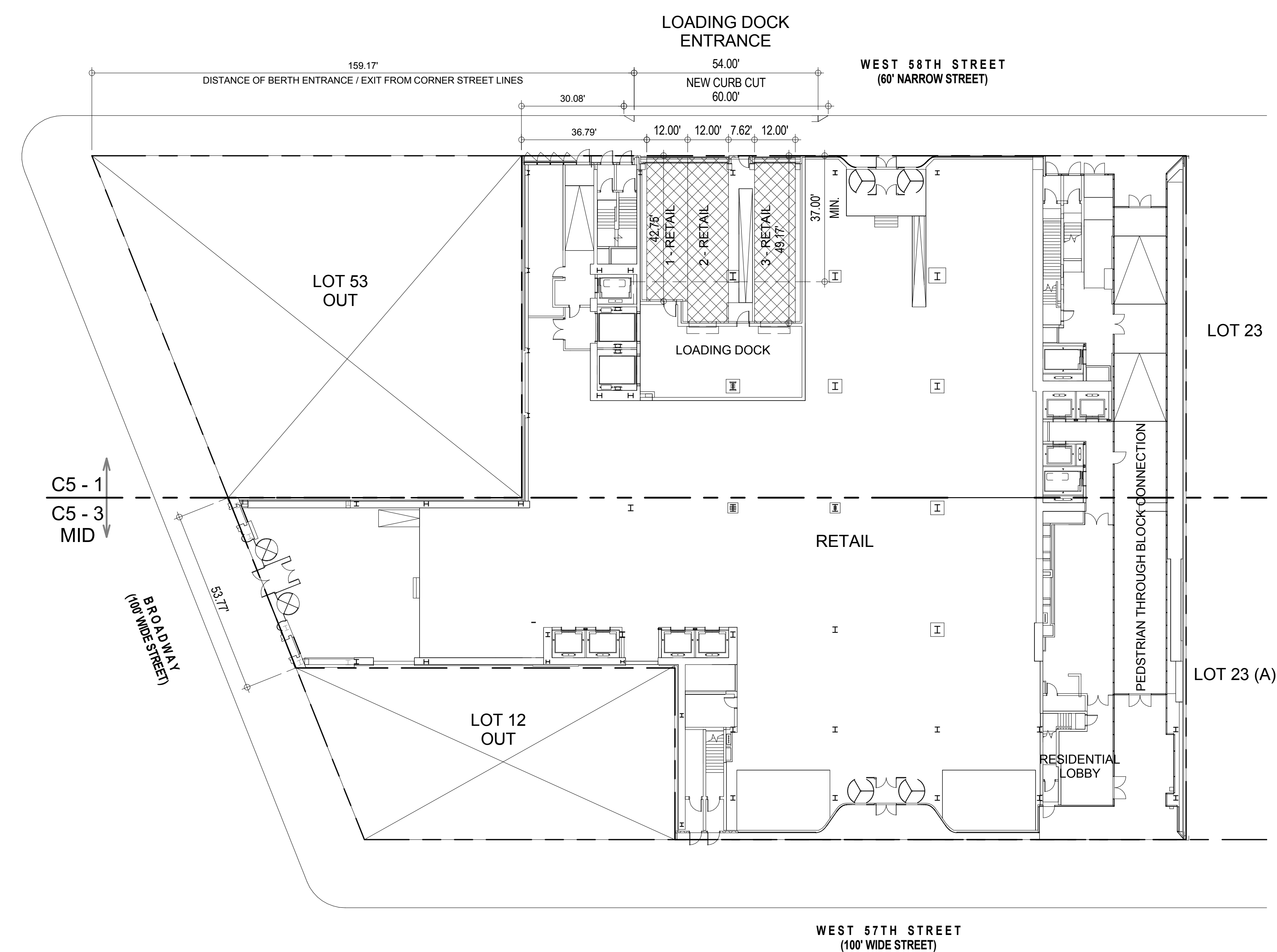
2 CENTRAL REFUSE STORAGE AREA - 7TH FLOOR
3/64" = 1'-0"



3 RESIDENTIAL BICYCLE PARKING - SUB CELLAR 3
3/64" = 1'-0"



4 RETAIL BICYCLE PARKING - SUB CELLAR 2
3/64" = 1'-0"

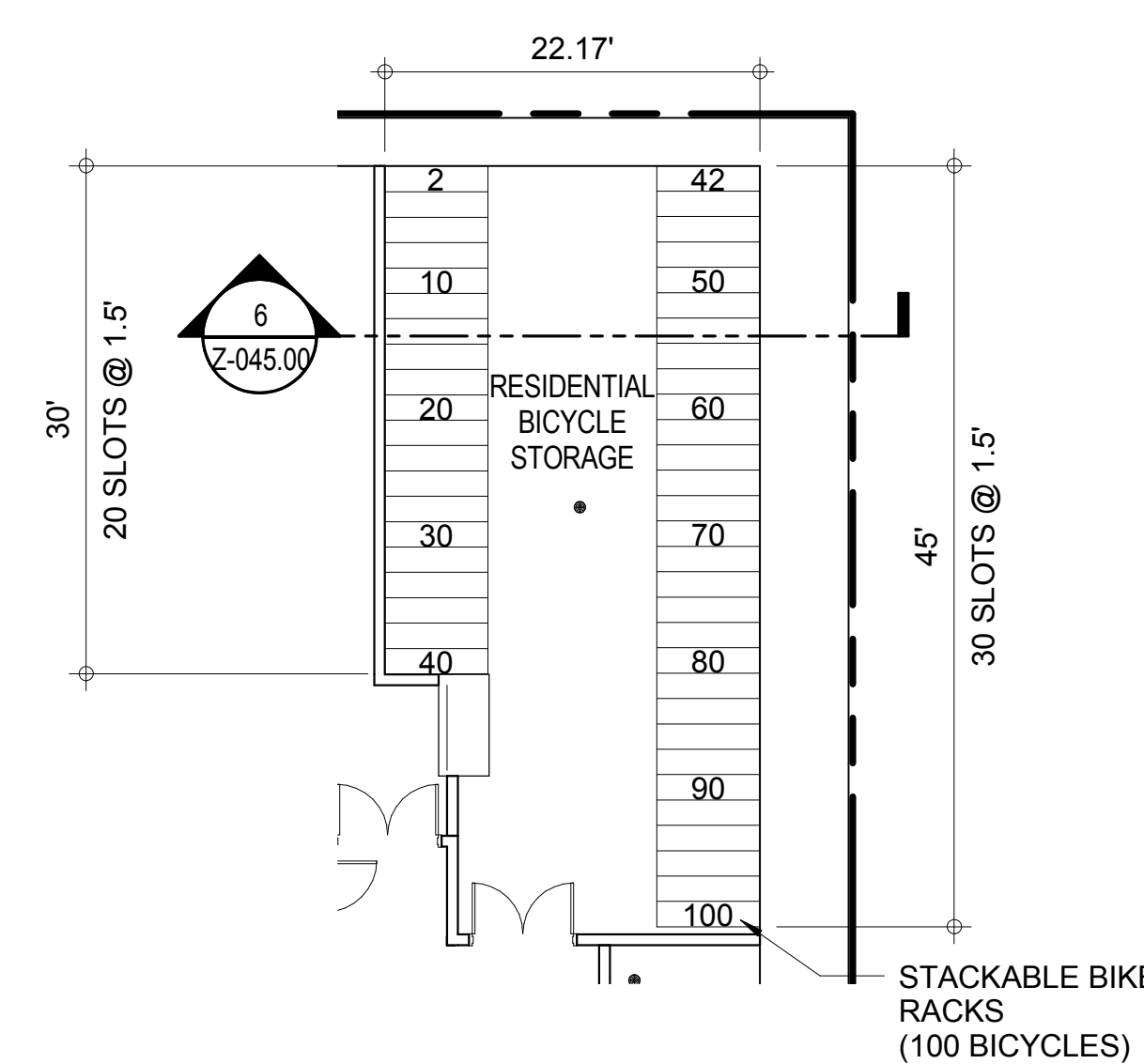


1 CURB CUT AND REQUIRED LOADING BERTHS - GROUND FLOOR
3/64" = 1'-0"

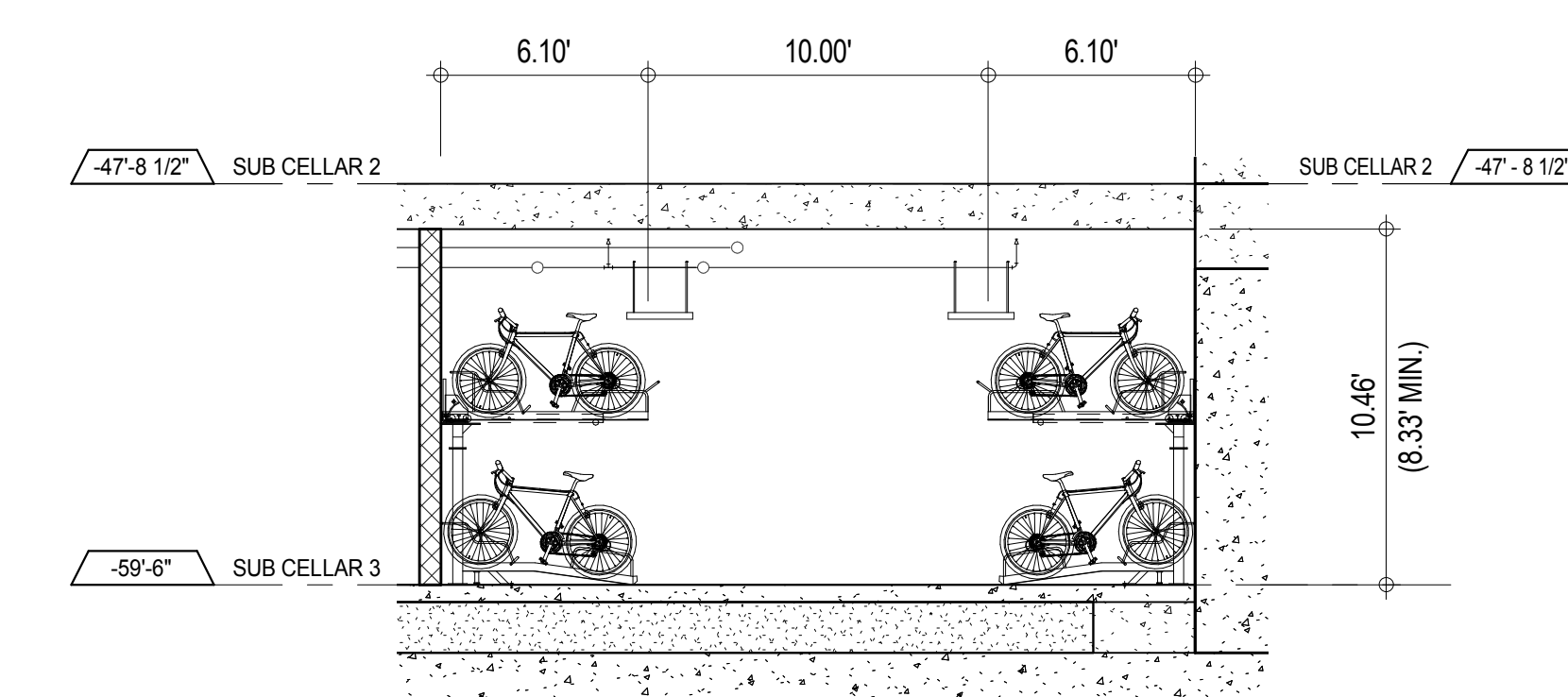
26-00 37-00	SPECIAL URBAN DESIGN REGULATIONS			
26-15 81-44	CURB CUTS No curb cut on wide streets, one curb cut per zoning lot on Narrow Street. One Curb Cut provided for Narrow Street (West 58th) for Required Loading			(see 1 / Z-045.00) COMPLIES
26-16	CENTRAL REFUSE STORAGE AREA Compressed Garbage Area Requirements Refuse Area Required Refuse Area Provided			50 SF x (Lot Area / 10,000 SF) 50 SF x (44,686 SF / 10,000 SF) = 223 SF 383 SF (see 2 / Z-045.00) COMPLIES
	SIZE AND LOCATION OF REQUIRED BERTHS			
36-681	Size of Berths for Commercial Uses Retail	Length X Width 37' X 12'	Vertical Clearance 14'	
	Berths Provided	(see 1 / Z-045.00)		COMPLIES
36-682	Location of Berth entrance and exit shall be more than 50 FT from the intersection of any two street lines Distance of Berth to intersection provided			159.17' (see 1 / Z-045.00) COMPLIES
36-70 36-73	ENCLOSED BICYCLE PARKING Required Bicycle Parking Required Bicycle Parking With Stackable Bike Racks			15 SF / Bicycle 9 SF / Bicycle
	i) Residential : 1 Bicycle per 2 Dwelling Units	183 D.U. / 2 = 92 BICYCLES (92 X 9 SF) = 828 SF 941 SF (see 3 / Z-045.00)		COMPLIES
	ii) Retail : 1 Bicycle / 10,000 SF	244,134 SF / 10,000 = 25 BICYCLES (25 X 15 SF) = 375 SF 607 SF (see 4 / Z-045.00)		COMPLIES
	Total Bicycle Parking Space Required	(92 X 9 SF) + (25 X 15 SF) = 1203 SF		
	Total Bicycle Parking Space Provided	941 SF + 607 SF = 1548 SF		COMPLIES

LEGEND

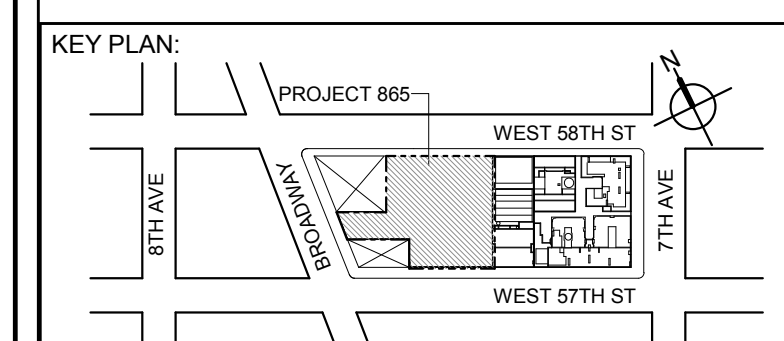
-  BICYCLE STORAGE
 REFUSE AREA
 LOADING BERTHS





5 PLAN DETAIL - RESIDENTIAL BICYCLE PARKING
3/32" = 1'-0"



6 SECTION - RESIDENTIAL BICYCLE PARKING
3/16" = 1'-0"



PROJECT NORTH		TRUE NORTH	
---------------	---	------------	---

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
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MEP ENGINEERS:

AKF GROUP
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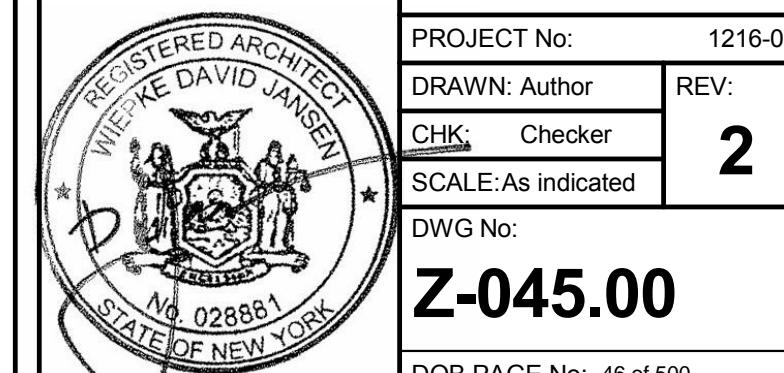


PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

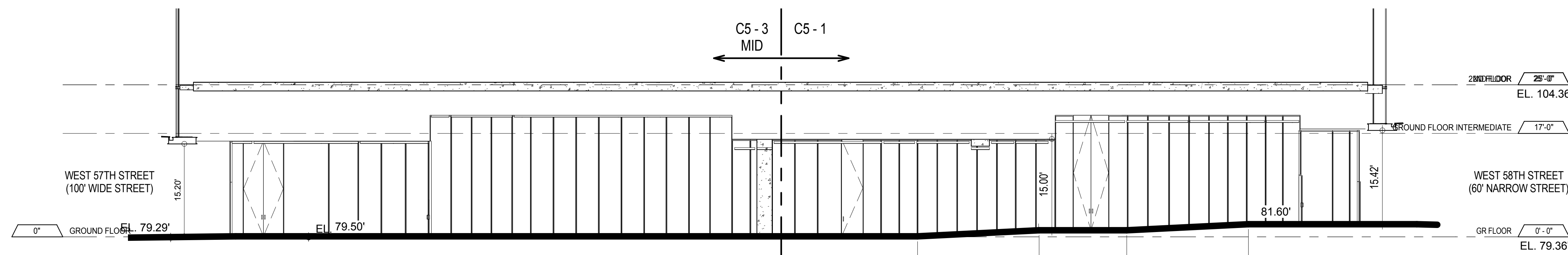
SPECIAL URBAN DESIGN
REGULATIONS C5-1

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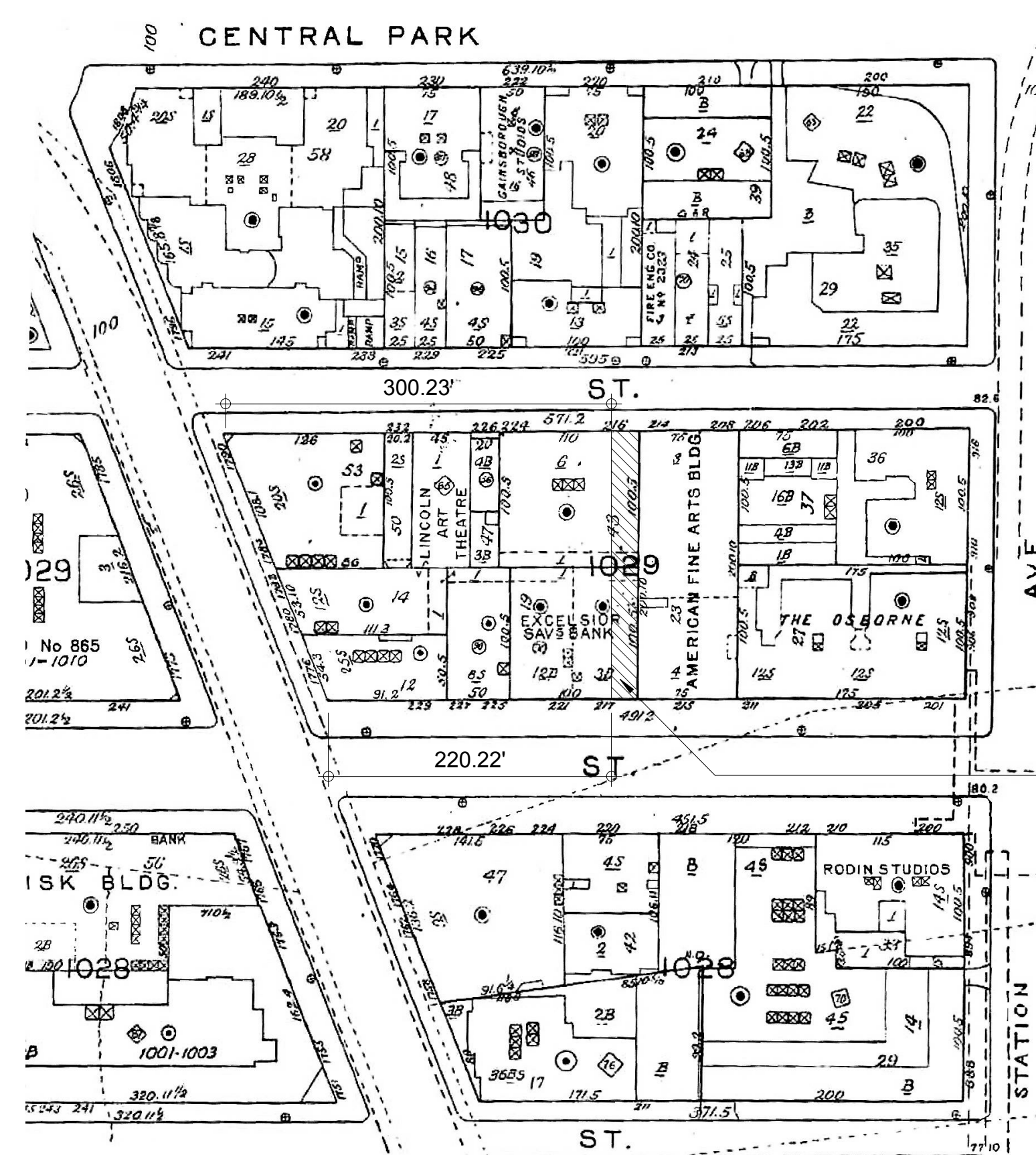


DOB PAGE No: 46 of 500	
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CD PROGRESS ISSUE 1

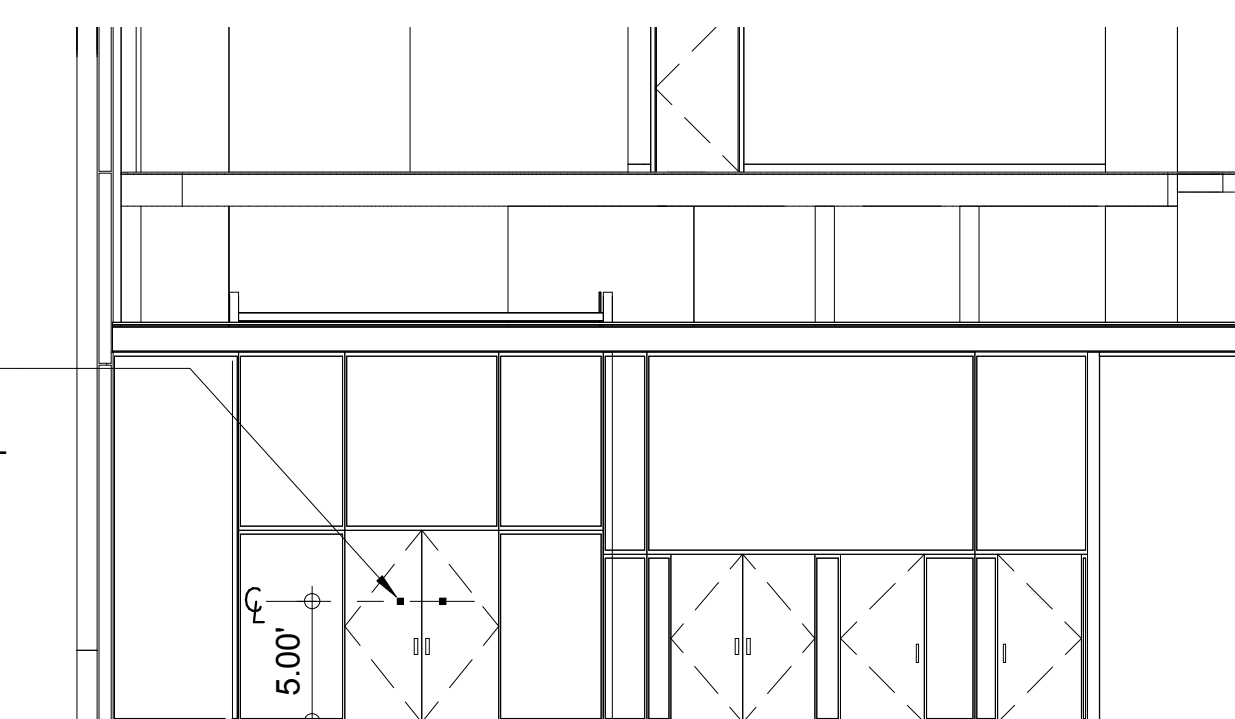


6 PEDESTRIAN THROUGH BLOCK SECTION
3/32" = 1'-0"

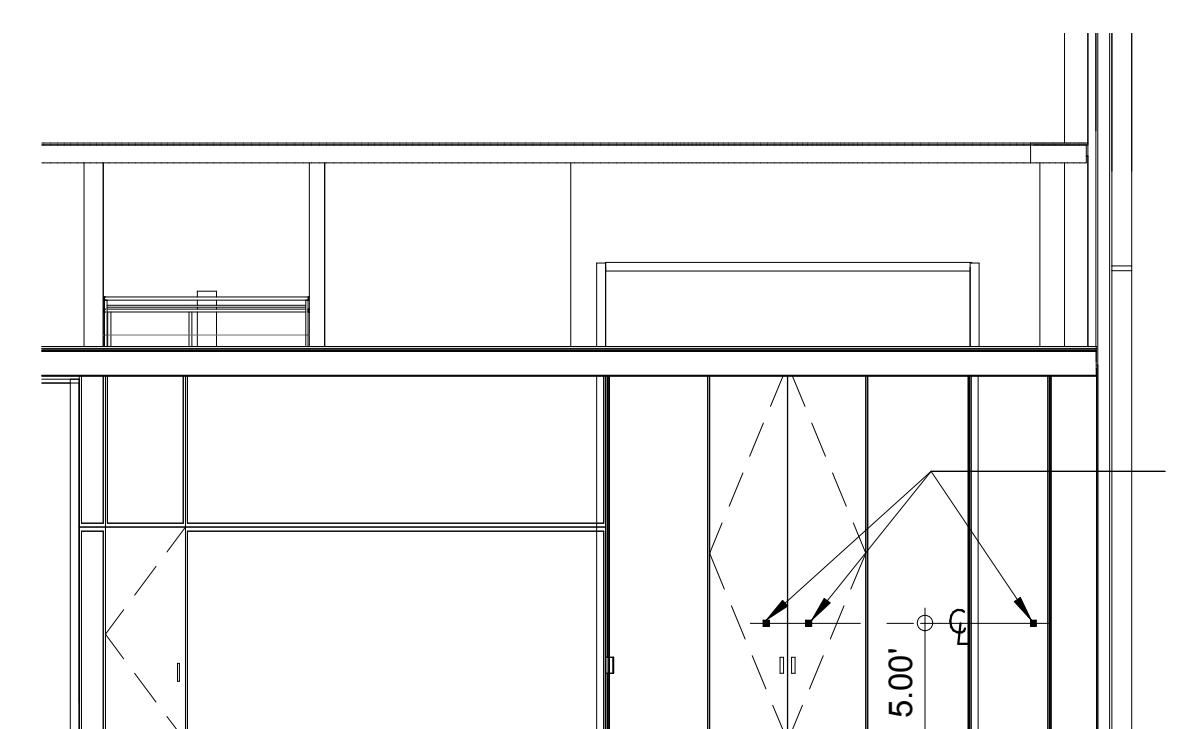


5 THROUGH BLOCK DIAGRAM
1" = 100'-0"

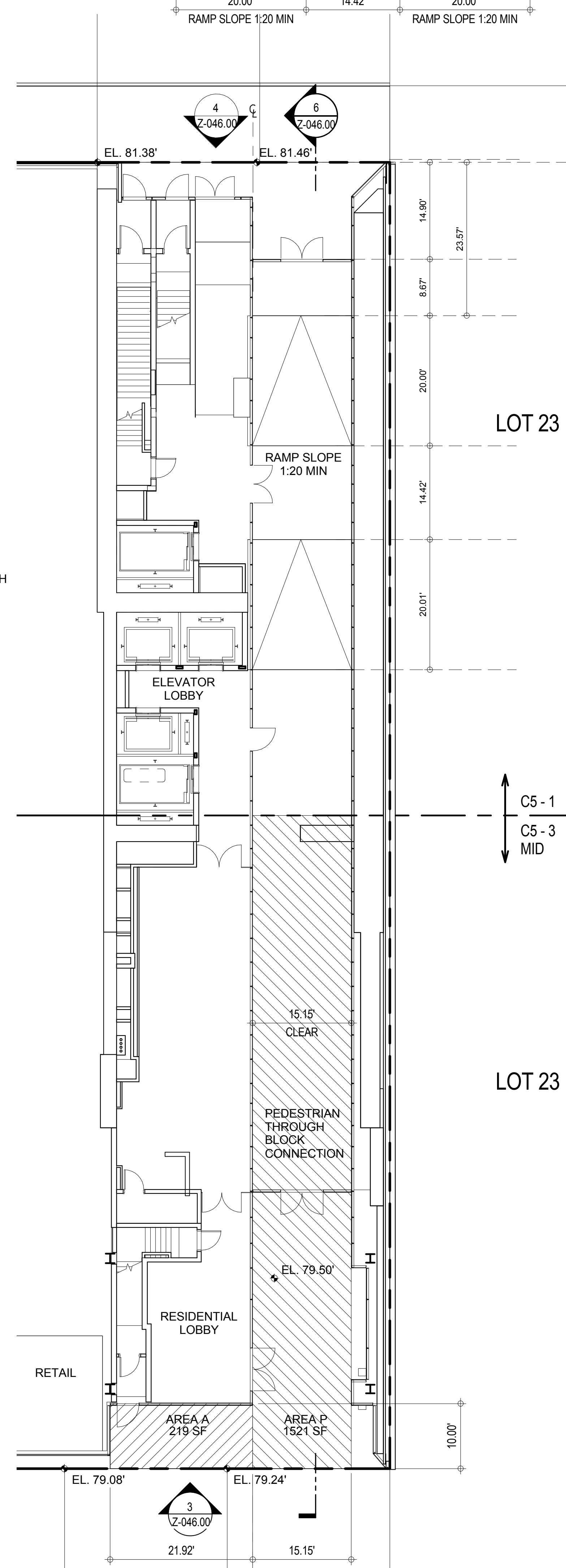
3"x3" PEDESTRIAN
THROUGH BLOCK
PUBLIC SPACE SYMBOL



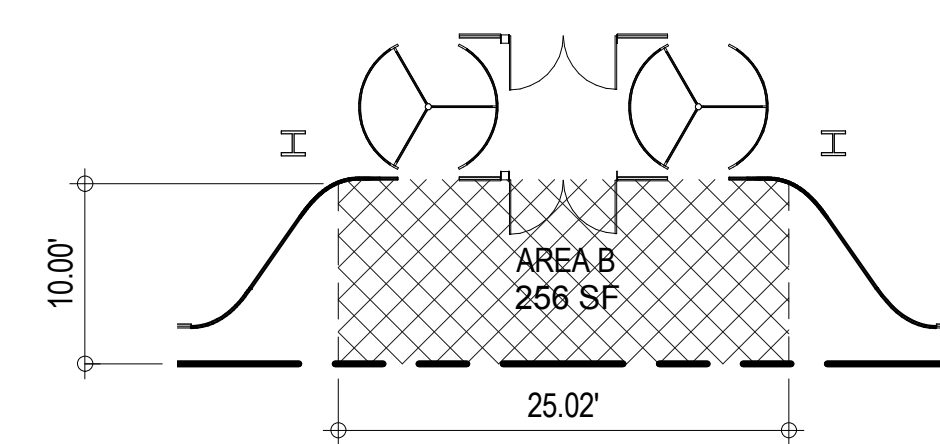
4 PEDESTRIAN THROUGH BLOCK ENTRANCE WEST 58TH STREET
1/8" = 1'-0"



3 PEDESTRIAN THROUGH BLOCK ENTRANCE WEST 57TH STREET
1/8" = 1'-0"



2 PEDESTRIAN THROUGH BLOCK - GROUND FLOOR
3/32" = 1'-0"

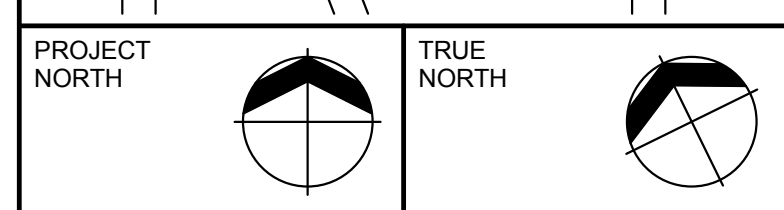
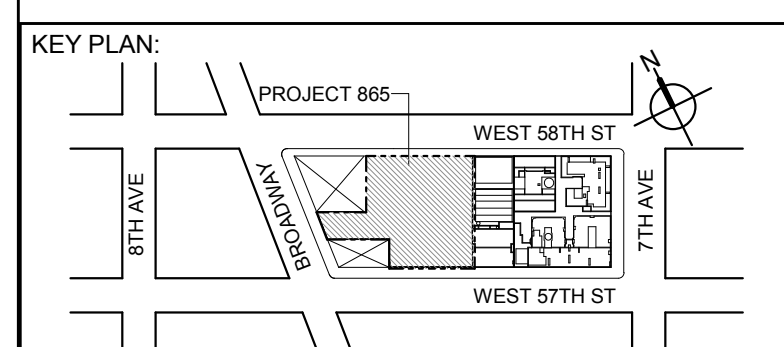
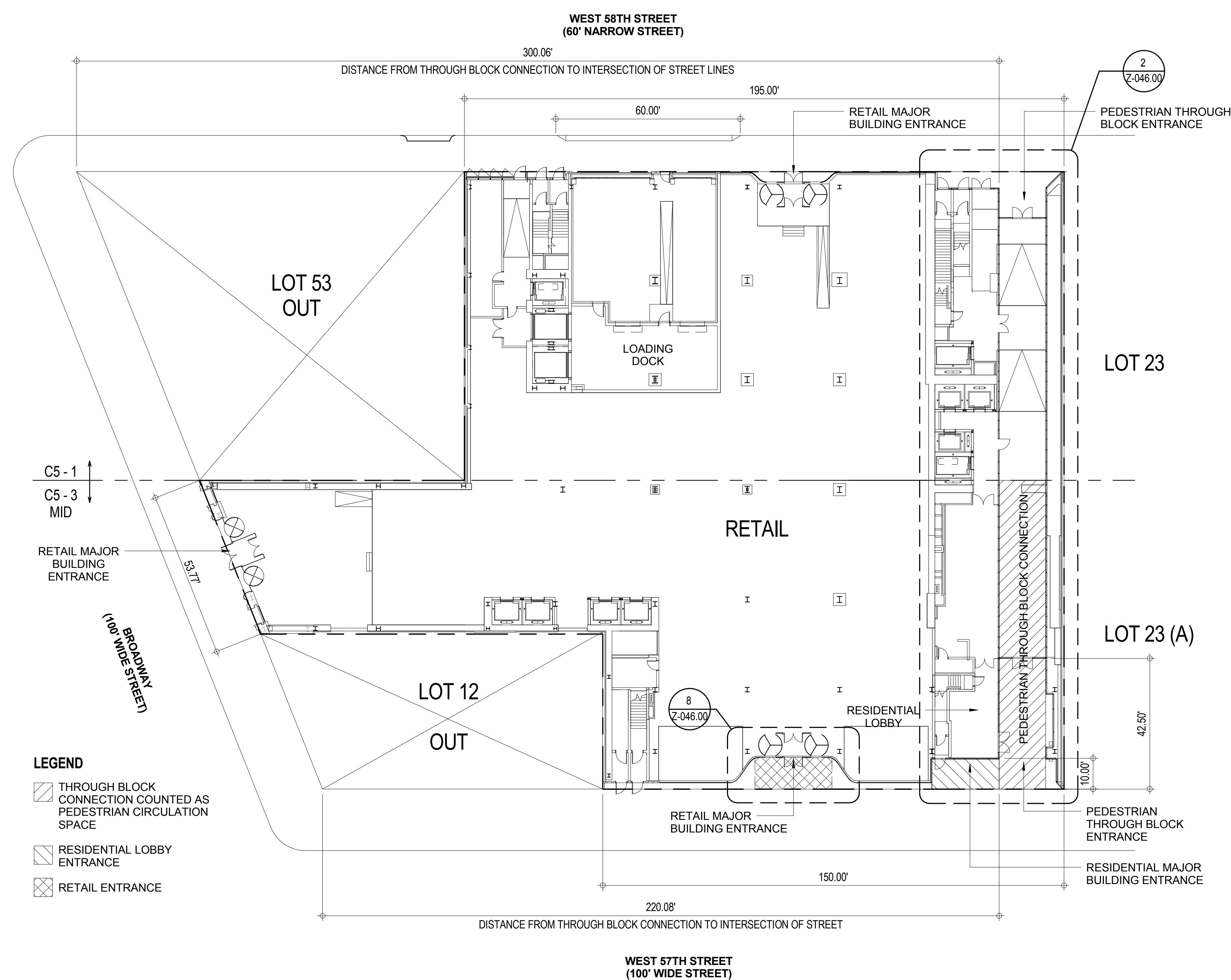


8 RETAIL MAJOR BUILDING ENTRANCE - GROUND FLOOR
3/32" = 1'-0"

- LEGEND
- THROUGH BLOCK CONNECTION COUNTED AS PEDESTRIAN CIRCULATION SPACE
 - RESIDENTIAL LOBBY ENTRANCE
 - RETAIL ENTRANCE

1 GROUND FLOOR
3/64" = 1'-0"

26-00 37-00	SPECIAL URBAN DESIGN REGULATIONS			
37-50 / 81-45	PEDESTRIAN CIRCULATION SPACE			
37-51	1) Minimum Pedestrian Circulation Space Pedestrian Circulation Space Required	1 SF / 300 SF of new F.A. 261,988 / 300 SF = 873 SF		
37-52 / 81-45	2) Pedestrian Circulation Space provided for a "Through Lot": i) Through Block Connection ii) Building Entrance Recess Area	Area P = 1,521 SF Area B = 256 SF Area A = 219 SF		
	Pedestrian Circulation Space Provided	1,521 SF + 256 SF + 219 SF = 1,996 SF (see 1 and 2 / Z-046.00)		COMPLIES
37-53 h)	Through Block Connection (Area P) Design Requirements			
	Requirements	Compliance		
	1) Open or enclosed unobstructed path between streets	Provided enclosed unobstructed path between West 57th and West 58th Street.		COMPLIES
	2) Up to 3,000 SF may count as Public Circulation Space	Counting only 1,521 SF as Public Circulation Space in C5-3 mid zone.		COMPLIES
	3) Location a. More than 150' from intersection b. Must overlap with an existing Through Block Connection on adjacent block, if there is one	Complies, see 1 and 5 / Z-046.00 None on adjacent block.		COMPLIES
	4) Design Standards Sec. 37-53 (h) (2)			
	(i) Straight continuous path, 15' clear width and 15' clear height	Complies, see 2 and 6 / Z-046.00 15' clear path provided, min. 15' clear height provided		PROVIDED
	(ii) Entire length of through block connection is not more than 5ft above or below curb level (see 2 / Z-046.00)	Path is fully accessible for person with disability through provision of min. 1:12 ramps, hand rails, appropriate lighting, signage and other provisions as per building code and ADA requirements		COMPLIES
	(iii) May be within building, counted as floor area (see 1 and 2 / Z-046.00)			COMPLIES
	(iv) Must access main lobby with openings exceeding other entrances (see 1 and 2 / Z-046.00)			COMPLIES
	(v) N.A., pertains to outside Through Block Connection			NOT APPLICABLE
	(vi) N.A., pertains to outside Through Block Connection			NOT APPLICABLE
	(vii) Open from 8am to 7pm, signs as required as per Sec (h) (2) (viii) (see 3 and 4 / Z-046.00)			PROVIDED
	(viii) Signs required (see 3 and 4 / Z-046.00)			PROVIDED
37-53 b)	Building Entrance Recess Area (Area A & B) Design Requirements			
	Requirements	Compliance		
	1) Dimensions Length Width Area	Min. - Max. 15' - 50' 10' - 15' Length x Width = 219 SF	Provided-A 25.04' 10.21' 256 SF	Provided-B 25.04' 10.21' 256 SF
	2) Obstructions Height Other Obstructions	Minimum 15'	Provided-A 15'	Provided-B 15'
	3) Other Requirements There are no overlaps. Connects directly to building uses (see 1 and 2 / Z-046.00)			
81-412	Directional Signs Directional signs provided as per sections 37-53(h)(2)(vii) and (viii) (see 3 and 4 / Z-046.00)			COMPLIES
81-413	Provisions for persons with disability Provisions for person with disability provided as per sections 37-53(h)(2)(i) and (ii) (See 2 / Z-046.00)			COMPLIES
81-47 b)	MAJOR BUILDING ENTRANCES 1) Building entrances located on all major streets West 58th Street, Broadway and West 57th Street (See 1 / Z-046.00)			COMPLIES



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NO.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

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AAI
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PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**SPECIAL URBAN DESIGN
REGULATIONS C5-3**

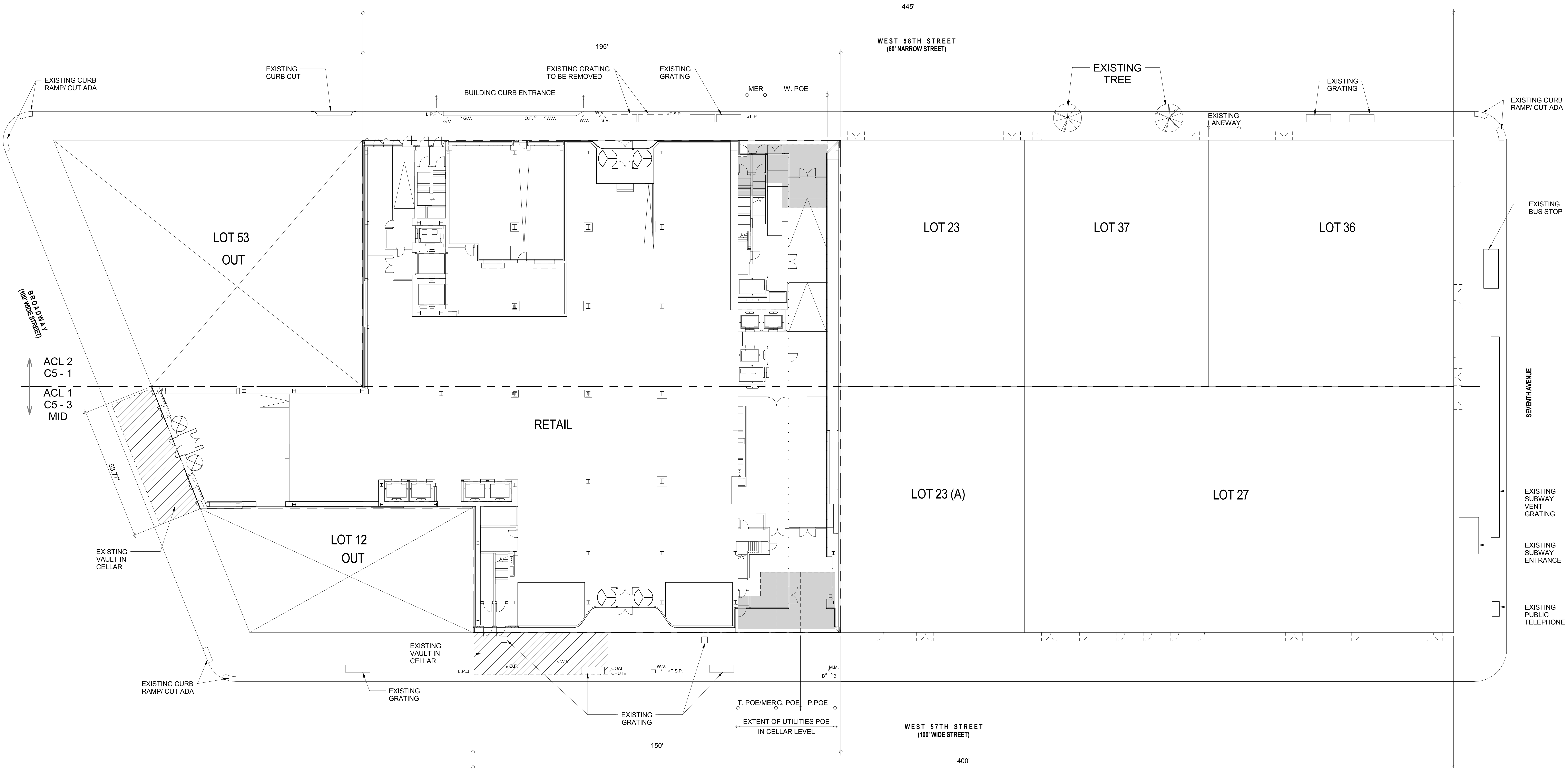
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PROJECT No: 1216-00	REV: 2
DRAWN: Author	CHECKER: Checker
SCALE: As indicated	DWG No: Z-046.00
DOB PAGE No: 47 of 600	DOB B-SCAN:

TREE PLANTING SCHEDULE

Street Name	Length of Street Frontage	Required Trees	Existing Trees	New Trees (On-Site)	Trees Relocated Elsewhere (Off-Site)	Reason for Relocation
West 58th Street	445'	445' / 25' = 18 Trees	2 Trees	0 Trees	16 Trees	Existing Tree, Existing Utility Point of Entry, Existing Utility Access Points, Existing below grade Cellar Vaults and Grating Proposed Loading Dock Entrance
Broadway	53.77'	53.77' / 25' = 2 Trees	0	0 Trees	2 Trees	Existing Utility Access Points, Existing below grade Cellar Vaults
West 57th Street	400'	400' / 25' = 16 Trees	0	0 Trees	16 Trees	Existing Utility Point of Entry, Existing Utility Access Points, Existing below grade Cellar Vaults and Grating
Seventh Avenue	200.84'	200.84' / 25' = 8 Trees	0	0 Trees	8 Trees	Existing below grade Cellar Vaults, Existing Subway Entrance, Existing Bus Stop, Existing Subway Vent Grating, Existing Public Telephone
TOTAL	1,099.61'	44 Trees	2 Trees	0 Trees	42 Trees	NYC DEPARTMENT OF PARKS AND RECREATION APPROVAL DATED 2014.01.17

STREETSCAPE TREE PLANTING

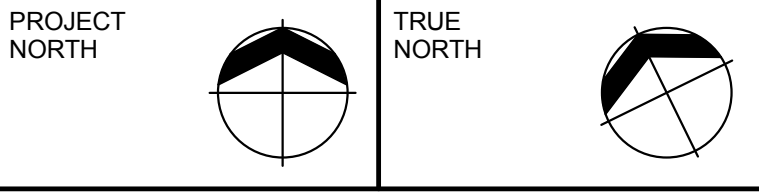
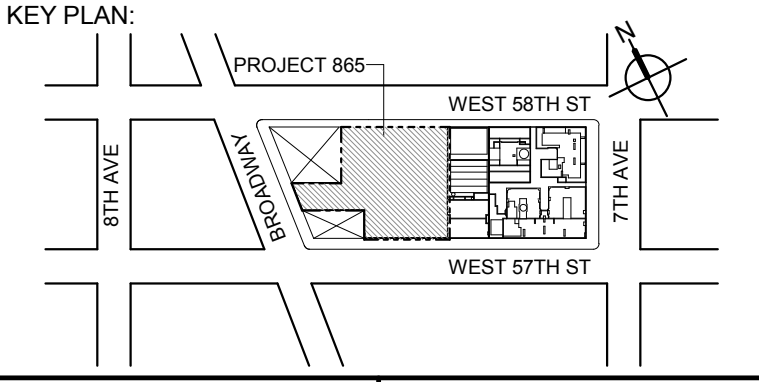
26-41	A) Required number of trees : One every 25ft of Street Frontage of the Zoning Lot
33-03	Length of Street Frontage Trees Required Existing Trees New Trees (On-Site) Trees Relocated (Off-Site) Trees Provided
26-41	445' + 53.77' + 400' + 200.84' = 1,099.61' (see schedule) 18 + 2 + 16 + 8 = 44 Trees (see schedule) 2 Trees 0 + 0 + 0 + 0 = 0 Trees (see schedule) 16 + 2+16+ 8 = 42 Trees (see schedule) 2 Existing Trees + 0 New Trees (on-site) + 42 Relocated Trees (off-site) = 44 Trees COMPLIES
	42 trees to be relocated as per provisions of section 26-41 (NYC DEPARTMENT OF PARKS AND RECREATION APPROVAL DATED 2014.01.17) DPR APP# 12631



LEGEND

- EXISTING BUILDING PROGRAM ON CELLAR LEVELS
- REQUIRED BUILDING PROGRAM ON CELLAR LEVELS
- T.S.P. TRAFFIC SIGN POLE
- M.M. MUNI METER
- O.F. OIL FILL
- L.P. LIGHT POLE
- S.V. STEAM MAIN
- G.V. GAS VALVE
- W.V. WATER VALVE
- B. BOLLARD
- T. POE TELECOMMUNICATION POINT OF ENTRY ROOM
- G. POE GAS POINT OF ENTRY ROOM
- W. POE WATER POINT OF ENTRY ROOM
- EXISTING BUILDING ENTRANCES
- TREE

KEY PLAN



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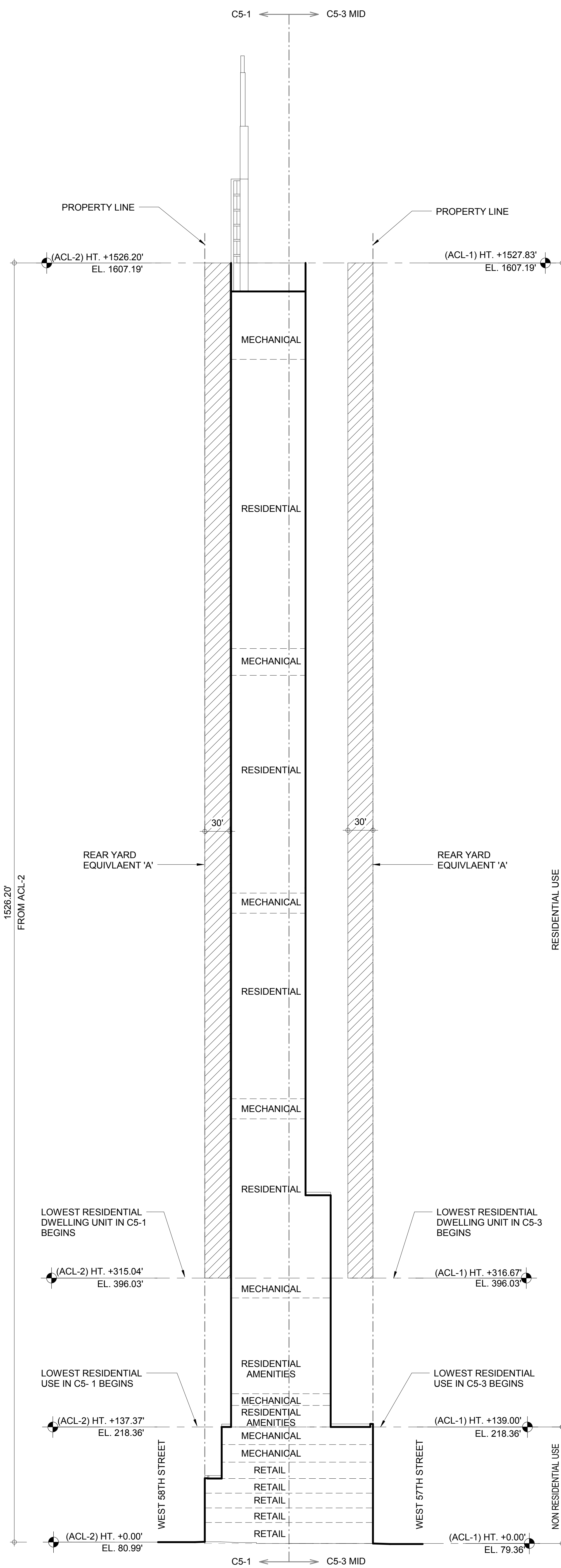
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PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

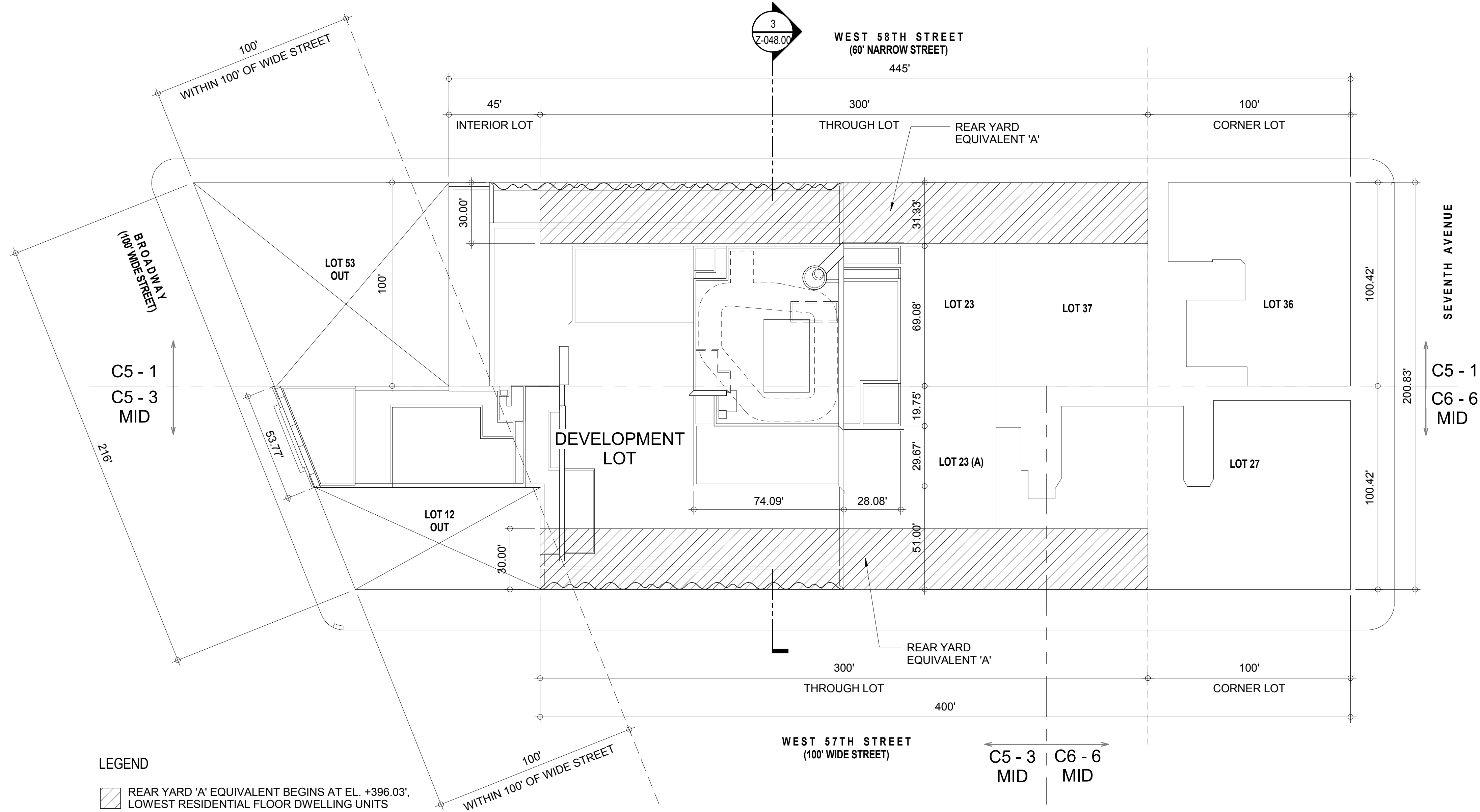
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STREETSCAPE TREE PLANTING

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	PROJECT No:	1216-00
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DWG No:	Z-047.00	

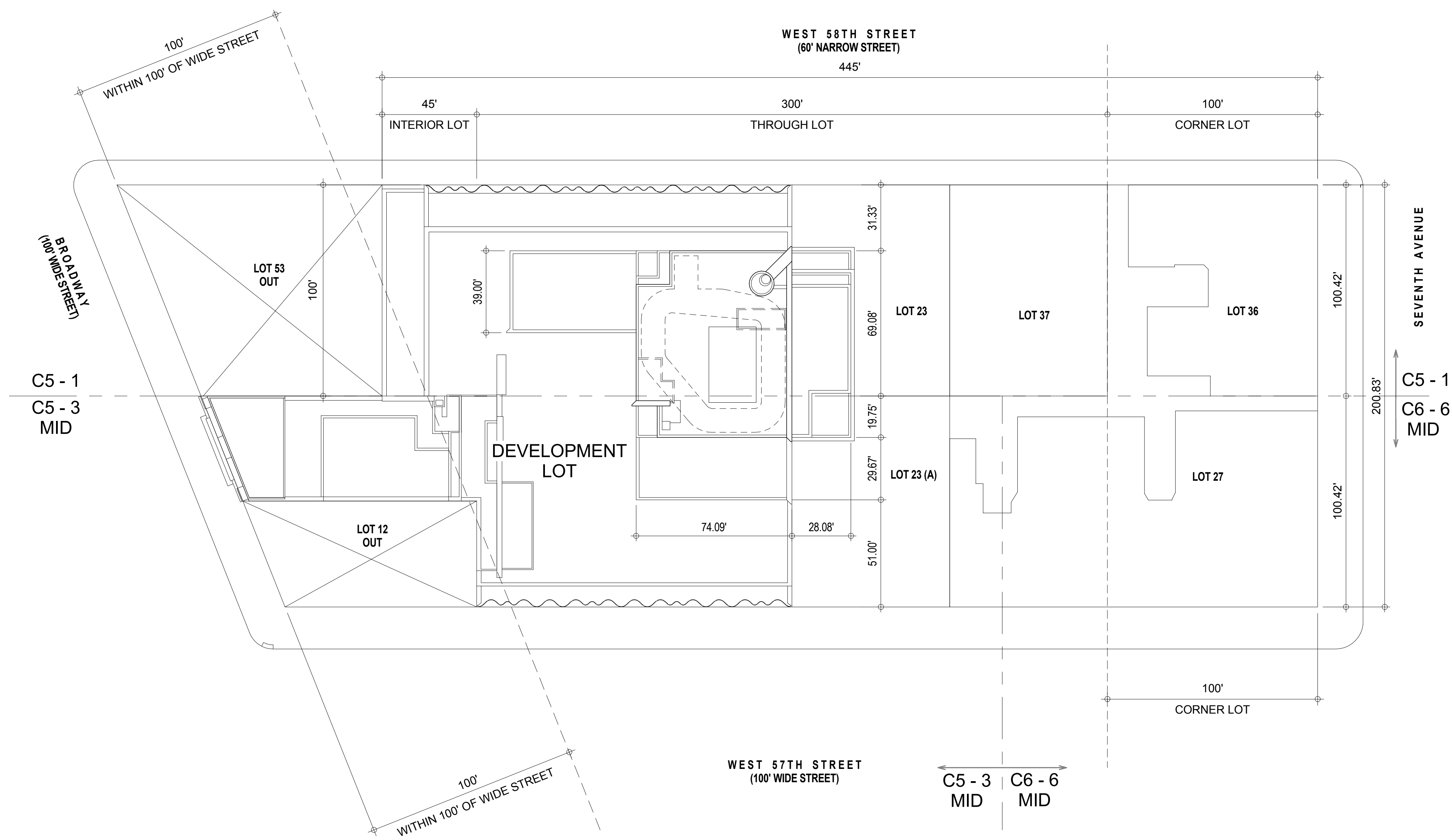
DOB EMPLOYEE STAMP: DOB PAGE No: 48 of 500 DOB B-SCAN:



3 REAR YARD ANALYSIS - NORTH SOUTH SECTION
1/64" = 1'-0"

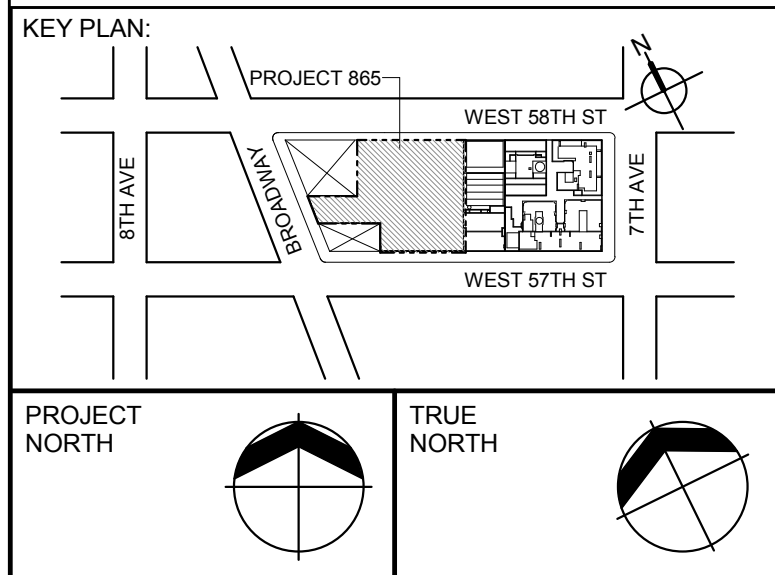


2 RESIDENTIAL REAR YARD ANALYSIS 8TH FLOOR AND ABOVE - SITE PLAN AT ROOF
1/32" = 1'-0"



1 COMMERCIAL REAR YARD ANALYSIS 6TH FLOOR AND BELOW - SITE PLAN AT ROOF
1/32" = 1'-0"

33-20	REAR YARD AND REAR YARD EQUIVALENT REGULATIONS	
33-26	A) Commercial Use	
33-301	i) No Rear Yard required within 100' of corner and along short dimension of block.	
33-302	ii) No Rear Yard required for Interior Lot portion fronting on West 58th street as the portion of its rear lot line that is beyond 100' of the intersection of two street lines coincides with side lot line of adjoining Zoning Lot (Lot 12).	
33-281	iii) Commercial Use: No Rear Yard Equivalent regulation applies to through lots and along short dim of lot.	
33-303 b)	No Rear Yard Required	See 1 / Z-048.00 COMPLIES
23-47	B) Residential Use	
23-543 c)	i) No Rear Yard required within 100' of corner and along short dimension of block.	
	ii) No Rear Yard required for Interior Lot portion fronting on West 58th street as the portion of its rear lot line that is beyond 100' of the intersection of two street lines coincides with side lot line of adjoining Zoning Lot (Lot 12).	
	iii) Required Rear Yard Equivalents	See 2 and 3 / Z-048.00 COMPLIES
23-532	60' Rear Yard Equivalent required as per 23-532 b)	
	Open area provided for New Residential Use at lowest level of new dwelling units, height EL. 396.03' (12th floor)	
	Depth of required open area, West 57th Street is 30' and a corresponding open area along West 58th Street is 30'	
	Provided 60' Rear Yard Equivalent 'A'	See 2 and 3 / Z-048.00 COMPLIES



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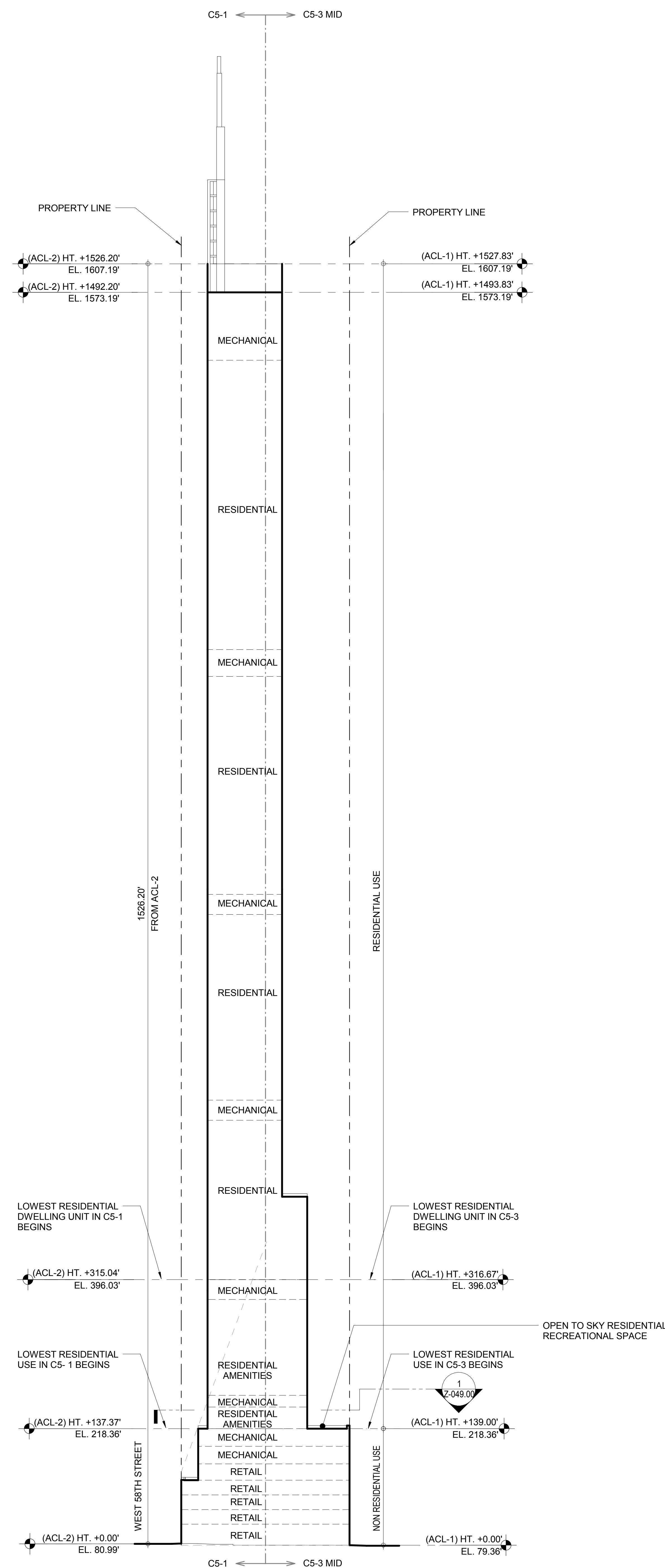


PROJECT:
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NEW YORK, NY

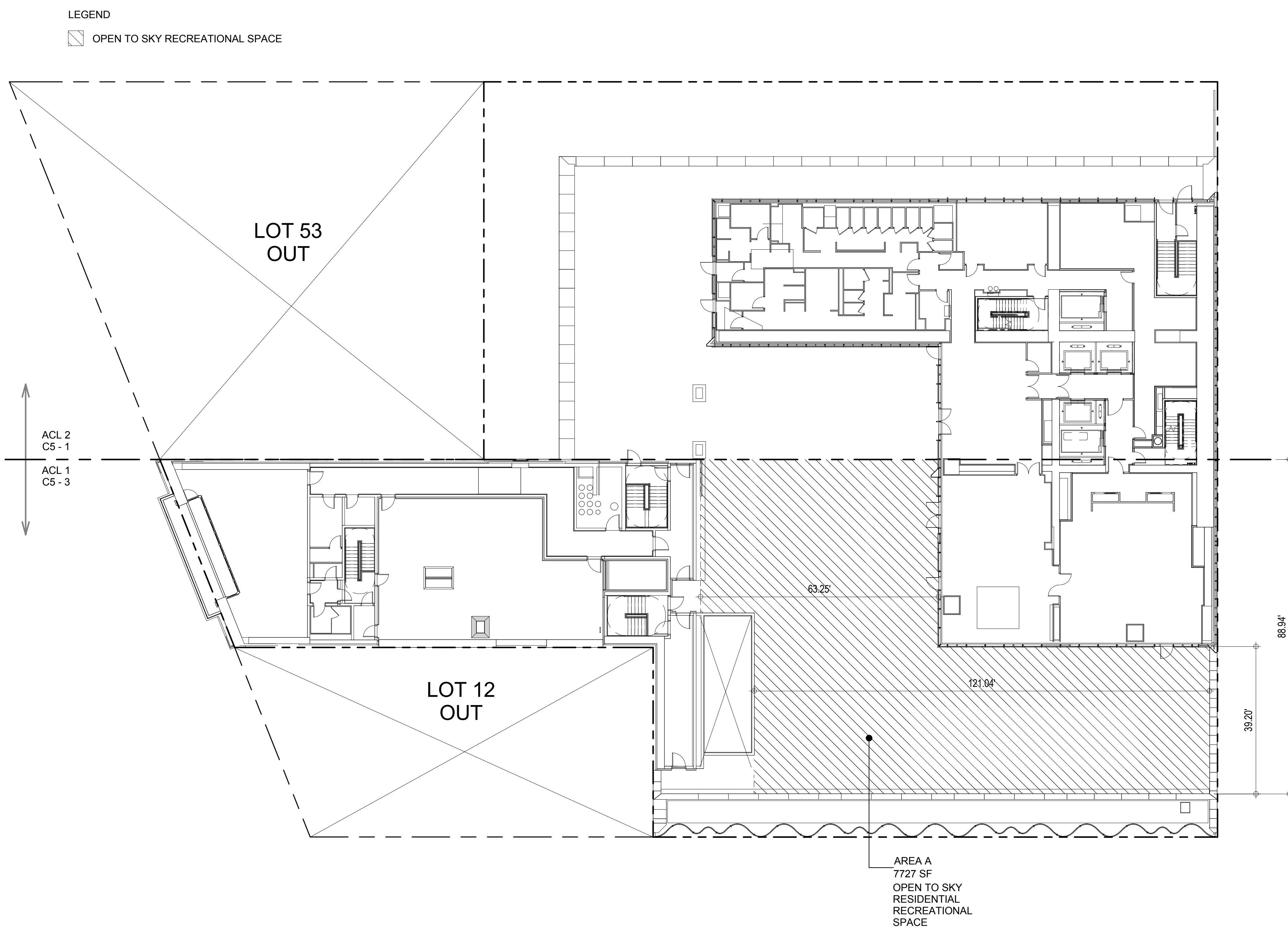
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REAR YARD & REAR YARD EQUIVALENTS SITE PLAN AND SECTION

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: As indicated	
DWG No:		
	Z-048.00	
DOB PAGE No:	48 of 500	

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2 RESIDENTIAL RECREATIONAL SPACE - NORTH SOUTH SECTION
1/64" = 1'-0"



1 8TH FLOOR RESIDENTIAL RECREATIONAL AREA PLAN
1/16" = 1'-0"

81-241	RESIDENTIAL RECREATIONAL SPACE - C5-3 / C6-6 MID	
81-241 c)	<p>1) Residential portion of a mixed building qualifies for a maximum residential FAR of 12 provided development includes a recreational space in an amount not less than 13 SF / rooming unit, 16.25 SF / dwelling unit, or a total area of at least 5,000 SF, whichever is greater.</p> <p>i) Recreational Space based on Rooming Unit none</p> <p>ii) Recreational Space based on Residential Unit 177 X 16.25 SF = 2,876.25 SF</p> <p>iii) Recreational Space based on maximum required 5,000 SF</p> <p>Recreational Space Required 5,000 SF</p> <p>i) min 50% open to sky 5,000SF x 50% = 2,500 SF</p> <p>ii) max 25% enclosed 5,000SF x 25% = 1,250 SF</p> <p>iii) 25% may be covered but more than 50% unenclosed 5,000SF x 50% = 1,250 SF</p> <p>Recreational Space Provided</p> <p>i) 8th Floor Open-to-Sky Recreational Space AREA A = 7,727 SF (1 / Z-049.00)</p>	COMPLIES
	2) Restricted to residential occupants	COMPLIES
	3) Accessible from lobby or public area served by residential elevators (see 1 / Z-049)	COMPLIES
	4) Landscaped except where covered or developed (see 1 / Z-049)	COMPLIES
	5) Contains minimum 500 SF of continuous area are on a single level and no dimension less than 15'	COMPLIES

[illegible]



FOR C5-1 HEIGHT AND SETBACK SEE 3/2-050

WEST 58TH STREET
(60' NARROW STREET)

7'-050.00'

LOT 53 OUT

60.00'

102.17'

39.00'

LOT 23

60.00'

LOT 37

LOT 36

LOT 12 OUT

LOT 23 (A)

LOT 27

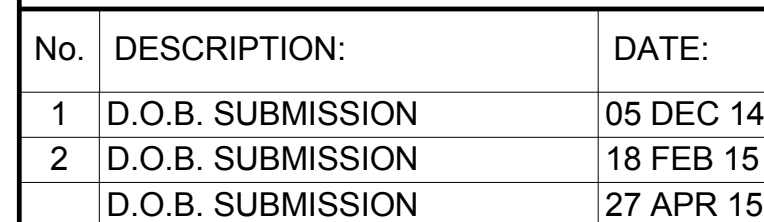
WEST 57TH STREET
(100' WIDE STREET)

ACL 1

ACL 1

C5-1 ZONING LOT = 44,686 SF

C5-1 FLOOR AREA = 9,401 SF
LOWEST RESIDENTIAL USE



DOB PAGE No: 51 of 500	
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81-27 ALTERNATE HEIGHT AND SETBACK REGULATIONS - DAYLIGHT EVALUATION

TABLE OF CONTENTS AND NOTES FOR COMPLIANCE

The contents of the Section 81-27 Height and Setback submission is as follows:

Dwg. #s	Contents/Demonstrating
Z-051.00	Roof plan, indicating relationship to viewpoints, building's corner points and roof heights (above ACL) to top of parapets.
Z-051.00 - Z-057.00	As per Section 81-273 (c) & (d), this sheet contains all plan and section angles for corner points of all viewpoints. Also, contains Sec. 81-274 Daylight Evaluation scores for all viewpoints, overall street scores and overall development score. Indicates compliance on all streets and overall.
Z-052.00 - Z-057.00	Contains plot of corner points, by viewpoints and streets as per Section 81-273 (e). Also contains Section 81-274, Daylight Square count for all viewpoints. Blockage totals transferred to 23 for final tabulation.

CONCLUSION The proposed development is in compliance with Section 81-27

81-27 ALTERNATE HEIGHT AND SETBACK REGULATIONS
DAYLIGHT EVALUATION METHOD

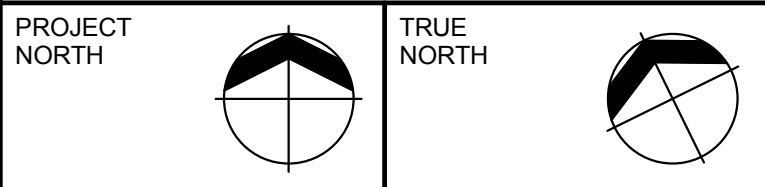
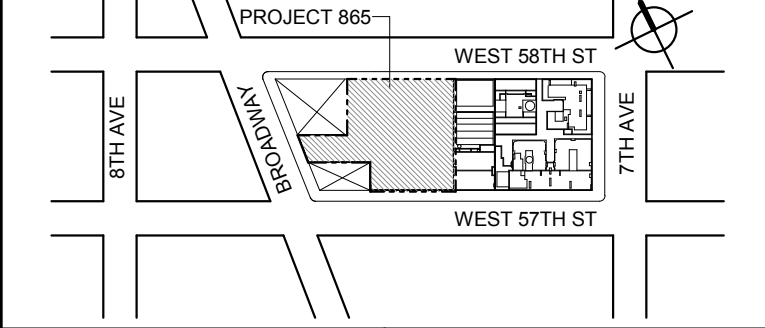
81-274 CALCULATION OF DAYLIGHT SCORE

W 57 ST	Lot line length =	400.00
VP 1	79.91%	
VP 2	78.75%	
Street Score	79.33% ACTUAL	
Min Required	66.00% Complies	
7TH AVE	Lot line length =	100.42
VP 3	87.26%	
VP 4	87.95%	
Street Score	87.61% ACTUAL	
Min Required	66.00% Complies	
BROADWAY	Lot line length =	53.77
VP 5	94.04%	
VP 6	93.31%	
Average	93.68% ACTUAL	
Min Required	66.00% Complies	
ENTIRE ZONING LOT		
$= (79.33 \times 400) + (87.61 \times 100.42) + (93.68 \times 53.77)$ $400 + 100.42 + 53.77$		

Overall Score 82.22% ACTUAL
Min Required 75.00% Complies

CONCLUSION The above development is in compliance with 81-27

KEY PLAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
35 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

0 10' 8" 21' 4" 42' 8"

DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
ZONING ROOF PLAN AND VIEW POINTS

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: 3/64" = 1'-0"	
DWG No:		
		Z-051.00
DOB PAGE No: 63 of 690		

DOB EMPLOYEE STAMP: DOB B-SCAN:

Scoring Summary
(Vantage point 1)

Section		Score
81-274(b)	Squares above 70°	-31.60
81-274(c)	Squares below 70°	0.00
81-274(d)	Profile Encroachment penalty	-0.55
	Total Blockage	-32.15
81-274(e)	Available Daylight Squares	160.00
81-274(f)	Remaining daylight	127.85
81-274(g)	Daylight Score	79.91%

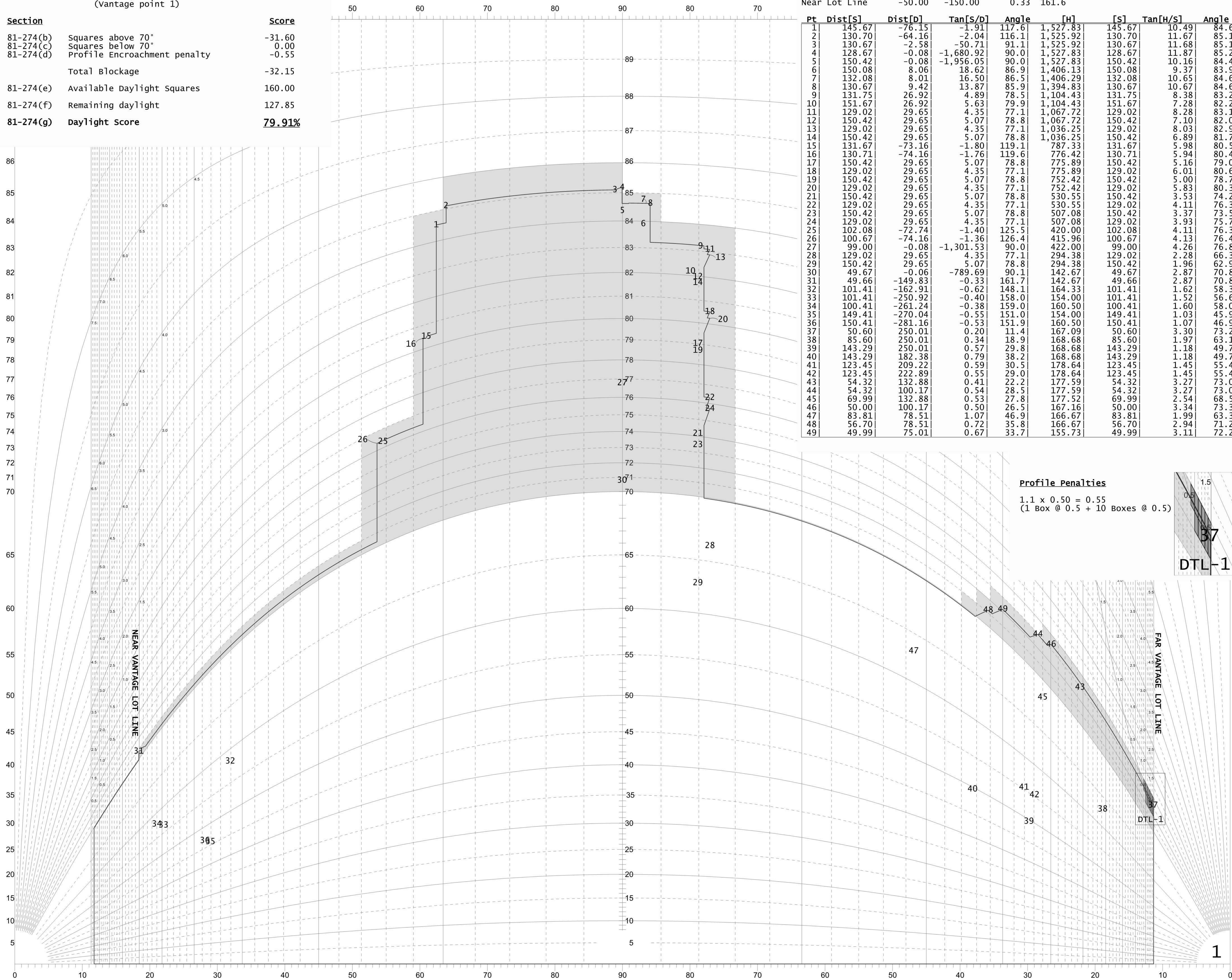
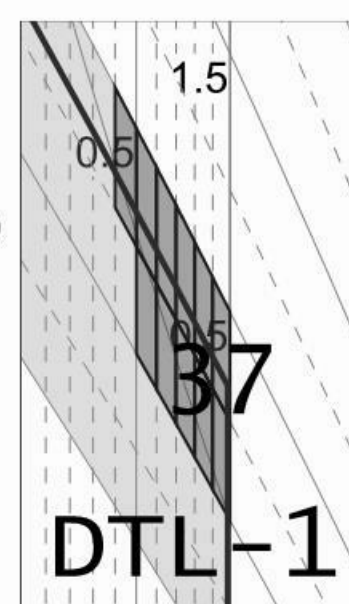
Section 81-273(d) w 57th Street VP 1

Far Lot Line	-50.00	250.00	-0.20	11.3
Near Lot Line	-50.00	-150.00	0.33	161.6

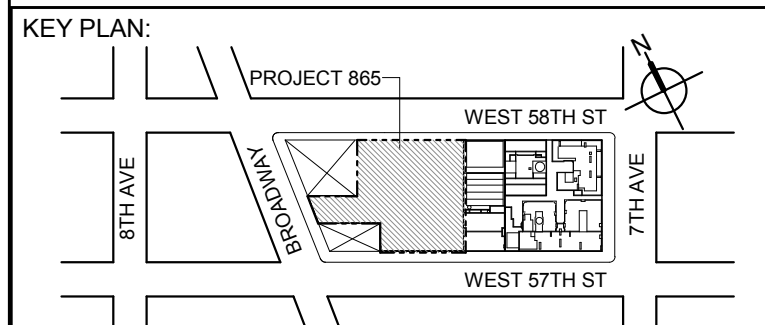
Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	145.67	-76.15	-1.91	117.6	1,527.83	145.67	10.49	84.6
2	130.70	-64.16	-2.04	116.1	1,525.92	130.70	11.67	85.1
3	130.67	-2.58	-50.71	91.1	1,525.92	130.67	11.68	85.1
4	128.67	-0.08	-1,680.92	90.0	1,527.83	128.67	11.87	85.2
5	150.42	-0.08	-1,956.05	90.0	1,527.83	150.42	10.16	84.4
6	150.08	8.06	18.62	86.9	1,406.13	150.08	9.37	83.9
7	132.08	8.01	16.50	86.5	1,406.29	132.08	10.65	84.6
8	130.67	9.42	13.87	85.9	1,394.83	130.67	10.67	84.6
9	131.75	26.92	4.89	78.5	1,104.43	131.75	8.38	83.2
10	151.67	26.92	5.63	79.9	1,104.43	151.67	7.28	82.2
11	129.02	29.65	4.35	77.1	1,067.72	129.02	8.28	83.1
12	150.42	29.65	5.07	78.8	1,067.72	150.42	7.10	82.0
13	129.02	29.65	4.35	77.1	1,036.25	129.02	8.03	82.9
14	150.42	29.65	5.07	78.8	1,036.25	150.42	6.89	81.7
15	131.67	-73.16	-1.80	119.1	787.33	131.67	5.98	80.5
16	130.71	-74.16	-1.76	119.6	776.42	130.71	5.94	80.4
17	150.42	29.65	5.07	78.8	775.89	150.42	5.16	79.0
18	129.02	29.65	4.35	77.1	775.89	129.02	6.01	80.6
19	150.42	29.65	5.07	78.8	752.42	150.42	5.00	78.7
20	129.02	29.65	4.35	77.1	752.42	129.02	5.83	80.3
21	150.42	29.65	5.07	78.8	530.55	150.42	3.53	74.2
22	129.02	29.65	4.35	77.1	530.55	129.02	4.11	76.3
23	150.42	29.65	5.07	78.8	507.08	150.42	3.37	73.5
24	129.02	29.65	4.35	77.1	507.08	129.02	3.93	75.7
25	102.08	-72.74	-1.40	125.5	420.00	102.08	4.11	76.3
26	100.67	-74.16	-1.36	126.4	415.96	100.67	4.13	76.4
27	99.00	-0.08	-1,301.53	90.0	422.00	99.00	4.26	76.8
28	129.02	29.65	4.35	77.1	294.38	129.02	2.28	66.3
29	150.42	29.65	5.07	78.8	294.38	150.42	1.96	62.9
30	49.67	-0.06	-789.69	90.1	142.67	49.67	2.87	70.8
31	49.66	-149.83	-0.33	161.7	142.67	49.66	2.87	70.8
32	101.41	-162.91	-0.62	148.1	164.33	101.41	1.62	58.3
33	101.41	-250.92	-0.40	158.0	154.00	101.41	1.52	56.6
34	100.41	-261.24	-0.38	159.0	160.50	100.41	1.60	58.0
35	149.41	-270.04	-0.55	151.0	154.00	149.41	1.03	45.9
36	150.41	-281.16	-0.53	151.9	160.50	150.41	1.07	46.9
37	50.60	250.01	0.20	11.4	167.09	50.60	3.30	73.2
38	85.60	250.01	0.34	18.9	168.68	85.60	1.97	63.1
39	143.29	250.01	0.57	29.8	168.68	143.29	1.18	49.7
40	143.29	182.38	0.79	38.2	168.68	143.29	1.18	49.7
41	123.45	209.22	0.59	30.5	178.64	123.45	1.45	55.4
42	123.45	222.89	0.55	29.0	178.64	123.45	1.45	55.4
43	54.32	132.88	0.41	22.2	177.59	54.32	3.27	73.0
44	54.32	100.17	0.54	28.5	177.59	54.32	3.27	73.0
45	69.99	132.88	0.53	27.8	177.52	69.99	2.54	68.5
46	50.00	100.17	0.50	26.5	167.16	50.00	3.34	73.3
47	83.81	78.51	1.07	46.9	166.67	83.81	1.99	63.3
48	56.70	78.51	0.72	35.8	166.67	56.70	2.94	71.2
49	49.99	75.01	0.67	33.7	155.73	49.99	3.11	72.2

Profile Penalties

1.1 x 0.50 = 0.55
(1 Box @ 0.5 + 10 Boxes @ 0.5)



DAYLIGHT EVALUATION DIAGRAM - 100 FOOT STREET
WEST 57th STREET - VANTAGE POINT ONE



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**SECTION 81-27 ANALYSIS PLAN
AND SECTION ANGLES SCORING
VIEWPOINT 1**

SEAL & SIGNATURE: 	DATE: 05 DEC 14
PROJECT No: 1216-00	REV: 2
DRAWN: Author	CHECK: Checker
DWG No: Z-052.00	DOB PAGE No: 63 of 690

DOB EMPLOYEE STAMP: DOB B-SCAN:

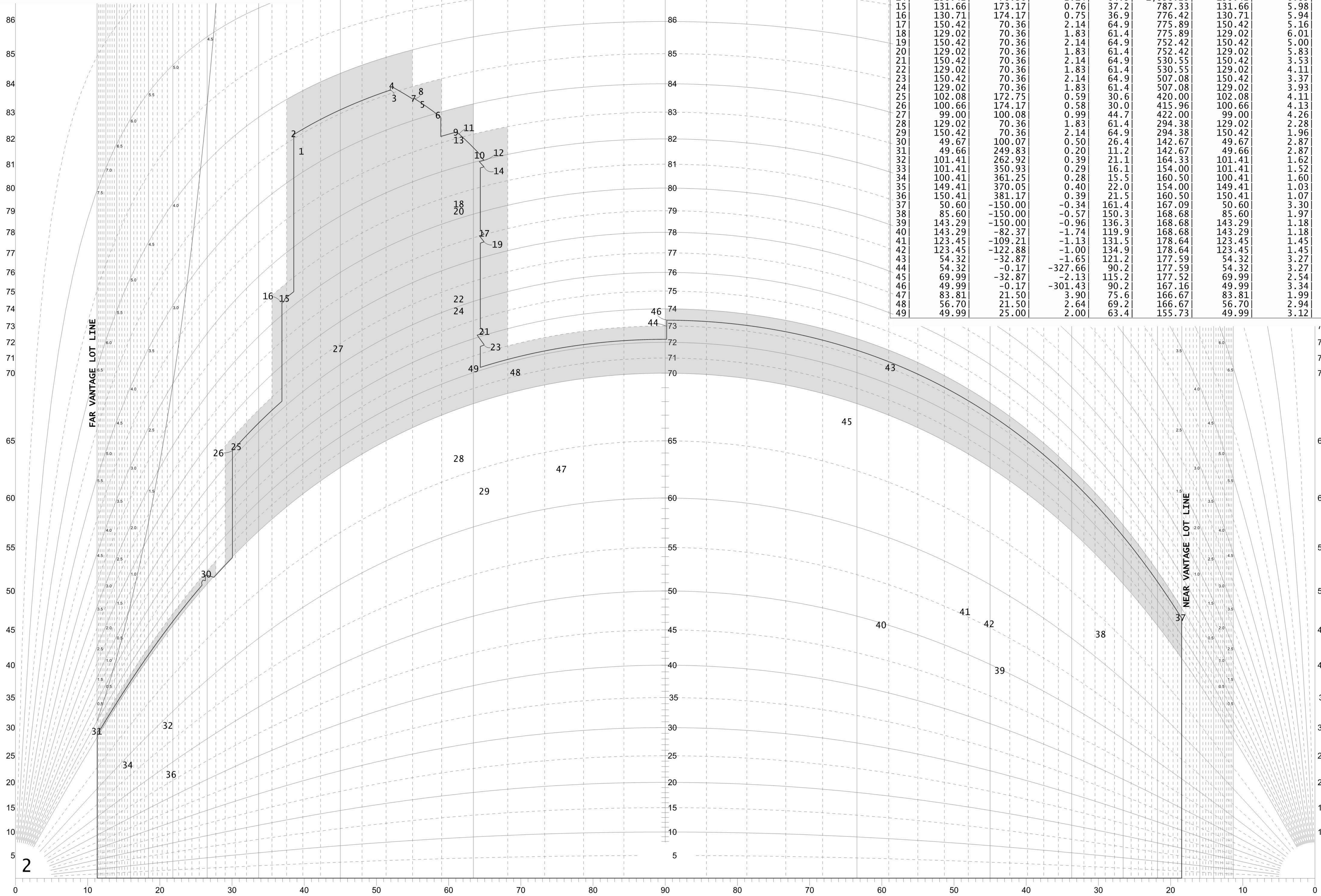
Scoring Summary
(Vantage point 2)

Section	Score
81-274(b) Squares above 70°	-34.00
81-274(c) Squares below 70°	0.00
81-274(d) Profile Encroachment penalty	0.00
Total Blockage	-34.00
81-274(e) Available Daylight Squares	160.00
81-274(f) Remaining daylight	126.00
81-274(g) Daylight score	78.75%

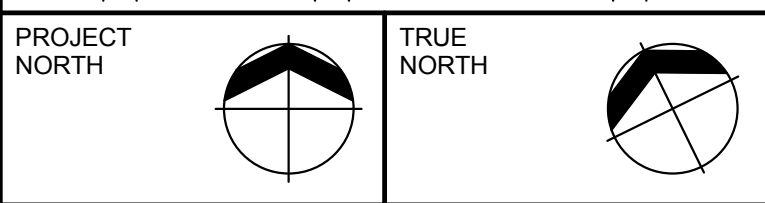
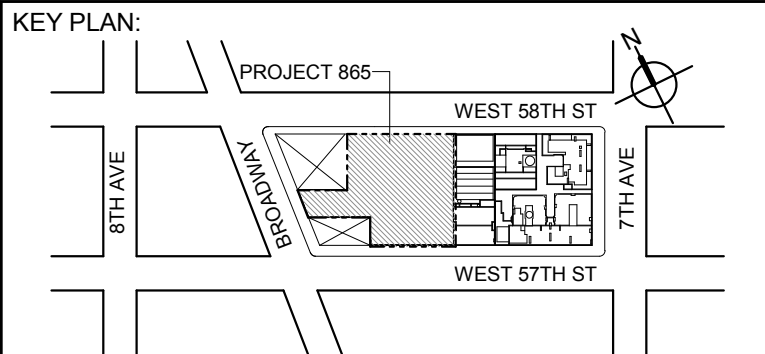
Section 81-273(d) West 57th Street VP 2

Far Lot Line	50.00	250.00	0.20	11.3
Near Lot Line	50.00	-150.00	-0.33	161.6

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	145.66	176.16	0.83	39.6	1,527.83	145.66	10.49	84.6
2	130.70	164.17	0.80	38.5	1,525.92	130.70	11.67	85.1
3	130.67	102.58	1.27	51.9	1,525.92	130.67	11.68	85.1
4	128.67	100.08	1.29	52.1	1,527.83	128.67	11.87	85.2
5	150.42	100.08	1.50	56.4	1,527.83	150.42	10.16	84.4
6	150.08	91.95	1.63	58.5	1,406.13	150.08	9.37	83.9
7	132.08	92.00	1.44	55.1	1,406.29	132.08	10.65	84.6
8	130.67	90.58	1.44	55.3	1,394.83	130.67	10.67	84.6
9	131.75	73.08	1.80	61.0	1,104.43	131.75	8.38	83.2
10	151.67	73.08	2.08	64.3	1,104.43	151.67	7.28	82.2
11	129.02	70.36	1.83	61.4	1,067.72	129.02	8.28	83.1
12	150.42	70.36	2.14	64.9	1,067.72	150.42	7.10	82.0
13	129.02	70.36	1.83	61.4	1,036.25	129.02	8.03	82.9
14	150.42	70.36	2.14	64.9	1,036.25	150.42	6.89	81.7
15	131.66	173.17	0.76	37.2	787.33	131.66	5.98	80.5
16	130.71	174.17	0.75	36.9	776.42	130.71	5.94	80.4
17	150.42	70.36	2.14	64.9	775.89	150.42	5.16	79.0
18	129.02	70.36	1.83	61.4	775.89	129.02	6.01	80.6
19	150.42	70.36	2.14	64.9	752.42	150.42	5.00	78.7
20	129.02	70.36	1.83	61.4	752.42	129.02	3.83	80.3
21	150.42	70.36	2.14	64.9	530.55	150.42	3.53	74.2
22	129.02	70.36	1.83	61.4	530.55	129.02	4.11	76.3
23	150.42	70.36	2.14	64.9	507.08	150.42	3.37	73.5
24	129.02	70.36	1.83	61.4	507.08	129.02	3.93	75.7
25	102.08	172.75	0.59	30.6	420.00	102.08	4.11	76.3
26	100.66	174.17	0.58	30.0	415.96	100.66	4.13	76.4
27	99.00	100.08	0.99	44.7	422.00	99.00	4.26	76.8
28	129.02	70.36	1.83	61.4	294.38	129.02	2.28	66.3
29	150.42	70.36	2.14	64.9	294.38	150.42	1.96	62.9
30	49.67	100.07	0.50	26.4	142.67	49.67	2.87	70.8
31	49.66	249.83	0.20	11.2	142.67	49.66	2.87	70.8
32	101.41	262.92	0.39	21.1	164.33	101.41	1.62	58.3
33	101.41	350.93	0.29	16.1	154.00	101.41	1.52	56.6
34	100.41	361.25	0.28	15.5	160.50	100.41	1.60	58.0
35	149.41	370.05	0.40	22.0	154.00	149.41	1.03	45.9
36	150.41	381.17	0.39	21.5	160.50	150.41	1.07	46.9
37	50.60	-150.00	-0.34	161.4	167.09	50.60	3.30	73.2
38	85.60	-150.00	-0.57	150.3	168.68	85.60	1.97	63.1
39	143.29	-150.00	-0.96	136.3	168.68	143.29	1.18	49.7
40	143.29	-82.37	-1.74	119.9	168.68	143.29	1.18	49.7
41	123.45	-109.21	-1.13	131.5	178.64	123.45	1.45	55.4
42	123.45	-122.88	-1.00	134.9	178.64	123.45	1.45	55.4
43	54.32	-32.87	-1.65	121.2	177.59	54.32	3.27	73.0
44	54.32	-0.17	-327.66	90.2	177.59	54.32	3.27	73.0
45	69.99	-32.87	-2.13	115.2	177.52	69.99	2.54	68.5
46	49.99	-0.17	-301.43	90.2	167.16	49.99	3.34	73.3
47	83.81	21.50	3.90	75.6	166.67	83.81	1.99	63.3
48	56.70	21.50	2.64	69.2	166.67	56.70	2.94	71.2
49	49.99	25.00	2.00	63.4	155.73	49.99	3.12	72.2



DAYLIGHT EVALUATION DIAGRAM - 100 FOOT STREET
WEST 57th STREET - VANTAGE POINT TWO



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W. 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**SECTION 81-27 ANALYSIS PLAN
AND SECTION ANGLES SCORING
VIEWPOINT 2**

SEAL & SIGNATURE: [Signature of David J. Lerner]
DATE: 05 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **Z-053.00**
DOB PAGE No: 64 of 650
DOB EMPLOYEE STAMP: [Stamp]
DOB B-SCAN: [Stamp]

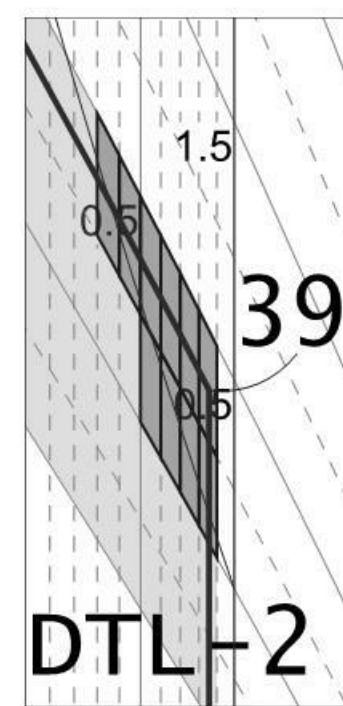
Section 81-273(d) 7th Ave VP 3

Far Lot Line -50.00 250.00
Near Lot Line -149.92 149.60

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	376.04	245.41	1.53	56.9	1,527.83	376.04	4.06	76.2
2	364.06	230.44	1.58	57.7	1,525.92	364.06	4.19	76.6
3	302.48	230.38	1.31	52.7	1,525.92	302.48	5.04	78.8
4	299.98	228.37	1.31	52.7	1,527.83	299.98	5.09	78.9
5	299.97	250.12	1.20	50.2	1,527.83	299.97	5.09	78.9
6	291.83	249.79	1.17	49.4	1,406.13	291.83	4.82	78.3
7	291.89	231.79	1.26	51.5	1,406.29	291.89	4.82	78.3
8	290.48	230.37	1.26	51.6	1,394.83	290.48	4.80	78.2
9	272.98	231.45	1.18	49.7	1,104.43	272.98	4.05	76.1
10	272.97	251.36	1.09	47.4	1,104.43	272.97	4.05	76.1
11	270.25	228.72	1.18	49.8	1,067.72	270.25	3.95	75.8
12	270.24	250.11	1.08	47.2	1,067.72	270.24	3.95	75.8
13	270.25	228.72	1.18	49.8	1,036.25	270.25	3.83	75.4
14	270.24	250.11	1.08	47.2	1,036.25	270.24	3.83	75.4
15	373.06	231.40	1.61	58.2	787.33	373.06	2.11	64.6
16	374.06	230.45	1.62	58.4	776.42	374.06	2.08	64.3
17	270.24	250.11	1.08	47.2	775.89	270.24	2.87	70.8
18	270.25	228.72	1.18	49.8	775.89	270.25	2.87	70.8
19	270.24	250.11	1.08	47.2	752.42	270.24	2.78	70.2
20	270.25	228.72	1.18	49.8	752.42	270.25	2.78	70.2
21	270.24	250.11	1.08	47.2	530.55	270.24	1.96	63.0
22	270.25	228.72	1.18	49.8	530.55	270.25	1.96	63.0
23	270.24	250.11	1.08	47.2	507.08	270.24	1.88	61.9
24	270.25	228.72	1.18	49.8	507.08	270.25	1.88	61.9
25	372.66	201.82	1.85	61.6	420.00	372.66	1.13	48.4
26	374.07	200.41	1.87	61.8	415.96	374.07	1.11	48.0
27	299.99	198.71	1.51	56.5	422.00	299.99	1.41	54.6
28	270.25	228.72	1.18	49.8	294.38	270.25	1.09	47.4
29	270.24	250.11	1.08	47.2	294.38	270.24	1.09	47.4
30	300.00	149.37	2.01	63.5	142.67	300.00	0.48	25.4
31	449.76	149.44	3.01	71.6	142.67	449.76	0.32	17.6
32	462.82	201.19	2.30	66.5	164.33	462.82	0.36	19.5
33	550.84	201.23	2.74	69.9	154.00	550.84	0.28	15.6
34	561.16	200.23	2.80	70.4	160.50	561.16	0.29	16.0
35	569.94	249.24	2.29	66.4	154.00	569.94	0.27	15.1
36	581.05	250.24	2.32	66.7	160.50	581.05	0.28	15.4
37	49.93	150.20	0.33	18.4	167.09	49.93	3.35	73.4
38	49.92	185.20	0.27	15.1	168.68	49.92	3.38	73.5
39	49.89	242.89	0.21	11.6	168.68	49.89	3.38	73.5
40	117.52	242.92	0.48	25.8	168.68	117.52	1.44	55.1
41	90.68	223.07	0.41	22.1	178.64	90.68	1.97	63.1
42	77.02	223.06	0.35	19.0	178.64	77.02	2.32	66.7
43	167.05	153.97	1.08	47.3	177.59	167.05	1.06	46.8
44	199.76	153.99	1.30	52.4	177.59	199.76	0.89	41.6
45	167.05	169.64	0.98	44.6	177.52	167.05	1.06	46.7
46	199.76	149.66	1.33	53.2	167.16	199.76	0.84	39.9
47	221.42	183.48	1.21	50.4	166.67	221.42	0.75	37.0
48	221.43	156.38	1.42	54.8	166.67	221.43	0.75	37.0
49	224.93	149.67	1.50	56.4	155.73	224.93	0.69	34.7

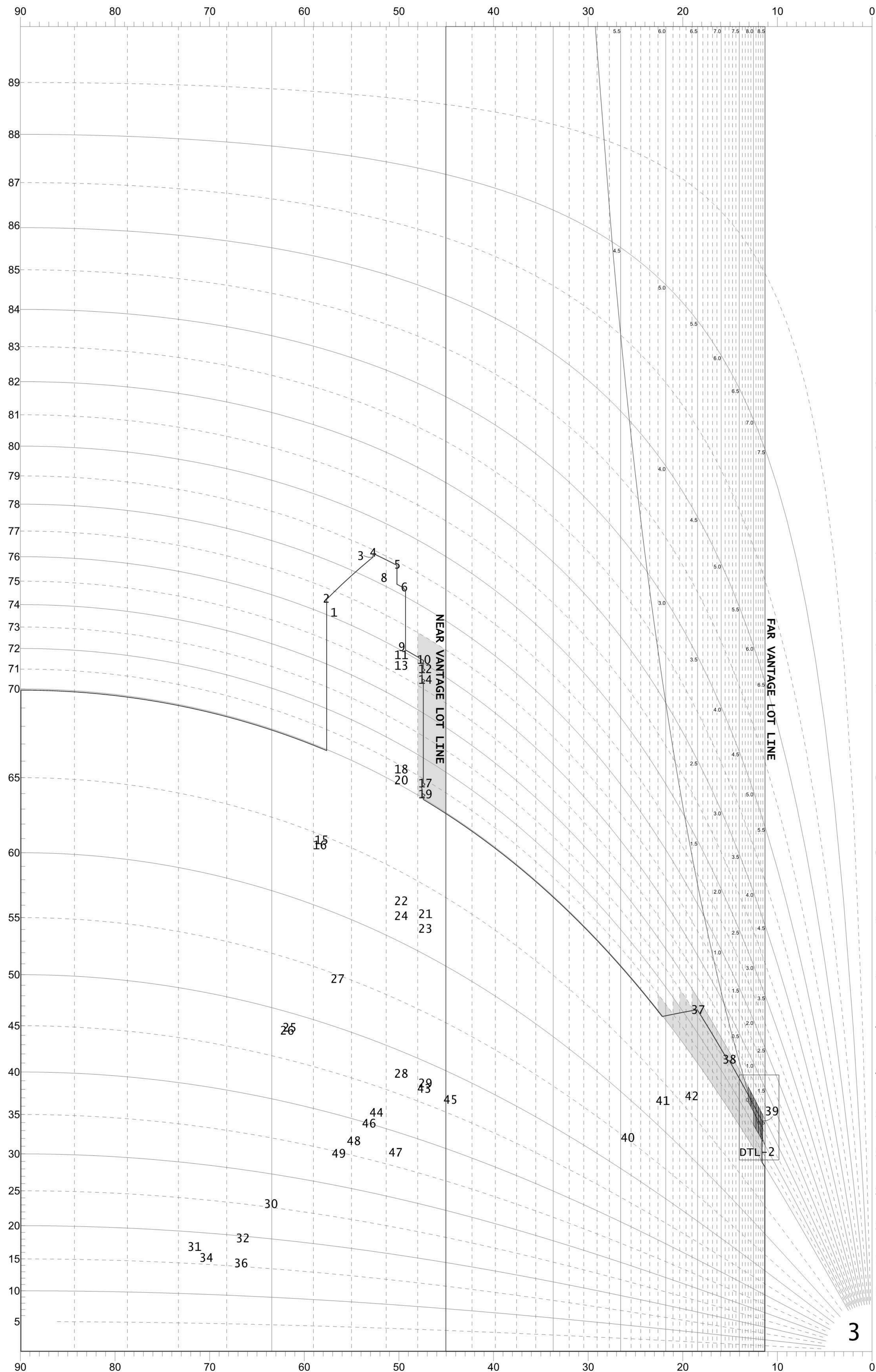
Profile Penalties

1.0 x 0.50 = 0.50
(8 Boxes @ 0.5 + 2 Boxes @ 0.5)

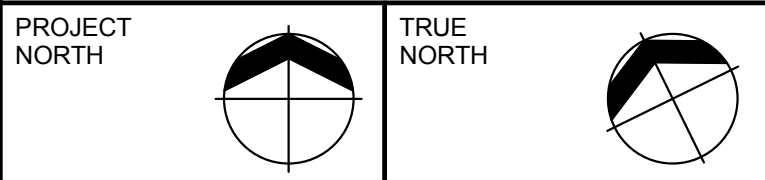
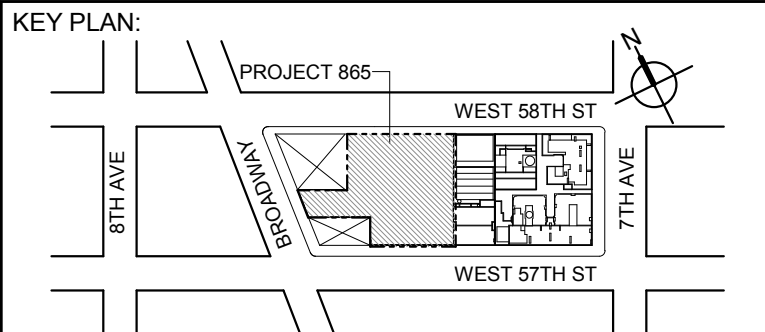


Scoring Summary
(Vantage point 3)

Section		Score
81-274(b)	Squares above 70°	-9.70
81-274(c)	Squares below 70°	0.00
81-274(d)	Profile Encroachment penalty	-0.50
	Total Blockage	-10.20
81-274(e)	Available Daylight Squares	80.05
81-274(f)	Remaining daylight	69.85
81-274(g)	Daylight score	87.26%



DAYLIGHT EVALUATION DIAGRAM - 100 FOOT STREET
7TH AVENUE - VANTAGE POINT THREE



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W. 3rd Floor
Toronto, ON M5V 1E7 Canada
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STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

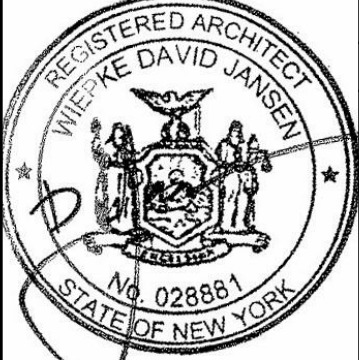
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**SECTION 81-27 ANALYSIS PLAN
AND SECTION ANGLES SCORING
VIEWPOINT 3**

SEAL & SIGNATURE: 	DATE: 05 DEC 14 PROJECT No: 1216-00 DRAWN: Author CHK: Checker SCALE: 1/8" = 1'-0" DWG No: Z-054.00 DOB PAGE No: 66 of 660	REV: 2 DOB B-SCAN:
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Section 81-273(d) Broadway VP 5

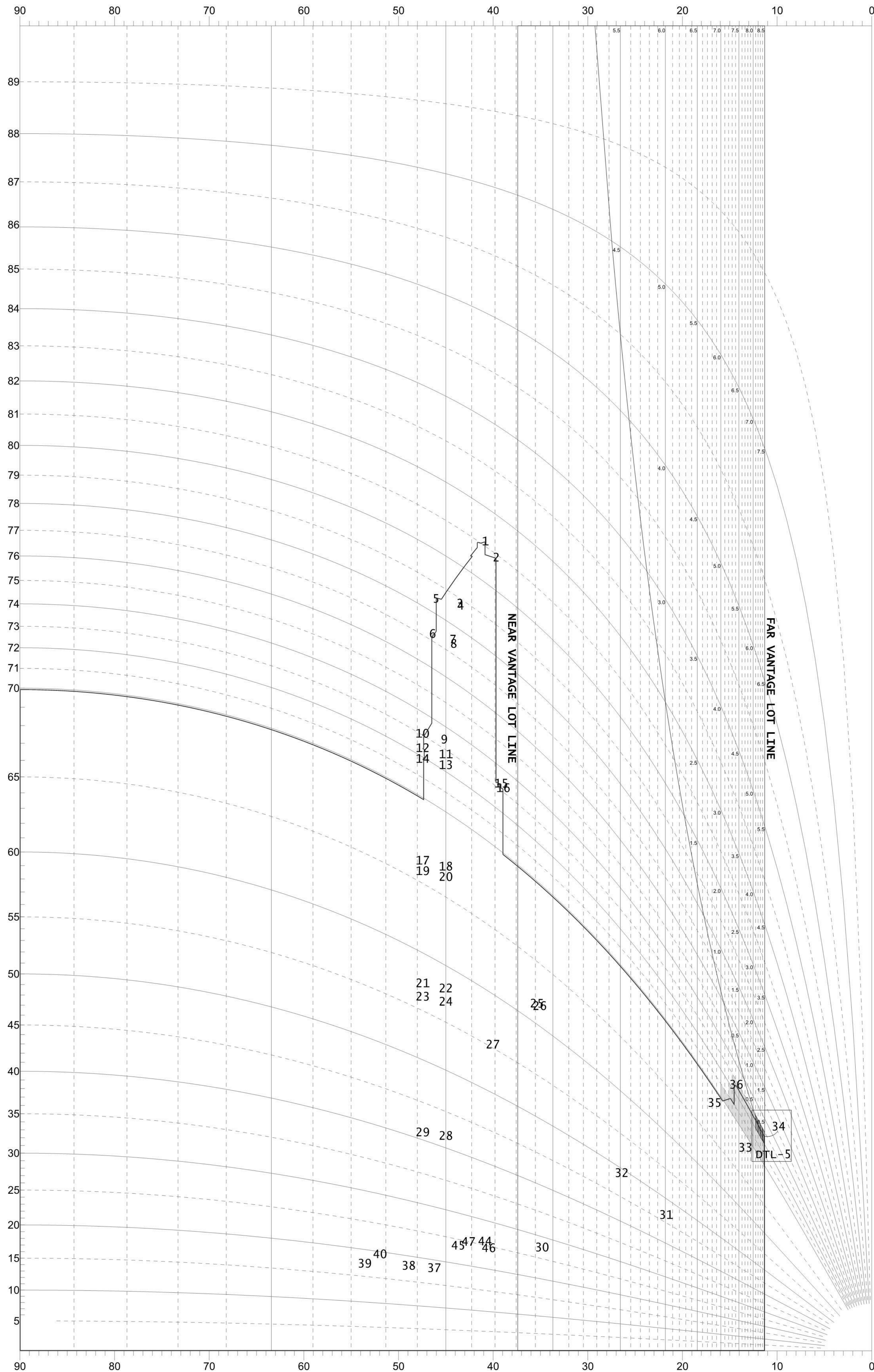
Far Lot Line	50.00	250.00	0.20	11.3
Near Lot Line	149.94	196.16	0.76	37.4

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[S]	Tan[H/S]	Angle
1	238.65	169.79	1.41	54.6	1,527.83	238.65	6.40
2	244.25	151.45	1.61	58.2	1,525.92	244.25	6.25
3	301.46	128.65	2.34	66.9	1,525.92	301.46	5.06
4	303.04	125.87	2.41	67.4	1,527.83	303.04	5.04
5	311.08	146.08	2.13	64.8	1,527.83	311.08	4.91
6	318.52	142.76	2.23	65.9	1,406.13	318.52	4.41
7	311.82	126.05	2.47	68.0	1,406.29	311.82	4.51
8	312.61	124.21	2.52	68.3	1,394.83	312.61	4.46
9	329.27	118.75	2.77	70.2	1,104.43	329.27	3.35
10	336.63	137.26	2.45	67.8	1,104.43	336.63	3.28
11	330.80	115.20	2.87	70.8	1,067.72	330.80	3.13
12	338.71	135.08	2.51	68.3	1,067.72	338.71	3.15
13	330.80	115.20	2.87	70.8	1,036.25	330.80	3.13
14	338.71	135.08	2.51	68.3	1,036.25	338.71	3.06
15	236.25	155.68	1.52	56.6	787.33	236.25	3.33
16	234.96	155.16	1.51	56.6	776.42	234.96	3.30
17	338.71	135.08	2.51	68.3	775.89	338.71	2.29
18	330.80	115.20	2.87	70.8	775.89	330.80	2.35
19	338.71	135.08	2.51	68.3	752.42	338.71	6.58
20	338.71	115.20	2.87	70.8	752.42	330.80	2.22
21	338.71	135.08	2.51	68.3	530.55	338.71	1.67
22	330.80	115.20	2.87	70.8	530.55	330.80	1.60
23	338.71	135.08	2.51	68.3	507.08	338.71	1.50
24	330.80	115.20	2.87	70.8	507.08	330.80	1.53
25	225.70	128.04	1.76	60.4	420.00	225.70	1.86
26	223.86	127.24	1.76	60.4	415.96	223.86	1.86
27	292.07	98.30	2.97	71.4	422.00	292.07	1.44
28	330.80	115.20	2.87	70.8	294.38	330.80	0.89
29	338.71	135.08	2.51	68.3	294.38	338.71	0.87
30	273.85	52.46	5.22	79.2	142.67	273.85	0.52
31	134.70	107.83	1.25	51.3	142.67	134.70	1.06
32	141.67	160.75	0.88	41.4	164.33	141.67	1.16
33	59.90	193.29	0.31	17.2	154.00	59.90	2.57
34	49.94	196.18	0.25	14.3	160.50	49.94	3.21
35	59.88	244.96	0.24	13.7	154.00	59.88	2.57
36	49.92	250.00	0.20	11.3	160.50	49.92	3.22
37	506.54	-39.14	-12.94	94.4	167.09	506.54	0.33
38	519.48	-6.62	-78.50	90.7	168.68	519.48	0.32
39	540.81	46.99	11.51	85.0	168.68	540.81	0.31
40	477.98	71.69	6.64	81.4	168.68	477.98	19.35
41	495.58	61.63	8.06	85.6	178.64	495.58	19.8
42	508.28	38.58	13.17	85.7	178.64	508.28	0.45
43	399.09	7.63	52.29	88.9	177.59	399.09	0.44
44	368.70	19.73	18.69	86.9	177.59	368.70	0.48
45	404.88	22.19	18.25	86.9	177.52	404.88	0.44
46	367.10	15.70	23.38	87.6	167.16	367.10	0.46
47	359.47	55.13	6.52	81.3	166.67	359.47	0.46
48	349.45	29.95	11.67	85.1	166.67	349.45	0.48
49	343.72	25.01	13.74	85.8	155.73	343.72	0.45

Profile Penalties

$$0.4 \times 0.50 = 0.20$$

(4 boxes @ 0.5)

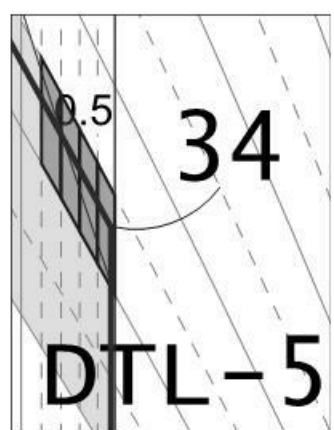


DAYLIGHT EVALUATION DIAGRAM - 100 FOOT STREET
BROADWAY - VANTAGE POINT 6

Section 81-273(d) Broadway VP 6
Far Lot Line -50.00 250.00
Near Lot Line -150.00 196.17

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle
1	238.81	276.38	0.86	40.8	1,527.83	238.81	6.40
2	244.41	294.71	0.83	39.7	1,525.92	244.41	6.24
3	301.62	317.52	0.95	43.5	1,525.92	301.62	5.06
4	303.20	320.30	0.95	43.4	1,527.83	303.20	5.04
5	311.24	300.09	1.04	46.0	1,527.83	311.24	4.91
6	318.68	303.41	1.05	46.4	1,406.13	318.68	4.41
7	311.98	320.11	0.97	44.3	1,406.29	311.98	4.51
8	312.77	321.95	0.97	44.2	1,394.83	312.77	4.46
9	329.43	327.42	1.01	45.2	1,104.43	329.43	3.35
10	336.79	308.91	1.09	47.5	1,104.43	336.79	3.28
11	330.96	330.96	1.00	45.0	1,067.72	330.96	3.23
12	338.87	311.08	1.09	47.4	1,067.72	338.87	3.15
13	330.96	330.96	1.00	45.0	1,036.25	330.96	3.13
14	338.87	311.08	1.09	47.4	1,036.25	338.87	3.06
15	236.41	290.49	0.81	39.1	787.33	236.41	3.33
16	235.12	291.01	0.81	38.9	776.42	235.12	3.30
17	338.87	311.08	1.09	47.4	775.89	338.87	2.29
18	330.96	330.96	1.00	45.0	775.89	330.96	2.34
19	338.87	311.08	1.09	47.4	752.42	338.87	2.22
20	330.96	330.96	1.00	45.0	752.42	330.96	2.27
21	338.87	311.08	1.09	47.4	530.55	338.87	1.57
22	330.96	330.96	1.00	45.0	530.55	330.96	1.60
23	338.87	311.08	1.09	47.4	507.08	338.87	1.50
24	330.96	330.96	1.00	45.0	507.08	330.96	1.53
25	225.86	318.13	0.71	35.4	420.00	225.86	1.86
26	224.02	318.92	0.70	35.1	415.96	224.02	1.86
27	292.23	347.86	0.84	40.0	422.00	292.23	1.44
28	330.96	330.96	1.00	45.0	294.38	330.96	0.89
29	338.87	311.08	1.09	47.4	294.38	338.87	0.87
30	274.01	393.71	0.70	34.8	142.67	274.01	0.52
31	134.86	338.33	0.40	21.7	142.67	134.86	1.06
32	141.83	285.41	0.50	26.4	164.33	141.83	1.16
33	60.06	252.87	0.24	13.4	154.00	60.06	2.56
34	50.10	249.99	0.20	11.3	160.50	50.10	3.20
35	60.04	201.20	0.30	16.6	154.00	60.04	2.57
36	50.08	196.16	0.26	14.3	160.50	50.08	3.20
37	506.70	485.30	1.04	46.2	167.09	506.70	0.33
38	519.64	452.78	1.15	48.9	168.68	519.64	0.32
39	540.97	399.18	1.36	53.6	168.68	540.97	0.31
40	478.14	374.18	1.28	52.0	168.68	478.14	0.35
41	495.74	402.53	1.23	50.9	178.64	495.74	0.36
42	508.44	407.59	1.25	51.3	178.64	508.44	0.35
43	399.25	438.53	0.91	42.3	177.59	399.25	0.44
44	368.86	426.44	0.86	40.9	177.59	368.86	0.48
45	405.04	423.98	0.96	43.7	177.52	405.04	0.44
46	367.26	430.46	0.85	40.5	167.16	367.26	0.46
47	359.63	391.04	0.92	42.6	166.67	359.63	0.46
48	349.61	416.22	0.84	40.0	166.67	349.61	0.48
49	343.88	421.16	0.82	39.2	155.73	343.88	0.45

Profile Penalties
0.4 x 0.50 = 0.20
(4 Boxes @ 0.5)



Section		Score
81-274(b)	Squares above 70°	-4.00
81-274(c)	Squares below 70°	0.00
81-274(d)	Profile Encroachment penalty	-0.20
	Total Blockage	-4.20
81-274(e)	Available Daylight Squares	73.85
81-274(f)	Remaining daylight	69.65
81-274(g)	Daylight score	94.31%

KEY PLAN

PROJECT NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD:

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AAI ARCHITECTS, P.C.
401 Wellington St. W. 3rd Floor
Toronto, ON M5V 1E7 Canada
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MEP ENGINEERS:

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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

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CURTAINWALL CONSULTANT:

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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasbarth & Partners LLC
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

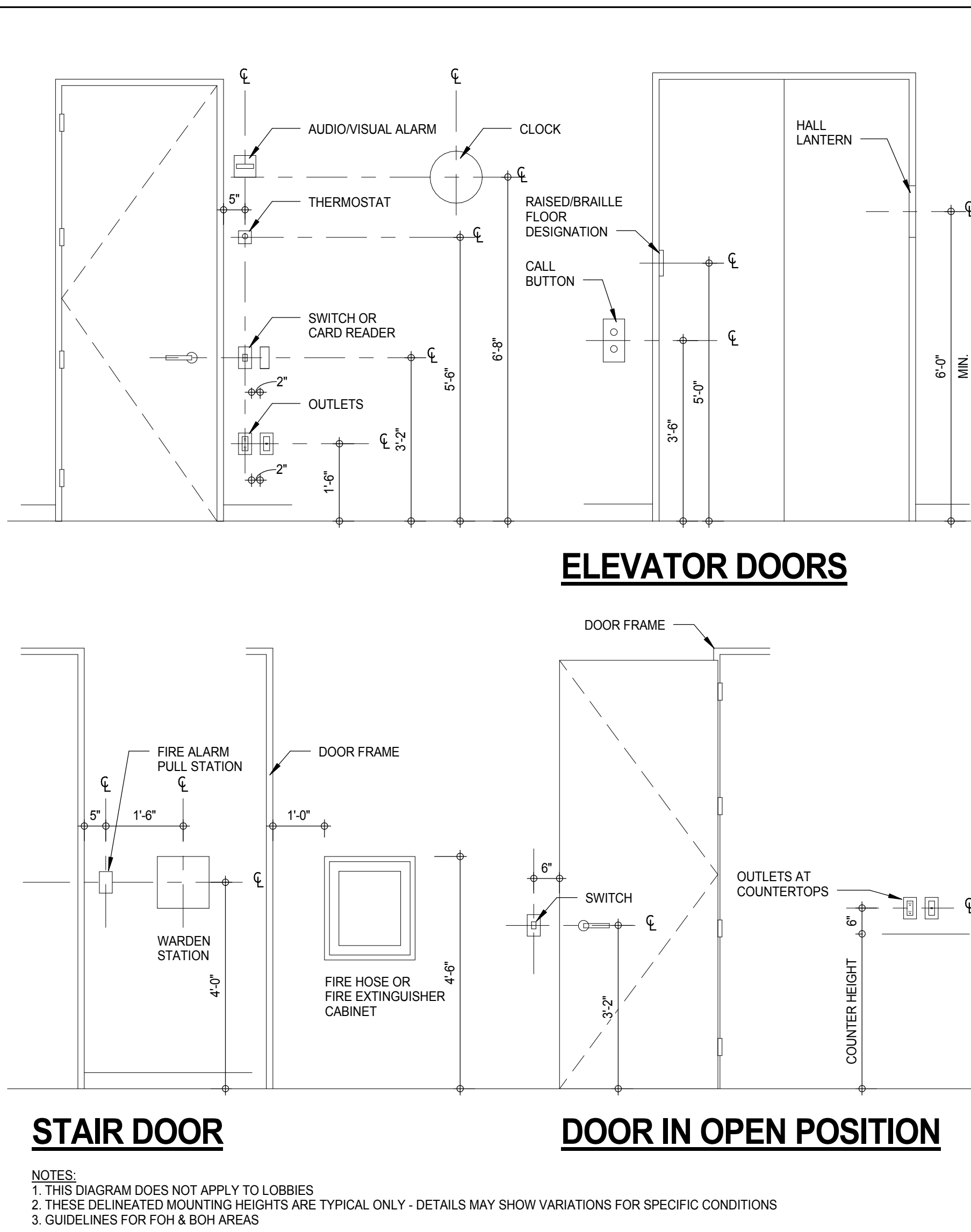
DRAWING TITLE:

**SECTION 81-27 ANALYSIS PLAN
AND SECTION ANGLES SCORING
VIEWPOINT 6**

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	2
DWG No:	SCALE:	
	Z-057.00	
DOB EMPLOYEE STAMP:	DOB PAGE No: 68 of 690	DOB B-SCAN:

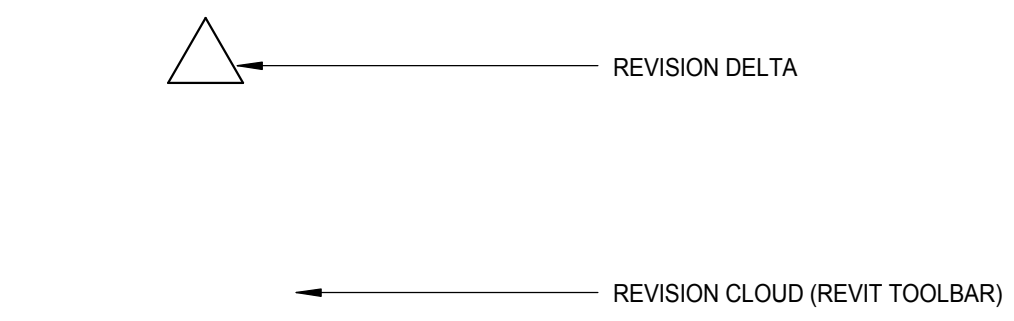
AAP	ALARM ANNUNCIATOR PANEL	HB	HOSE BIBB
ACST	ACROSTIC	HC	HOLLOW CORE
AD	AREA DRAIN	HD	HARDWOOD
AESS	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	HM	HOLLOW METAL
AF	ADJUSTABLE	HMD	HOLLOW METAL DOOR
AFU	AIR HANDLING UNIT	HMR	HOLLOW METAL FRAME
ALUM	ALUMINUM	HORIZ	HORIZONTAL
ANNO	ANNOUNCE	HP	HIGH POINT
ANT	ANTENNA	HT	HEIGHT
ASPH	ASPHALT	INSUL	INSULATION
AVB	AIR VAPOR BARRIER	INTER	INTERMEDIATE
BD	BOARD	JAN	JANITOR
BF	BRACED FRAME	JS	JANITOR'S SINK
BLD	BUILDING	L	ANGLE
BLK	BLOCK	LAD	LADDER
BOC	BOTTOM OF CURB	LAM GL	LAMINATED GLASS
BPL	BASE PLATE	LN	LINEAR
BRG	BEARING PLATE	LP	LOW POINT
BUR	BUILT UP ROOFING	M	MALE
C	CHANNEL	MECH	MECHANICAL
CATW	CATWALK	MEMB	MEMBRANE
CB	CATCH BASIN	MIN	MINIMUM
CEB	CERAMIC BASE	MIRR	MIRROR
CEM	CEMENT	MO	MASONRY OPENING
CER	CERAMIC	MTL	METAL
CO	CORNER GUARD	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OD	OVER FLOW DRAIN
CLD	CLADDING	OPG	OPENING
CLWG	CLEAR WIRE GLASS	PAR	PARTIAL
CMU	CONCRETE MASONRY UNIT	PC	PEOPLE COUNTER
COL	COLUMN	PCC	PRECAST CONCRETE
CON	CONCRETE	PE	PASSENGER ELEVATOR
CONC	CONCRETE	PERF	PERFORATED
CONT	CONTINUOUS	PCOR	PLASTIC CORRUGATE
COORD	COORDINATE	PLAS	PLASTIC
CORR	CORROSION	PLW	PLYWOOD
COV PL	COVER PLATE	PLYWD	PLYWOOD
CPT	CARPET	PO	POLISHED
CS	CAST STONE	PRE	PRECAST
CSK	COUNTER SINK	PREP	PREPARED
CT	CERAMIC TILE	PREFN	PREFINISH
CUN	CABINET UNIT HEATER	PRF	PAINT
CW	COMPLETE WITH	R	RISER
DA	DRAINAGE AREA	RA	RETURN AIR
DBL	DOUBLE	RAGR	RETURN AIR GRILLE
DSMO	DEMOLITION	RB	RUBBER BASE
DET	DETAIL	RC	REINFORCED CONCRETE
DF	DEFLECTION	RCP	REFLECTED CEILING PLAN
DEFL	DEFLECTOR	RD	ROOF DRAIN
DM	DRINKING FOUNTAIN	REIN	REINFORCE
DR	DOOR	REQD	REQUIRED
DWG	DRAWING	RF	RESINUS FLOORING
EA	EACH	RM	ROOM
EJ	EXPANSION JOINT	RO	ROUGH OPENING
ESB	EXTERIOR GYPSUM BOARD	RVL	ROUGH
ELEC	ELECTRIC	RWL	RAIN WATER LEADER
EL	ELEVATION	SA	SUPPLY AIR
ENR	ELEVATOR	SAB	SOUND ATTENUATION BLANKET (AND BOARD OR BATT)
EOS	EDGE OF SLAB	SAG	SOUND
EJ	EDGE	SE	SERVICE ELEVATOR
ESC	EXISTING	SE	SQUARE FOOT (FEET)
EXP	EXPOSED	SFTWD	SOFTWOOD
EXT	EXTERIOR	SHR	SHUTTER
EXT GR	EXTERIOR GRADE	SIM	SIMILAR
F	FEMALE	SPR	STARTING POINT
FA	FRESH AIR INTAKE	SPKLR	SPEAKER
FAP	FABRIC PANEL	SPKLR	SPEAKER
FCU	FAN COIL UNIT	SSL	STRUCTURAL SLAB LEVEL
FD	FLOOR DRAIN	SSS	STAINLESS STEEL
FE	FOUNDATION	ST	STONE
FEL	FIRE EXTINGUISHER	STC	SOUND TRANSMISSION CLASS
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FEL	FINISH FACE	STRUCT	STRUCTURAL
FFL	FINISH FLOOR LEVEL	SUSP	SUSPENDED
FD	FIXED GLASS	T	TREAD
FGL	FIBERGLASS	TD	TRENCH DRAIN
FGL	FIRE GLASS	TE	TOILET EXHAUST
FHL	FIRE HOSE CABINET	TER	TERRAZZO
FHR	FIRE HOSE RACK	TOP	TOP OF CURB
FN	FINISH	TG	TONGUE & GROOVE
FNOR	FINISH GRADE	THRES	THRESHOLD
FKT	FIXTURE	TMPO GL	TEMPERED GLASS
FLX	FLOOR FINISH	TOG	TOP OF GRADE
FLR FN	FLOOR FINISH	TOG	TOP OF GRADE
FOD	FACE OF FINISH	TOG	TOP OF GRADE
FOM	FACE OF MASONRY	TOG	TOP OF GRADE
FOS	FACE OF STUD	TOG	TOP OF GRADE
FOW	FACE OF WALL	TOG	TOP OF GRADE
FR	FIRE RESISTANCE RATED	TS	TYPICAL
FRW	FIRE RETARDANT TREATED WOOD	TS	TYPICAL
FR	FRAME	US	UNDERLIES OF
FR GL	FRITTED GLASS	UNO	UNLESS NOTED OTHERWISE
FR MIR	FRAMED MIRROR	UR	URINAL
FRS	FIBER REINFORCED GYPSUM	VB	VINYL BASE
FS	FLOOR SINK	VCT	VINYL COMPOSITE TILE
FTG	FOOTING	VERT	VERTICAL
FURN	FURNITURE	VEST	VESTIBULE
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GB	GRADE BEAM	VIR	VAPOR RETARDER
GE	GENERAL EXHAUST	WB	WALL BOARD
GFR	GLASS-FIBER-REINFORCED CONC.	WCST	WALL COVERING
GFRG	GLASS-FIBER-REINFORCED GYPSUM	WD	WOOD
GL BLK	GLASS BLOCK	WD	WOOD
GL	GLASS	WH	WEEP HOLE
GLZ	GLAZING	WM	WIRE MESH
GFRP	GLASS-FIBER-REINFORCED PLASTER	WP	WORKING POINT
GLU LAM	GLUED LAMINATED WOOD	WPM	WATERPROOF MEMBRANE
GL	GRILLE		
GRTG	GRATING		
GYP BD	GYPSUM BOARD		

ARCHITECTURAL ABBREVIATIONS

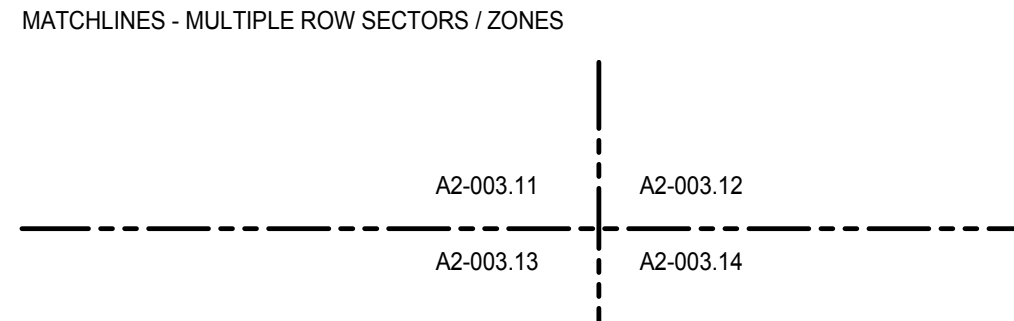


AA-TYPICAL MOUNTING HEIGHTS OF DEVICES

REVISION CLOUD & DELTA

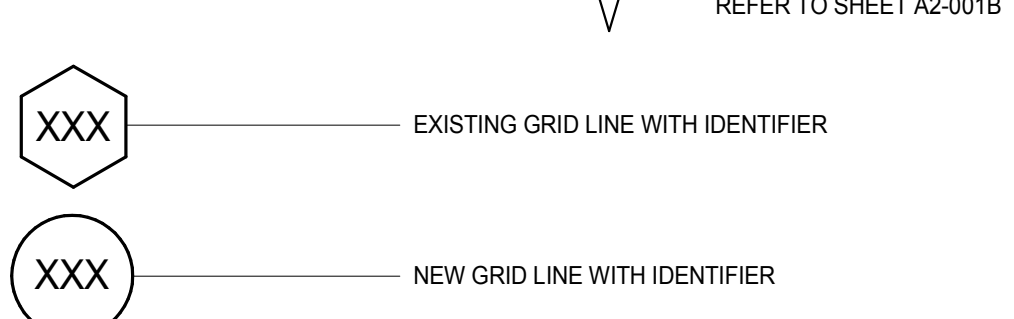


LINE TYPES



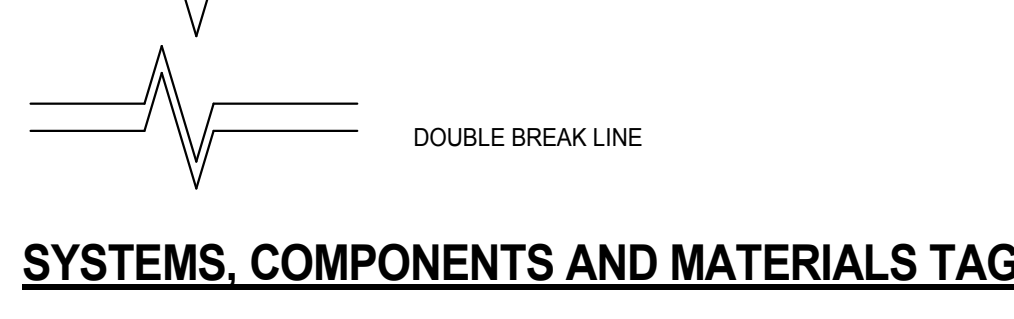
SYSTEMS, COMPONENTS AND MATERIALS TAG

REFER TO SPECIFICATIONS FOR TRS SCHEDULE



NIC FIXTURE/EQUIPMENT TAG

REFER TO SPECIFICATIONS FOR TRS SCHEDULE



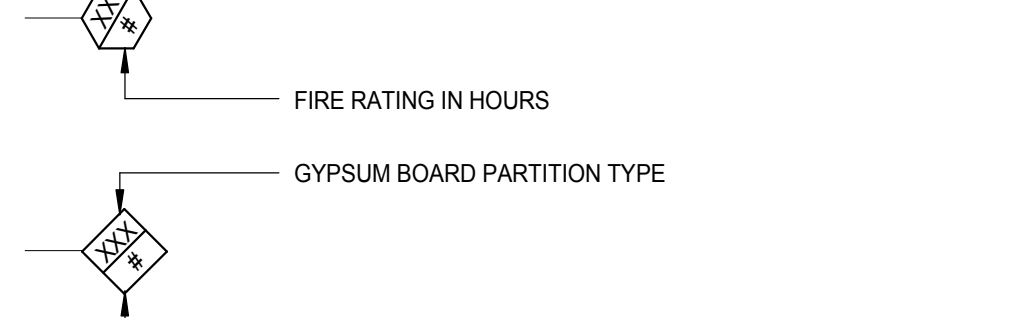
WALL TYPES

REFER TO SHEET A0-015 (GYPSUM) AND A0-016 (CMU) FOR NUMBERING SYSTEM



ROOM AND DOOR NUMBERING

FF = FLOOR LEVEL
A = SECTOR/ZONE NUMBER (ONLY USED WHEN REQUIRED OTHERWISE REMOVE)
XXX = SEQUENTIAL NUMBER
B = SEQUENTIAL LETTERS STARTING AT 'A'



STAIR / ESCALATOR / ELEVATOR NUMBERING

ST-XXX: STAIRS
FE-XXX: FREIGHT ELEVATOR
SE-XXX: SERVICE ELEVATOR
ELEV-X: PASSENGER ELEVATOR
ESC-XXX: ESCALATORS
MST-X: MISC. METAL STAIR

WINDOW TAG

W-1: WINDOW

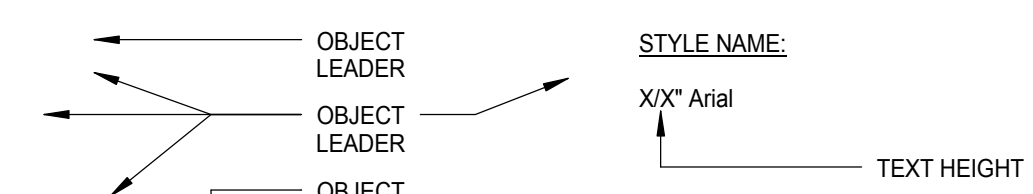
TEXT STYLE



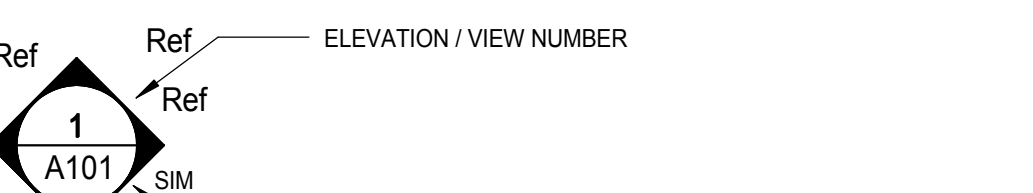
DIMENSION STYLE



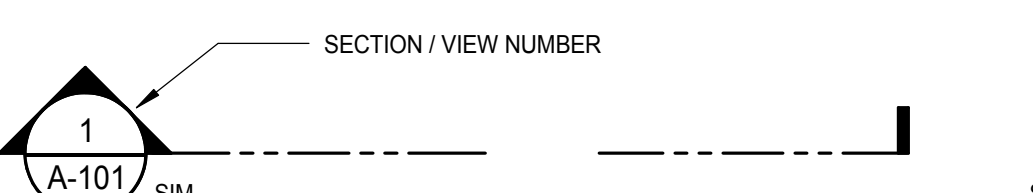
LEADER STYLE



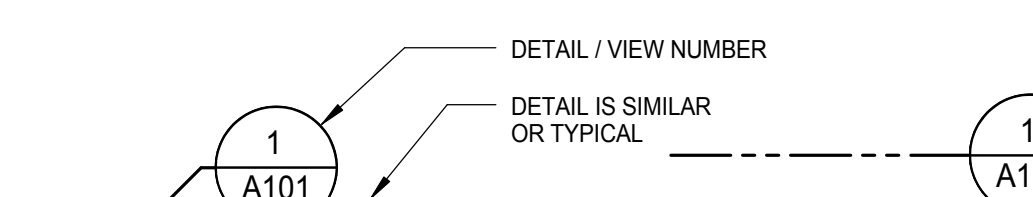
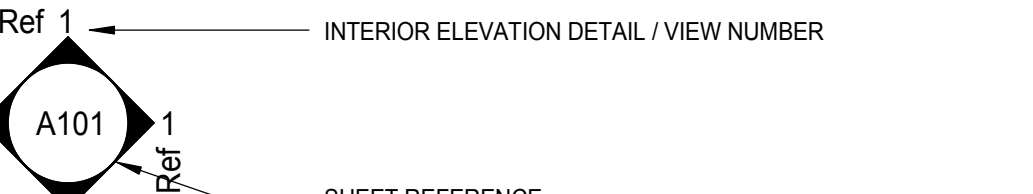
ELEVATION REFERENCE



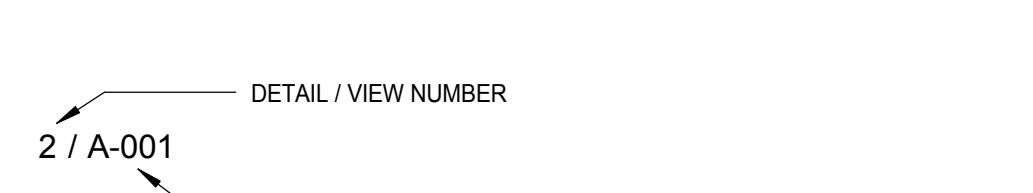
SECTION REFERENCE



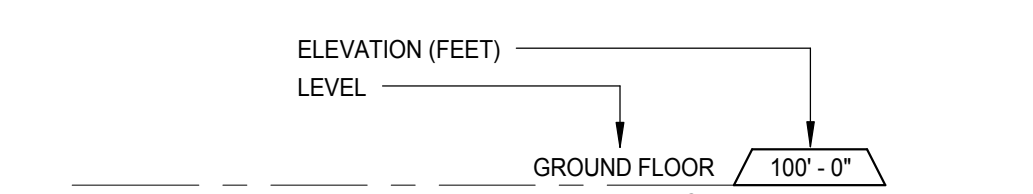
INTERIOR ELEVATION



VIEW REFERENCE



ELEVATION



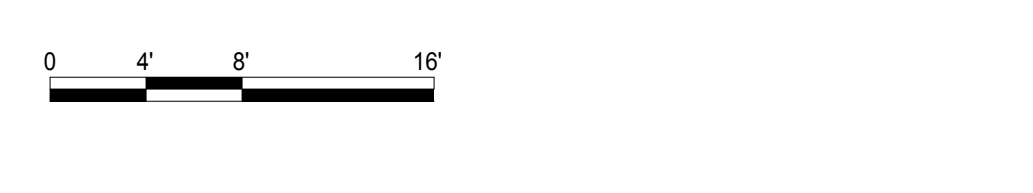
SPOT ELEVATION



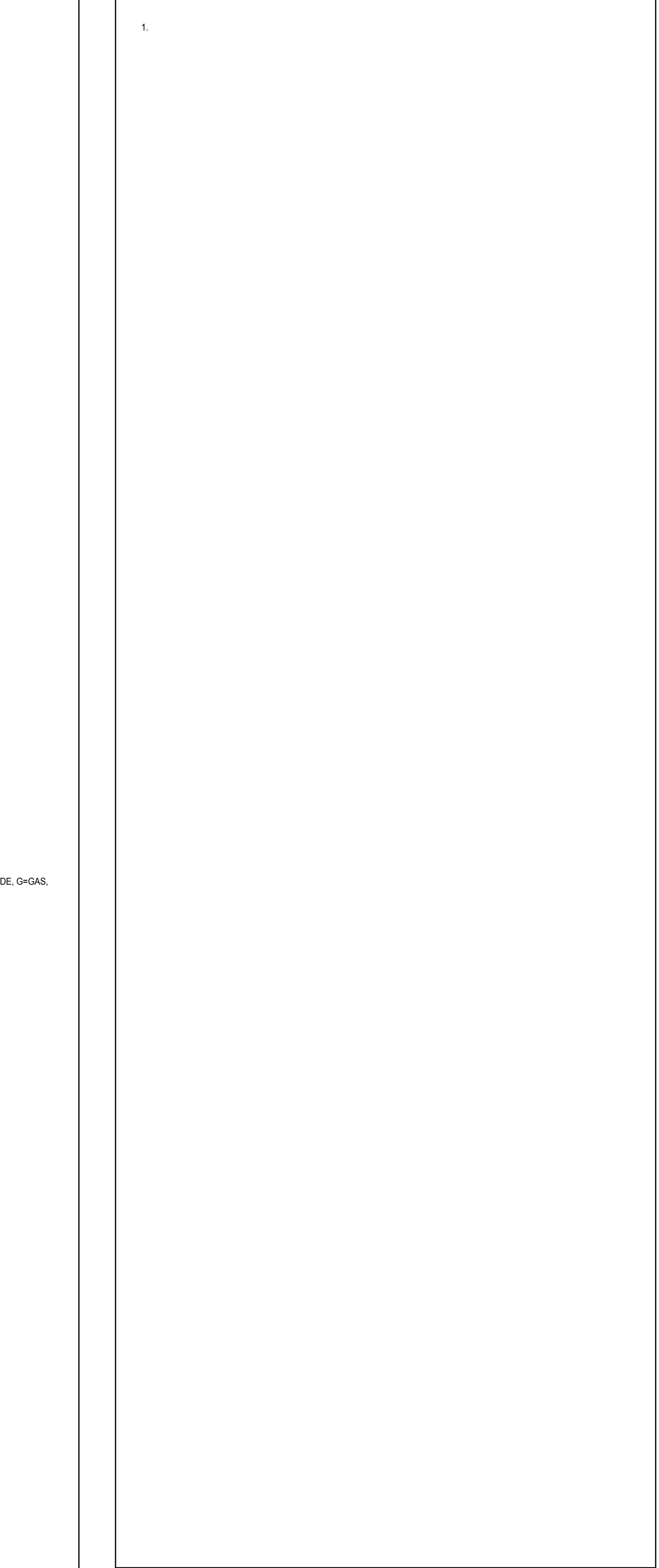
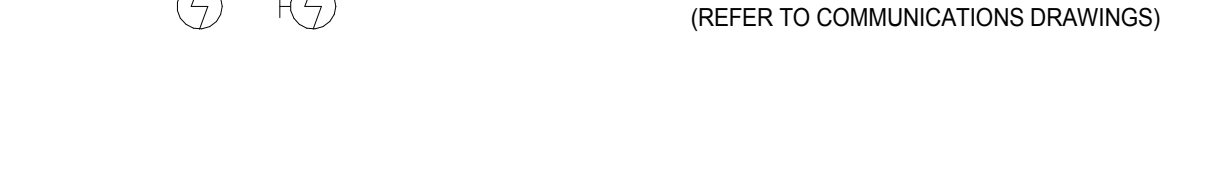
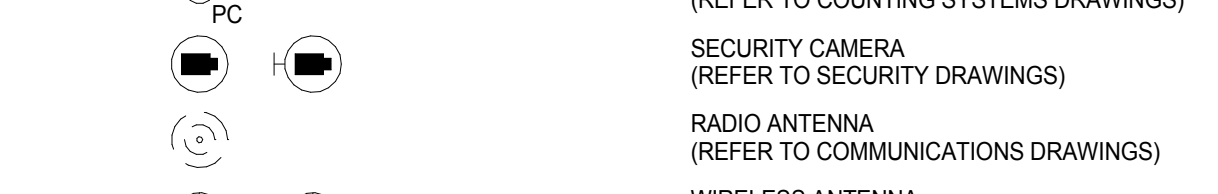
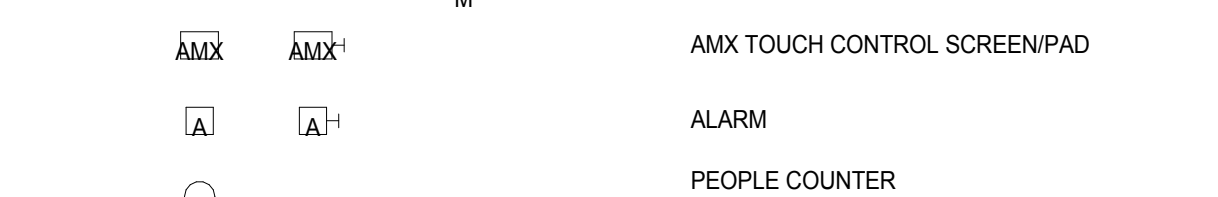
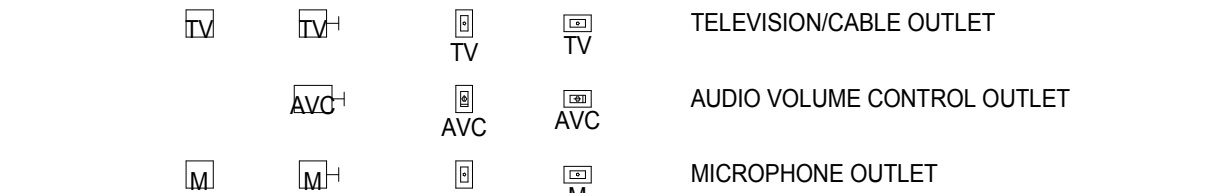
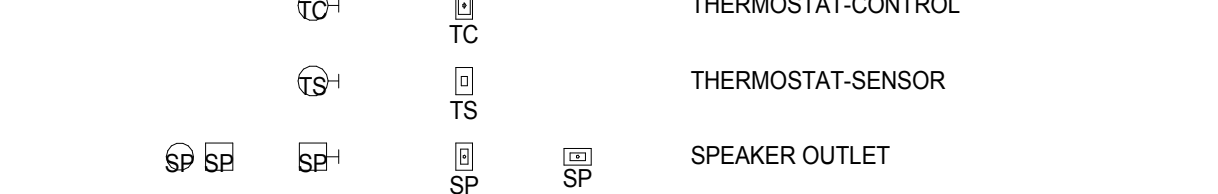
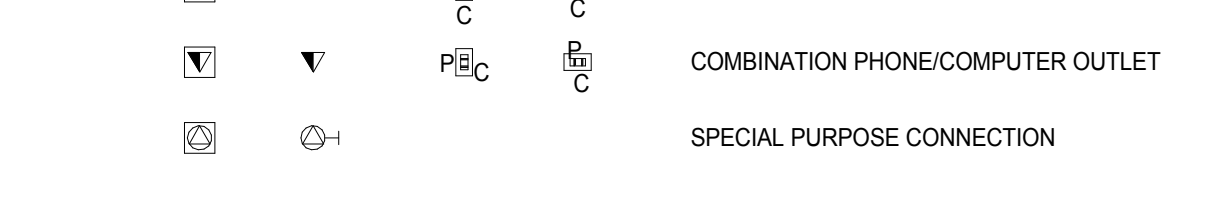
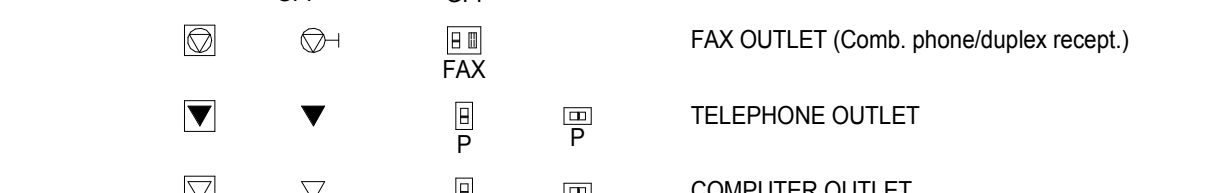
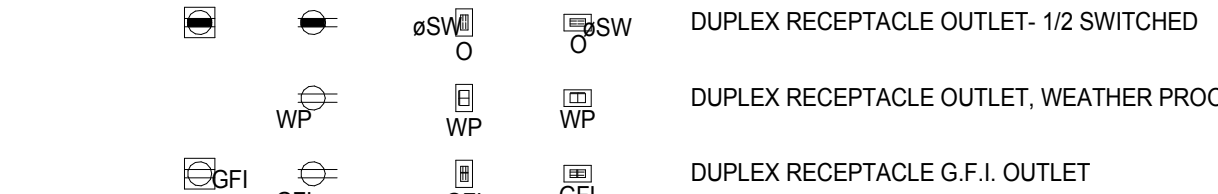
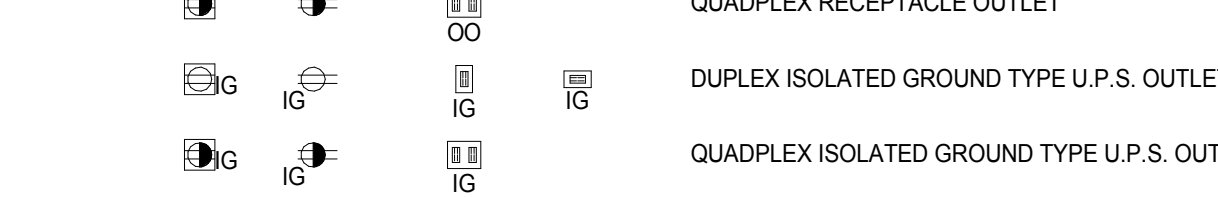
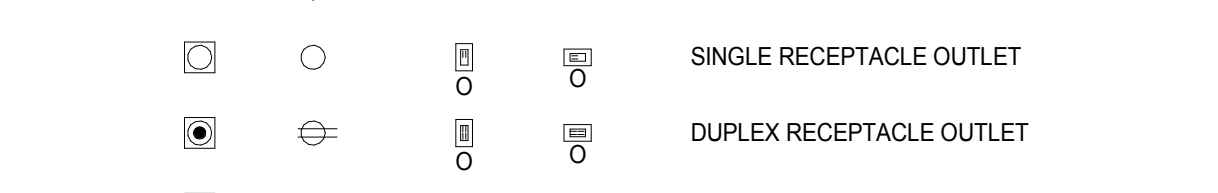
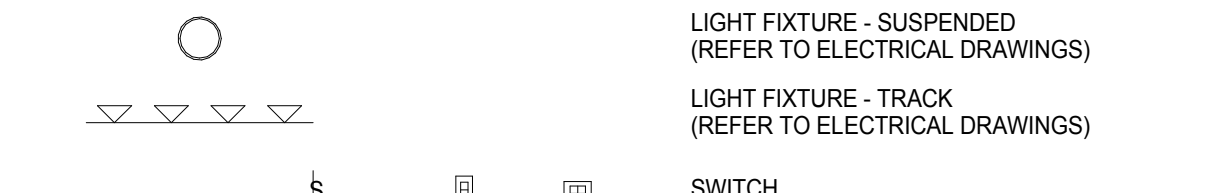
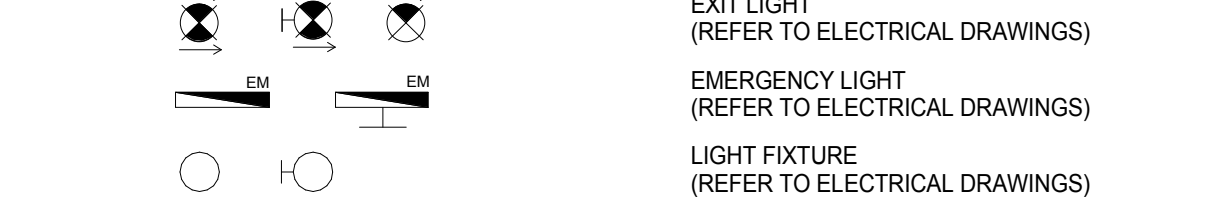
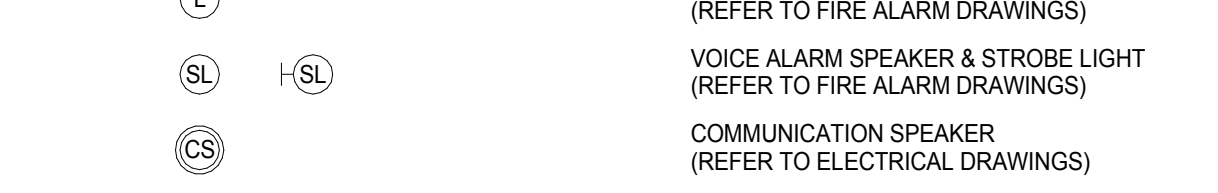
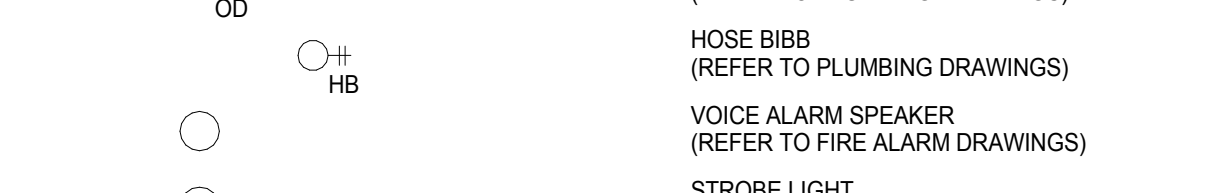
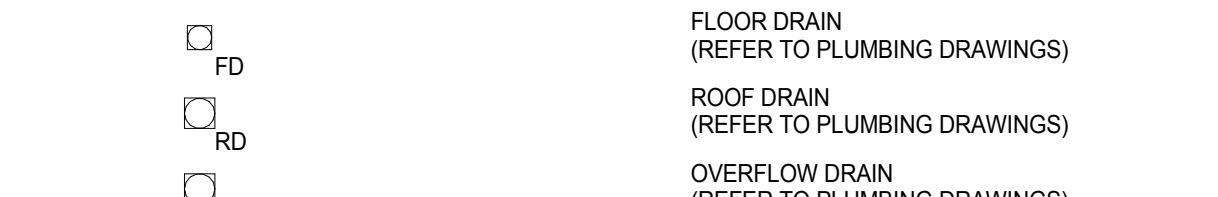
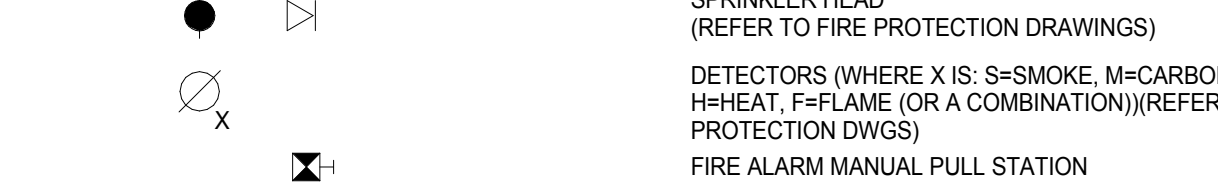
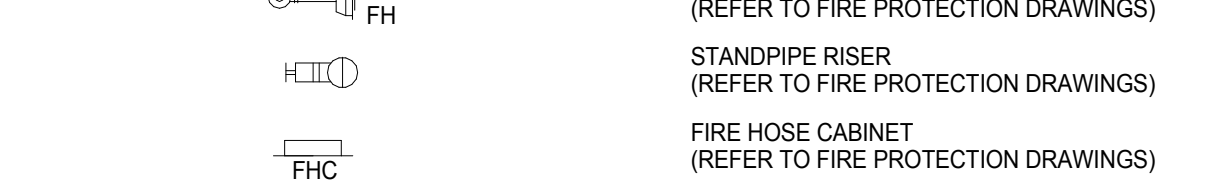
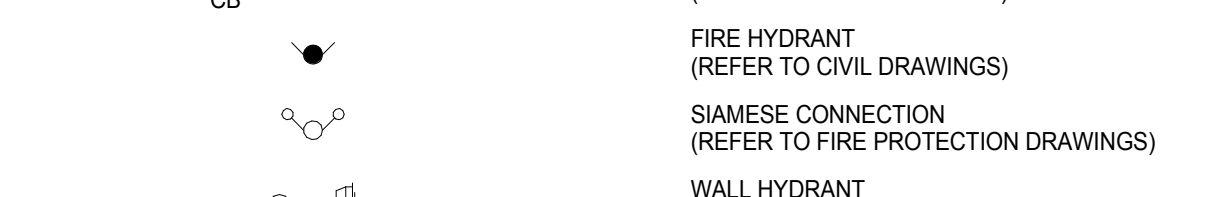
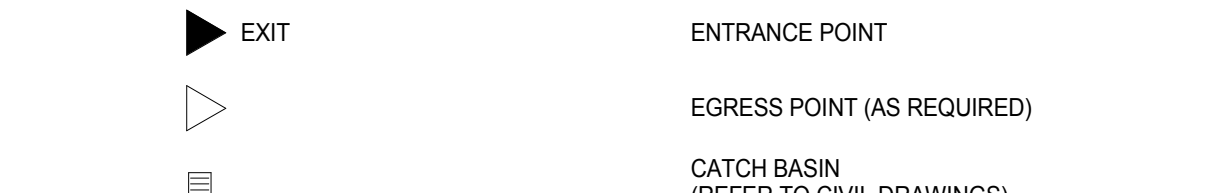
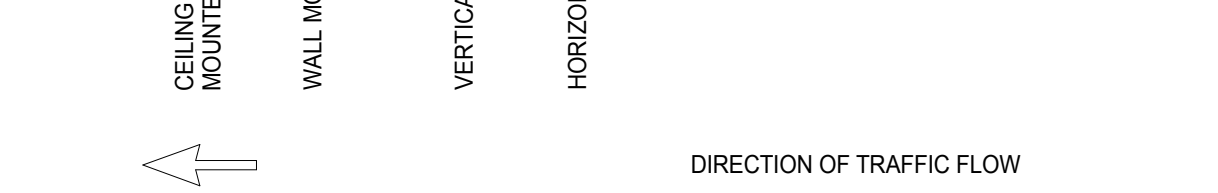
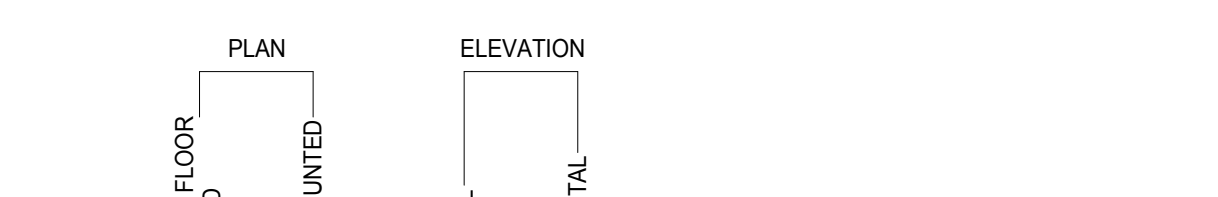
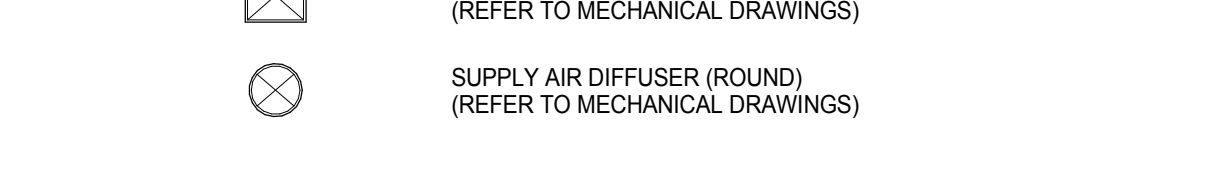
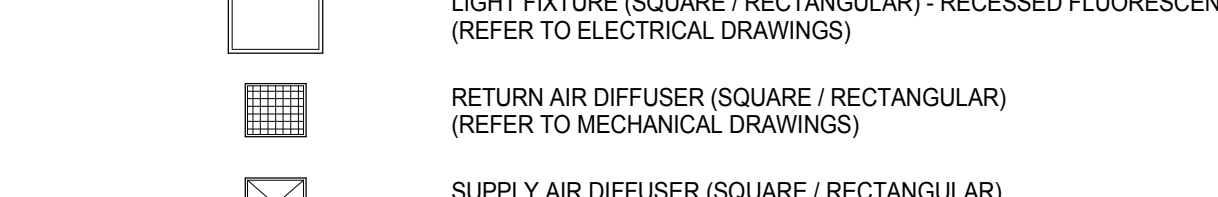
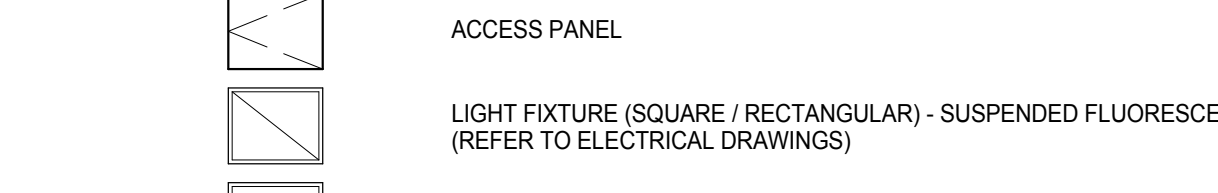
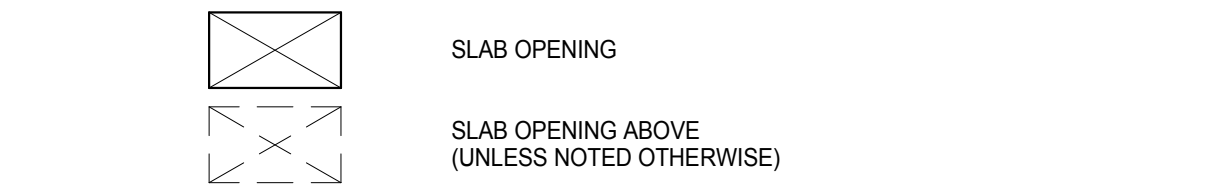
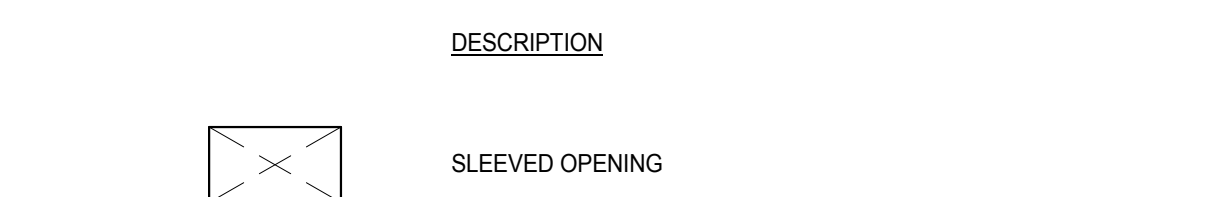
WORKING POINT



GRAPHIC SCALE



HATCHES / GRAPHICS



GENERAL NOTES

PATTERN	MATERIAL
	ALUMINUM
	CERAMIC TILE
	CONCRETE
	PLASTER
	GLASS
	GYPSUM BOARD
	BATT / FIBRE INSULATION
	STONE
	PLYWOOD
	PRECAST (CONCRETE)
	RIGID OR SEMI-RIGID INSULATION
	CONCRETE BLOCK
	EARTH
	STEEL
	GRAVEL

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

GENERAL NOTES, STANDARDS AND ABBREVIATIONS

SEAL & SIGNATURE:

DATE: 09 JUN 2014

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: As indicated

DWG No: **A-001.00**

DOB PAGE No: 69 of 930

DOB EMPLOYEE STAMP:

DOB S-SCAN:

AA-GENERAL LEGEND (GRAPHICS)

AA-NOTES AND SYMBOLS (GRAPHICS)

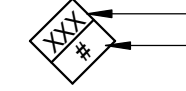
MATERIALS

GYPSUM BOARD PARTITION NUMBERING STRATEGY

ASSEMBLY TYPE	STUD/CHANNEL SIZE	SPECIAL
A	X 0 NONE 1 7/8" STUD 2 2-1/2" STUD 3 3-1/2" STUD 4 3-5/8" STUD 5 4" STUD 6 4" STUD 7 6" STUD 8 6" STUD	A NONE B 1 LAYER 5/8" ALUMINUM FOIL BACKED C HARDENED CAVITY SHAFT WALL D DOUBLE STUD SPACING AS INDICATED E HARDENED CAVITY SHAFT WALL WITH 3" MINERAL WOOL INSULATION IN CAVITY AND 1" AIR SPACE F G H I J K L M N O P Q R S T U V W X Y Z
B	STUD OR CHANNEL	2" or 3" SOUND ATTENUATION BLANKET IN CAVITY - THERMALLY INSULATED
C	STUD OR CHANNEL	
D		
E		
F		
G		
H		
I		
J		
K		
L		
M		
N		
O		
P		
Q		
R		

GYPSUM BOARD PARTITION NOTES

GYPSUM BOARD PARTITION SYMBOL

 PARTITION DESIGNATION
FIRE RATING


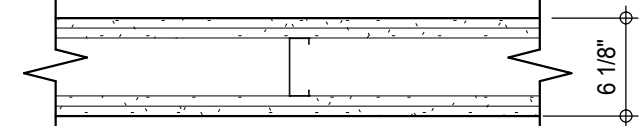





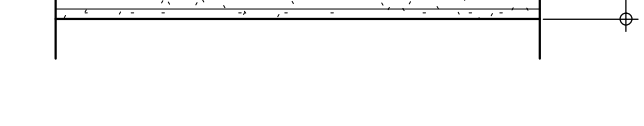

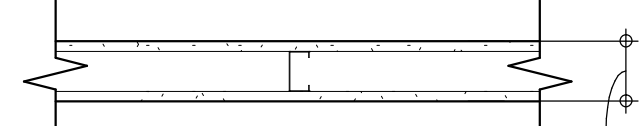


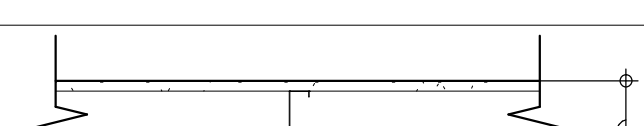

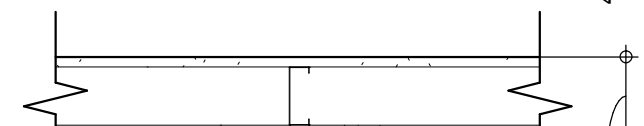


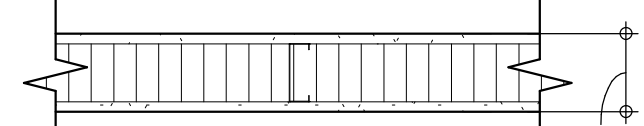
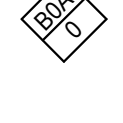
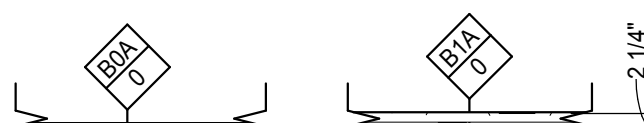

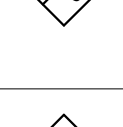


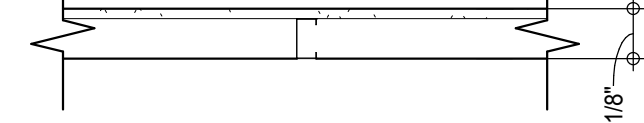




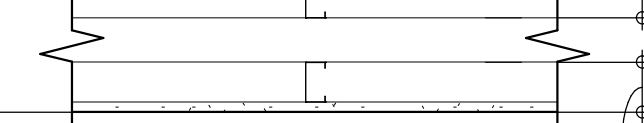




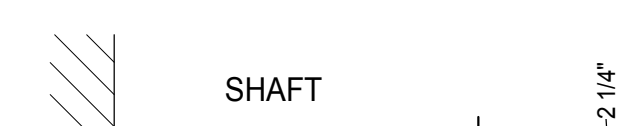


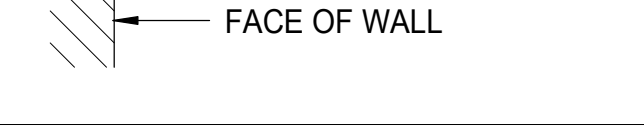



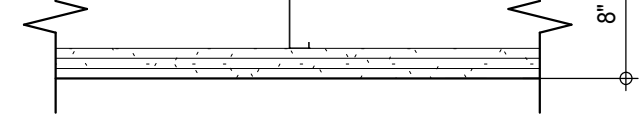

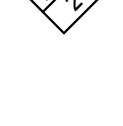

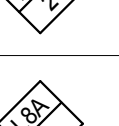
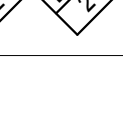
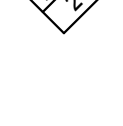
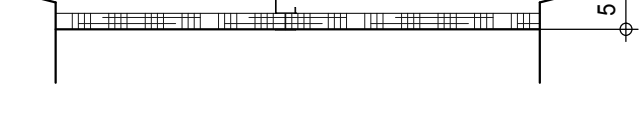
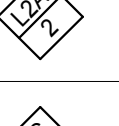
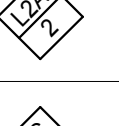

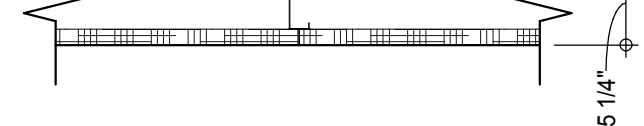
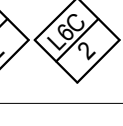





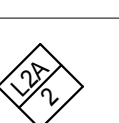
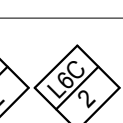
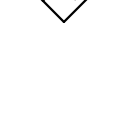
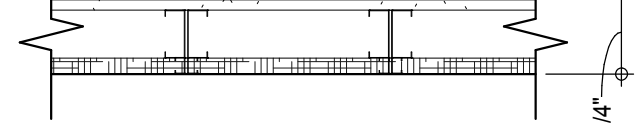

GENERAL NOTES:

- ALL PARTITIONS TO EXTEND TO UNDERSIDE OF STRUCTURE ABOVE EXCEPT FOR WALL FURRING.
- WALL FURRING TO EXTEND 6" MINIMUM ABOVE CEILING FINISH, EXCEPT IN ROOMS WITHOUT CEILING, EXTEND TO SLAB, UNLESS OTHERWISE NOTED.
- PROVIDE ADDITIONAL HORIZONTAL BRACING OR HORIZONTAL SUPPORT IF LIMITING HEIGHT IS EXCEEDED.
- PROVIDE 1/4 GA. STEEL PLATE TO UNDERSIDE OF BEAM FOR HEAD OF WALL AT GYPSUM BOARD PARTITION. IF OVERLAPPING, DISTANCE BETWEEN BEAM & METAL STUD IS LESS THAN 2/3 OF METAL STUD WIDTH.
- FOR FIRE RATED SHAFT WALL, CEILING/DOOR ENCLOSURE DETAILS, REFER TO ARCHITECTURAL DRAWINGS.
- FOR WALLS WITH TILE FINISH USE ALLOWABLE DEFLECTION CRITERIA OF L/80, (SEE SPECIFICATIONS FOR RELATED INFORMATION).
- FOR WALLS WITH TILE FINISH USE 20 GA. STEEL STUDS.
- ALL FIRE RATED AND ACOUSTIC RATED PARTITIONS TO HAVE GYPSUM PANEL JOINTS FINISHED.
- REPLACE FACE LAYER OF GYPSUM BOARD ON WASHROOM SIDE AND JANITORS ROOM SIDE WITH 16mm GYPSUM BOARD, FIRECODE CORE (WATER RESISTANT).
- PROVIDE THERMAL INSULATION AT EXTERIOR WALL LOCATIONS.

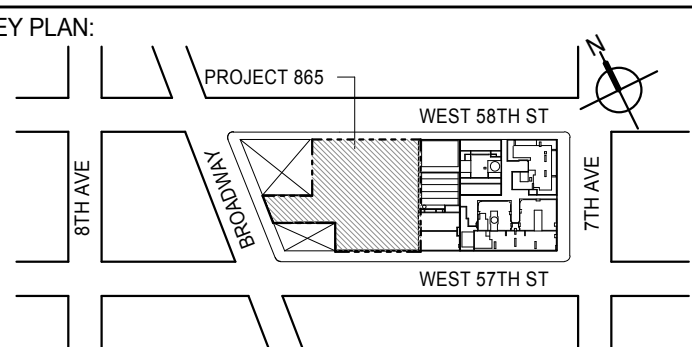
FIRE RATING

30min	45min	60min	90min	120min
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GYPSUM BOARD PARTITION SCHEDULE

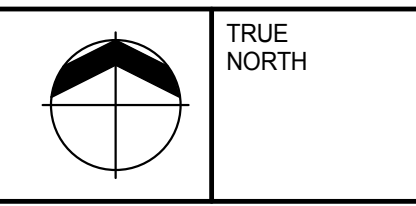
PARTITION DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT No.	ASSEMBLY DIAGRAM	DESCRIPTION	HEIGHT LIMITATIONS			STEEL FRAMING
					AIR PRESSURE	ALLOWABLE DEFLECTION	LIMITING HEIGHT	
	2 HOUR	U419		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	5 psf	L/240	14'-7"	 3 5/8" 20 GA. STEEL STUDS @ 16" O.C.
	2 HOUR	U419		DEMISING WALL 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES. 1 1/2" MINERAL WOOL BATT INSULATION.	7.5 psf	L/240	12'-4"	
	NOT RATED	N/A		2 LAYERS 5/8" GYPSUM BOARD BOTH SIDES. 1 1/2" MINERAL WOOL BATT INSULATION.	10 psf	L/240	10'-8"	
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.	5 psf	L/240	12'-6"	 2 1/2" 25 GA. STEEL STUDS @ 24" O.C.
	NOT RATED	N/A			5 psf	L/360	10'-0"	
	1 HOUR	U419		1 LAYER 5/8" FIRECODE CORE GYPSUM BOARD BOTH SIDES.	5psf	L/240	13'-6"	 3 5/8" 25 GA. STEEL STUDS @ 24" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.				
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES. 1 1/2" MINERAL WOOL BATT INSULATION.				
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD				
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5psf	L/240	11'-0"	 2 1/2" 25 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A			5psf	L/360	9'-0"	
	NOT RATED	N/A		POCKET DOOR CAVITY 1 LAYER 5/8" GYPSUM BOARD ONE SIDE. 1 1/2" MINERAL WOOL BATT INSULATION. POCKET DOOR SPACE. 1 1/2" MINERAL WOOL BATT INSULATION. 1 LAYER 5/8" GYPSUM BOARD ONE SIDE.				
	2 HOUR	UL DESIGN U805 ESABR-47-SM EQUIVALENT TO MEA		SOLID VERTICAL SHAFT WALL 1 LAYER 5/8 FIRECODE CORE GYPSUM BOARD. 1 LAYER 1" GYPSUM LINER BOARD. 1 LAYER 5/8 FIRECODE CORE GYPSUM BOARD.	5 psf	L/240		
	3 HOURS	UL DESIGN U419 (OR U455)		3 LAYERS 5/8 WATER RESISTANT GYPSUM BOARD, FIRECODE "C" CORE, ON OUTER SIDE RC-1 CHANNEL OR EQUIVALENT ONE SIDE, SPACED @ 24" O.C. 3" THERMAFIBER 1 LAYER 5/8" ALUMINUM FOIL BACKED GYPSUM BOARD, FIRECODE "C" CORE 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE "C" CORE, ON INNER SIDE.				 3 5/8" 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	12'-10"  25'-1"	 2 1/2" 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOUR	UL DESIGN U415				L/360	13'-4"  21'11"	
	2 HOURS	MEA 189-06-M U415		HARDENED CAVITY SHAFT WALL LOCAL LAW 28 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD FIRECODE CORE FACE LAYER 1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L/240	13'-4"  21'11"	 4" 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOUR	UL DESIGN U415			10 psf	L/240	12'-1"  10'-7"  10'-4"	
	2 HOURS			HARDENED CAVITY SHAFT WALL LOCAL LAW 28 2 LAYERS 5/8" FIBER ROCK WHI 1 LINER 1" LINER BOARD BETWEEN PANELS. STUDS.	10 psf	L/240	20'-0"	 4" DOUBLE E 20 GA. (C-H) STUDS @ 12" O.C.
	2 HOURS	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYER 5/8" GYPSUM BOARD ONE LINER SIDE. 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE OPPOSITE SIDE. 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	15'-3"  15'-10"	
				HARDENED CAVITY SHAFT WALL LOCAL LAW 28 1 LAYER 5/8" GYPSUM BOARD ON LINER SIDE. GYPSUM BOARD FIRECODE CORE FACE LAYER. 1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE. 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L/240	13'-4"  12'-1"	
					10 psf	L/240	10'-7" 	

KEY PLAN



PROJECT #89
WEST 9TH ST
7TH AVE
WEST 57TH ST

PROJECT NORTH



TRUE NORTH

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1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
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AAI
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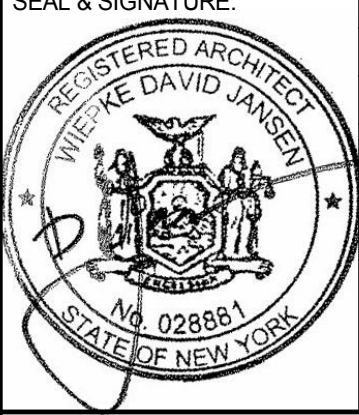
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217 WEST 57TH STREET
NEW YORK, NY

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PARTITION SCHEDULE - 1

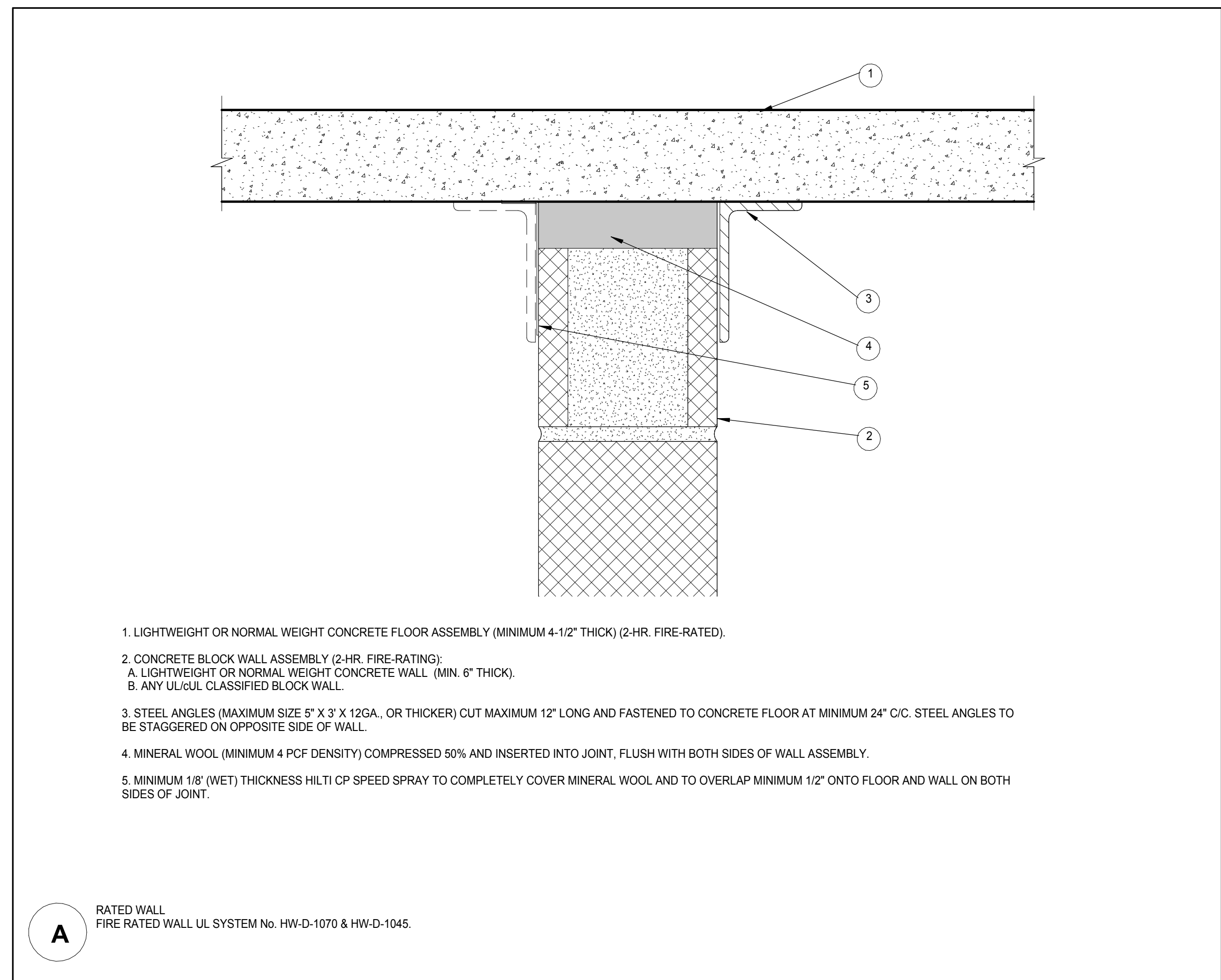
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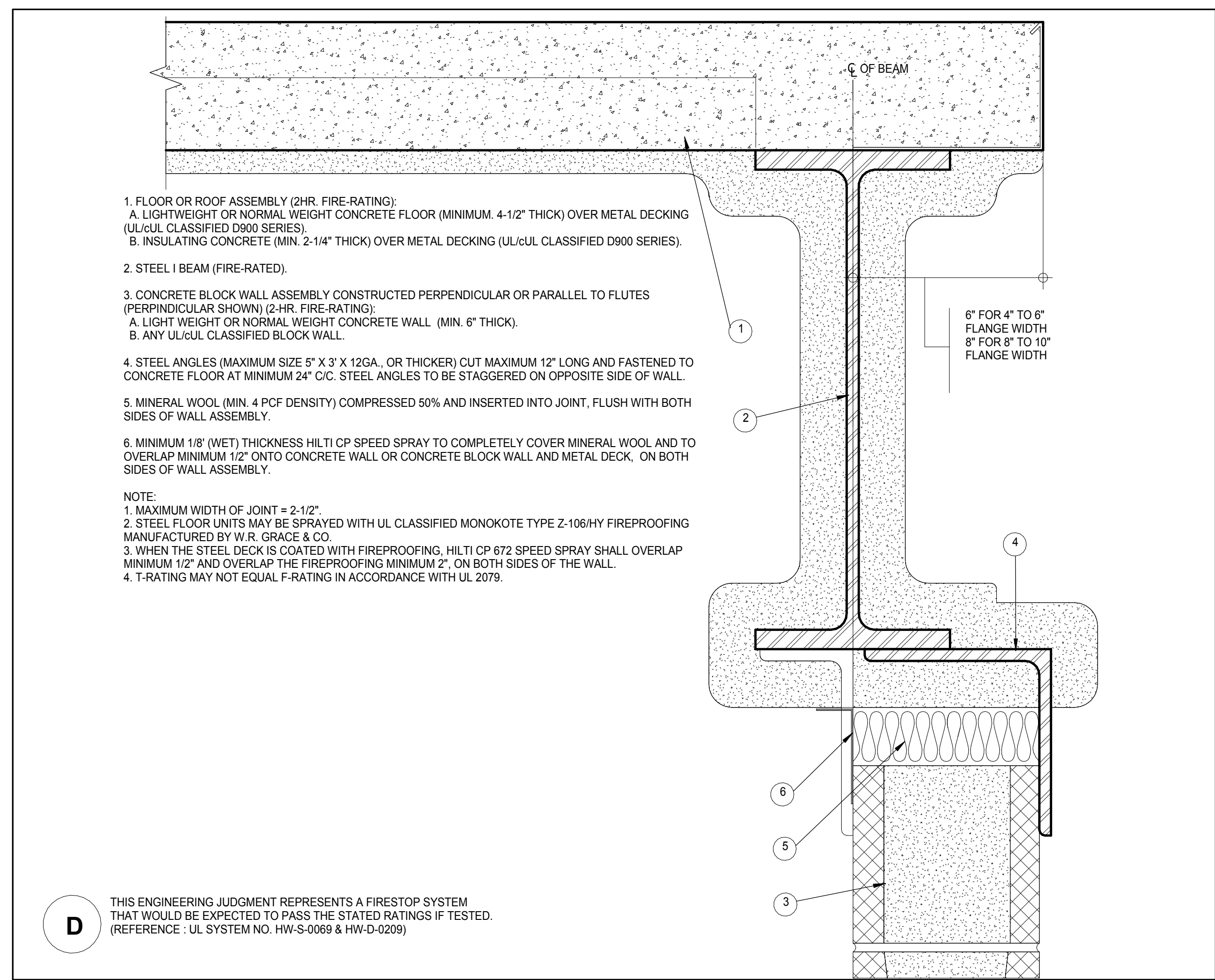
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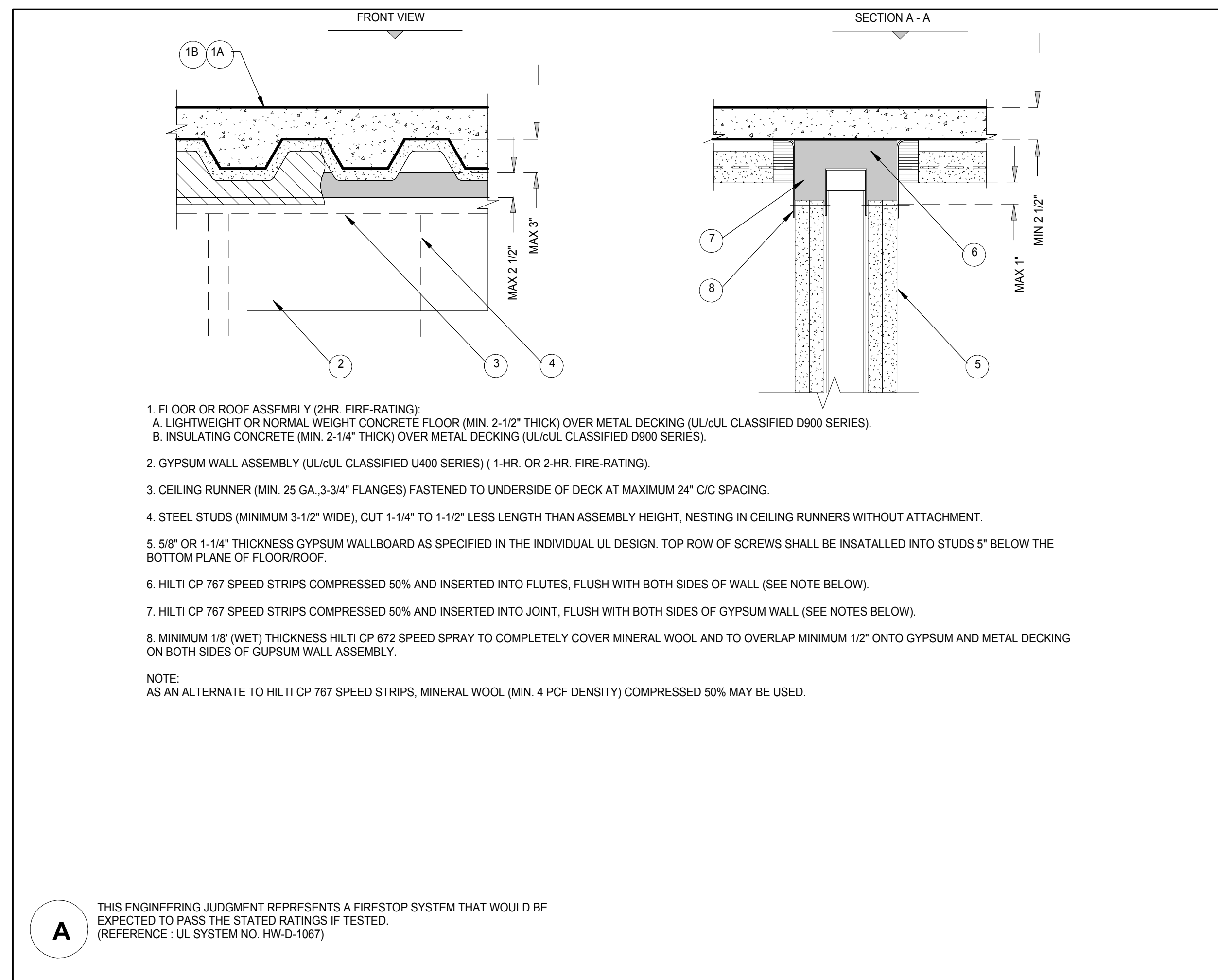
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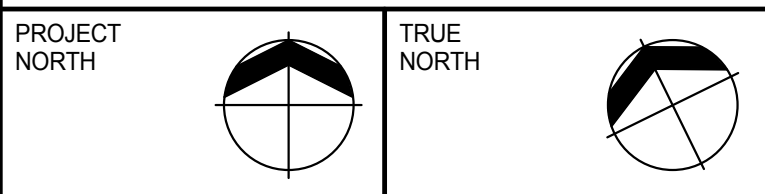
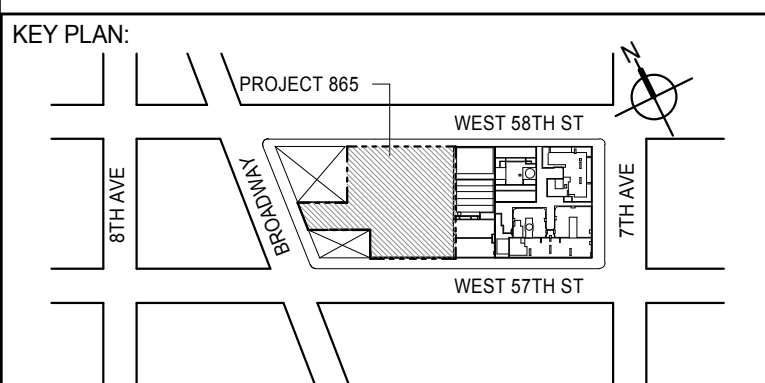
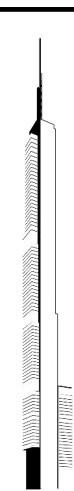
FIRE STOP DETAILS 12



FIRE STOP DETAIL



FIRE STOP DETAIL



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1	CD PROGRESS ISSUE 2	19 DEC 14
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	D.O.B. SUBMISSION	27 APR 14

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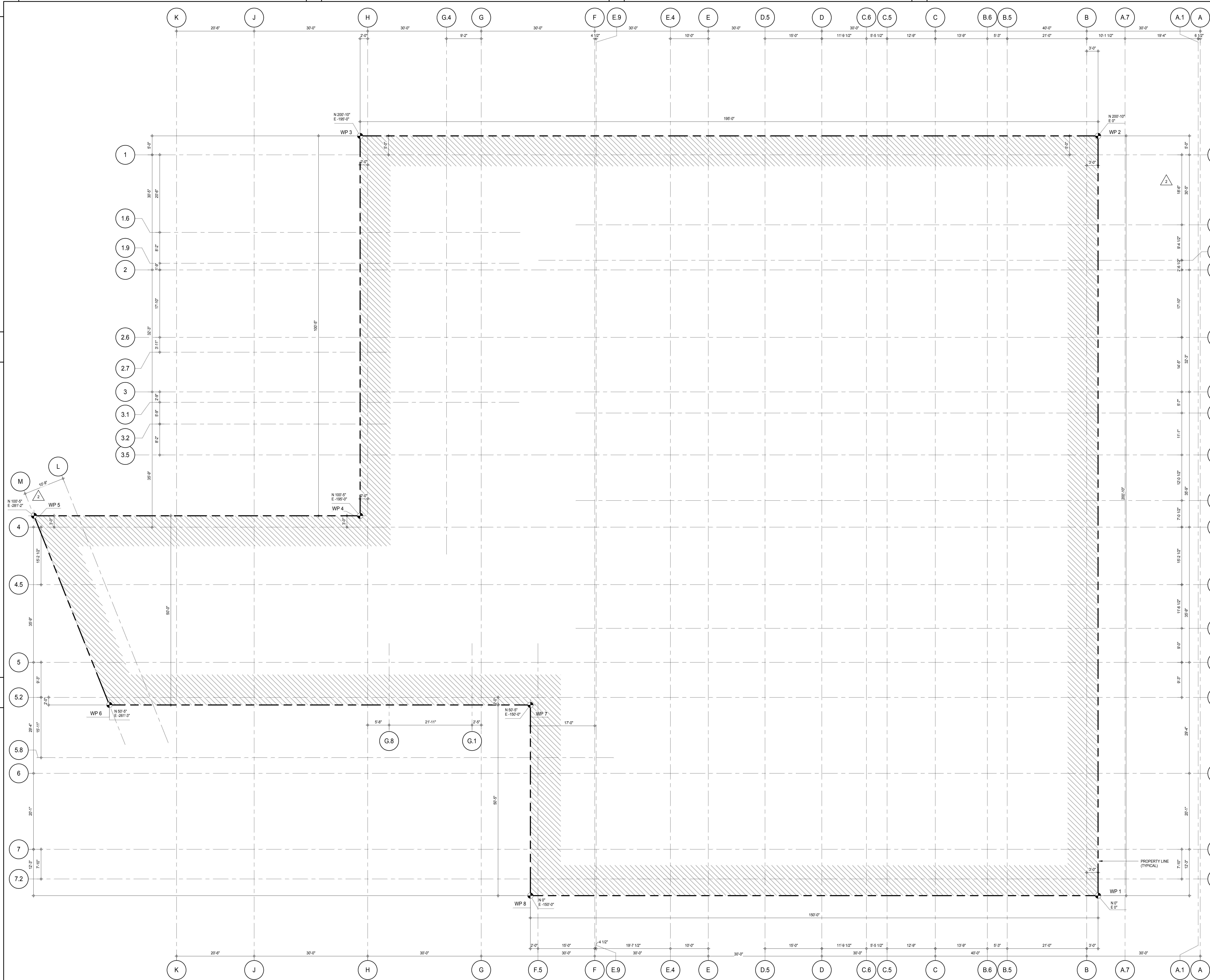
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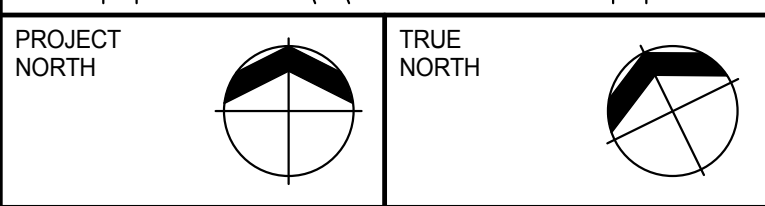
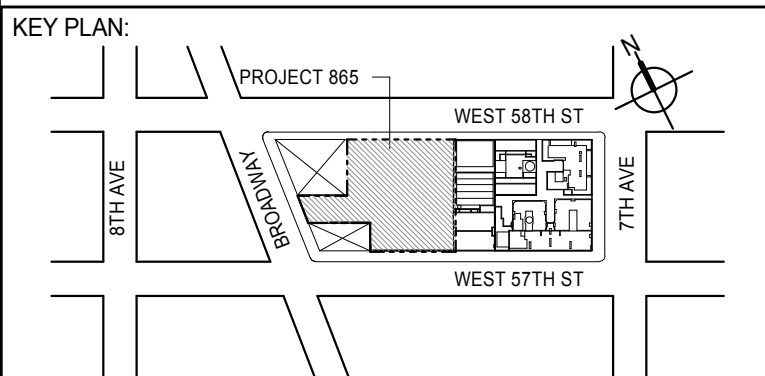
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DOB EMPLOYEE STAMP:	DOB PAGE No: 63 of 500	
	DOB B-SCAN:	

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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NOTE:

- PROPERTY LINE BASED ON SURVEY BY - EARL B. LOVELL - S.P. BELCHER, INC. - DATED OCTOBER 6 2010 - AMENDMENT FEBRUARY 5 2013
- PROPERTY LINE IS CREATED BASED ON BLOCK STANDARD DIMENSIONS IN THE REFERRED SURVEY
- NORTHING AND EASTING ARE BASED ON WP-1 AS THE PROJECT BENCH MARK
- NORTHING AND EASTING ARE BASED ON PROJECT NORTH
- PROJECT DATUM WP-1 IS +79.36' ABOVE MANHATTAN DATUM



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0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
GRIDLINES SETTING OUT PLAN

SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/8" = 1'-0" DWG No: A-011.00
DOB EMPLOYEE STAMP:	DOB PAGE No: 68 of 690 DOB S-SCAN:

CODE NOTES

APPLICABLE CODE NOTES

THE BUILDING IS DESIGNED IN ACCORDANCE TO THE 2008 NEW YORK CITY CONSTRUCTION CODES (LOCAL LAW 33/2007 AND PLUMBING CODE 99/2005). THE FOLLOWING IS A SUMMARY OF COMPLIANCE.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

MAIN OCCUPANCY
RESIDENTIAL
MERCANTILE

GROUP R-2
GROUP M

INCIDENTAL ACCESSORY USE AREAS
BUSINESS
ACCESSORY ASSEMBLY SPACE <75 PERSONS
ACCESSORY ASSEMBLY SPACE >75 PERSONS
FACTORY AND INDUSTRIAL - LOW-HAZARD
HIGH HAZARD (FUEL OIL STORAGE)
STORAGE - MODERATE-HAZARD
STORAGE - LOW-HAZARD

GROUP B
GROUP R-2
GROUP A-3
GROUP F-2
GROUP H-2
GROUP S-1
GROUP S-2

(BC 302.1.1) INCIDENTAL USE AREAS AND MIXED OCCUPANCIES INCLUDING ACCESSORY OCCUPANCIES - PORTIONS OF BUILDING WITH MULTIPLE OCCUPANCIES OR USES IS DESIGNED TO COMPLY WITH SECTION 508.

CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

(BC 403.4) HIGH-RISE BUILDING - THIS BUILDING CONTAINS OCCUPIED FLOORS LOCATED MORE THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS AND, AS SUCH, IS DESIGNED TO MEET THE DESIGN CRITERIA FOR HIGH-RISE BUILDINGS DESCRIBED IN THIS SECTION.

(BC 403.4.1.1) FOR OCCUPANCIES GROUPS OTHER THAN R-2, EMERGENCY POWER SYSTEMS SHALL BE PROVIDED FOR POWER LOADS OF, EXIT SIGNS AND MEANS OF EGRESS ILLUMINATION REQUIRED BY CHAPTER 10; ELEVATOR CAR LIGHTING, AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEMS, AUTOMATIC FIRE DETECTION SYSTEMS, FIRE ALARM SYSTEMS, POWER AND LIGHTING FOR THE FIRE COMMAND CENTER REQUIRED BY SECTION 403.6, ELECTRICALLY POWERED FIRE PUMPS, AND VENTILATION AND AUTOMATIC FIRE DETECTION EQUIPMENT FOR SMOKEPROOF ENCLOSURES, ELEVATORS IN ACCORDANCE WITH SECTION 3003, AND STAIR PRESSURIZATION SYSTEMS.

(BC 403.11.1) FOR OCCUPANCY GROUP R-2, EMERGENCY POWER SYSTEMS SHALL BE PROVIDED FOR POWER LOADS OF, EXIT SIGNS AND MEANS OF EGRESS ILLUMINATION REQUIRED BY CHAPTER 10; AT LEAST ONE ELEVATOR SERVING ALL FLOORS, OR ONE ELEVATOR PER BANK WHERE DIFFERENT BANKS SERVE DIFFERENT PORTIONS OF THE BUILDING, EMERGENCY VOICE COMMUNICATIONS SYSTEMS, AND ELECTRICALLY POWERED FIRE PUMPS, UNLESS ELECTRICAL POWER TO THE MOTOR IS TAKEN AHEAD OF THE MAIN FROM THE STREET SIDE OF THE HOUSE SERVICE SWITCH.

(BC 403.12) STAIRWAY DOOR OPERATION - DOORS OPENING INTO INTERIOR STAIR ENCLOSURES SHALL NOT BE LOCKED FROM EITHER SIDE. HOWEVER, A DOOR LOCKED FROM THE STAIR SIDE MAY BE PERMITTED PROVIDED THAT SUCH DOOR IS EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM FOR OPENING IN THE EVENT OF THE ACTIVATION OF ANY AUTOMATIC FIRE DETECTION SYSTEM, OR WHEN ANY ELEVATOR RECALL IS ACTIVATED, OR WHEN ANY SIGNAL IS RECEIVED FROM THE FIRE COMMAND CENTER. SUCH DOOR SHALL BE DEEMED AS OPENABLE FROM THE STAIR SIDE. STAIR REENTRY SIGNS SHALL BE POSTED THROUGHOUT THE STAIRWAY INDICATING THAT REENTRY IS PROVIDED ONLY DURING FIRE EMERGENCIES. SUCH SIGNS SHALL BE IN ACCORDANCE WITH SECTION 1026.4.2

(BC 403.12.1) STAIRWAY COMMUNICATIONS SYSTEM, A TELEPHONE OR OTHER TWO-WAY COMMUNICATIONS SYSTEM CONNECTED TO AN APPROVED CONSTANTLY ATTENDED STATION SHALL BE PROVIDED AT NOT LESS THAN EVERY FIFTH FLOOR IN EACH REQUIRED STAIRWAY WHERE STAIR SIDE DOORS ARE LOCKED.

(BC 403.13) FOR OCCUPANCIES GROUPS OTHER THAN R-2, SMOKEPROOF EXIT ENCLOSURES-EVERY REQUIRED STAIRWAY SERVING OCCUPIED FLOORS MORE THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL COMPLY WITH SECTIONS 909.20 AND 1019.1.8

(BC 403.13) FOR OCCUPANCY GROUPS R-2 SMOKEPROOF EXIT ENCLOSURES ARE NOT REQUIRED FOR STAIRWAYS.

(BC 403.15) IMPACT-RESISTANT STAIR ENCLOSURES. EXIT STAIR ENCLOSURES SHALL BE CONSTRUCTED OF IMPACT-RESISTANT WALLS.

(BC 403.16) FOR OCCUPANCIES GROUPS OTHER THAN R-2, EXIT PATH MARKINGS, HIGH-RISE BUILDINGS SHALL BE PROVIDED WITH PHOTOLUMINESCENT EXIT PATH MARKINGS CONFORMING TO SECTION 1026.

(BC 403.16) FOR OCCUPANCY GROUPS R-2 EXIT PATH MARKINGS-PHOTOLUMINESCENT EXIT PATH MARKINGS ARE NOT REQUIRED.

(BC 405) UNDERGROUND BUILDINGS - THIS BUILDING CONTAINS OCCUPIED FLOORS LOCATED MORE THAN 30 FEET BELOW THE LOWEST LEVEL EXIT DISCHARGE AND, AS SUCH, IS DESIGNED TO MEET THE DESIGN CRITERIA FOR UNDERGROUND BUILDINGS DESCRIBED IN THIS SECTION.

(BC 405.4.1) COMPARTMENTATION - THIS BUILDING DOES NOT CONTAIN A FLOOR MORE THAN 80 FEET BELOW THE LOWEST LEVEL EXIT DISCHARGE. NO COMPARTMENTATION IS REQUIRED.

(BC 405.8.1) NUMBER OF EXITS - EACH UNDERGROUND FLOOR LEVEL IS PROVIDED WITH A MINIMUM OF TWO EXITS.

(BC 405.8.2) SMOKEPROOF ENCLOSURE. EVERY REQUIRED STAIRWAY SERVING FLOOR LEVELS MORE THAN 30 FEET BELOW ITS LEVEL OF EXIT DISCHARGE SHALL COMPLY WITH THE REQUIREMENTS FOR A SMOKEPROOF ENCLOSURE.

(BC 406.7.6) (3) CURB CUT DOES NOT COMMENCE WITHIN 8 FEET OF SIDE LOT LINE.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

(BC 501.3.1) THREE SIDES OF BUILDING PERIMETER FRONT ON THREE STREETS; WEST 57TH STREET, WEST 58TH STREET AND BROADWAY.

(BC 501.3.2) ACCESSIBLE ENTRANCES, ROUTES AND SPACES ARE PROVIDED.

(BC 503) THE BUILDING IS TO BE OF TYPE IB CONSTRUCTION AND AS SUCH BUILDING HEIGHT AND AREA ARE UNLIMITED FOR OCCUPANCY GROUPS R-2, R-1, M, B, F-2 AND S-2.

(BC 504.3) ROOFTOP STRUCTURES EXCEEDING 33 1/3 PERCENT OF ROOF AREA OF BUILDING HAVE BEEN CONSIDERED AS STORIES.

(BC 508.3) MIXED OCCUPANCIES - EACH PORTION OF A BUILDING IS INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1 WHERE A BUILDING CONTAINS MORE THAN ONE OCCUPANCY GROUP. THE BUILDING OR PORTION THEREOF HAS BEEN DESIGNED TO COMPLY WITH SECTION 508.3.1, 508.3.2, 508.3.3 OR A COMBINATION OF THESE SECTIONS.

(BC 508.3.1) ACCESSORY OCCUPANCIES - IN PORTIONS OF BUILDING WHERE AGGREGATE ACCESSORY OCCUPANCIES AREAS ON A STORY ARE LESS THAN 10 PERCENT OF FLOOR AREA OF THAT STORY, FIRE SEPARATION IS NOT REQUIRED BETWEEN ACCESSORY OCCUPANCY AND MAIN OCCUPANCY.

(BC 508.3.2) NONSEPARATED MIXED OCCUPANCIES - THIS BUILDING IS OF TYPE IB CONSTRUCTION AND AS SUCH MEETS THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, GIVEN THE BUILDING HEIGHT AND AREA. FOR GROUP R-2, M, A-3, F-2, AND S-2 USES, FIRE SEPARATIONS ARE NOT REQUIRED BETWEEN THESE OCCUPANCIES, EXCEPT AS REQUIRED BY OTHER PROVISIONS. GROUP H-2 AND S-1 USES HAVE BEEN PROVIDED WITH FIRE SEPARATIONS BETWEEN OTHER OCCUPANCIES AS REQUIRED IN TABLE BC 706.4.

(BC 508.3.3) SEPARATED MIXED OCCUPANCIES - THIS BUILDING IS OF TYPE IB CONSTRUCTION AND AS SUCH MEETS THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, GIVEN THE BUILDING HEIGHT AND AREA. FOR GROUP R-2, M, A-3, F-2, AND S-2 USES, INDIVIDUAL OCCUPANCIES SHALL BE SEPARATED FROM ADJACENT OCCUPANCIES IN ACCORDANCE WITH TABLE 508.3.3.

FIRE SEPARATIONS

REQUIRED SEPARATION OF OCCUPANCIES (HOURS), (BC TABLE 508.3.3)

OCC. GROUP	ADJACENT OCC.	REQ. RATINGS
M	M	NR
M	A	2
M	F-1	3
M	F-2	2
M	H-2	2
M	R-2	2
M	S-1	3
M	S-2	2
F-2	A	2
F-2	F-1	3
F-2	F-2	NR
F-2	H-2	2
F-2	R-2	2
F-2	S-1	3
F-2	S-2	2

OCC. GROUP	ADJACENT OCC.	REQ. RATINGS
R-2	R-2	NR
R-2	A	2
R-2	F-1	3
R-2	F-2	2
R-2	H-2	4
R-2	M	2
R-2	S-1	3
R-2	S-2	2

*NOTE: PERMITTED TO REDUCE BY 1 HOUR IN FIRE RATINGS FROM BC TABLE 508.3.3 WHEN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED, BUT FIRE RATING IN NO CASE SHALL BE LESS THAN THAT REQUIRED BY FLOOR CONSTRUCTION OR LESS THAN 1 HOUR, WHICHEVER IS HIGHER. SEE TABLE 601 FOR FLOOR CONSTRUCTION FIRE-RESISTANCE RATING REQUIREMENTS.

OCCUPANCY SEPARATION NOT REQUIRED FOR STORAGE AREAS SERVING GROUP M LESS THAN 10% OF FLOOR AREA AND 3,000 SF IN A FULLY SPRINKLERED BUILDING. (SEE BC TABLE 508.3.3, FOOTNOTE 8.1)

OCCUPANCY SEPARATION NOT REQUIRED FOR STORAGE AREAS LESS THAN 3,000 SF IN A FULLY SPRINKLERED BUILDING. (SEE BC TABLE 508.3.3, FOOTNOTE 8.2)

CODE NOTES (CONTINUED)

CHAPTER 6 - TYPES OF CONSTRUCTION

(BC SEC.602.2) THE FOLLOWING TYPE IB CONSTRUCTION MINIMUM (BC 602.1) FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS ARE MET: (BC TABLE 601)

BUILDING ELEMENT	TYPE I-B
STRUCTURAL FRAME (INCLUDING COLUMNS, GIRDERS, TRUSSES)	2-HRS
BEARING WALLS - EXTERIOR	2-HRS
BEARING WALLS - INTERIOR	2-HRS
NONBEARING WALLS AND PARTITIONS - EXTERIOR	
FIRE SEPARATION DISTANCE <9'	3-HRS
OCCUPANCY GROUP H	2-HRS
OCCUPANCY GROUP F-1, M, S-1	2-HRS
OCCUPANCY GROUP A, F-2, R, S-2	1-HRS

FIRE SEPARATION DISTANCE ≥ 5' TO <10'
OCCUPANCY GROUP H
OCCUPANCY GROUP F-1, M, S-1
OCCUPANCY GROUP A, F-2, R, S-2

2-HRS
1-HRS
1-HRS

FIRE SEPARATION DISTANCE ≥ 10' TO <30'
OCCUPANCY GROUP H
OCCUPANCY GROUP F-1, M, S-1
OCCUPANCY GROUP A, F-2, R, S-2

2-HRS
1-HRS
1-HRS

FIRE SEPARATION DISTANCE ≥30'
(THE DISTANCE TO THE CENTER OF ALL SURROUNDING STREETS IS GREATER THAN 30')

0-HRS

NONBEARING WALLS AND PARTITIONS - INTERIOR

0-HRS

FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)

2-HRS

ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS)

1-HRS

*NOTE: ROOF SUPPORTS, FIRE-RESISTANCE RATINGS OF STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHERE SUPPORTING A ROOF ONLY.

CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION

MAXIMUM AREA OF EXTERIOR WALL OPENINGS ARE MET (BC TABLE 704.8)

ALL OCCUPANCY GROUPS (EXCEPT GROUP R-2)	FIRE SEPARATION DISTANCE PROTECTED	PERMITTED % OPENINGS
≤3'-0"	YES	NOT PERMITTED
>3'-0" ≤5'-0"	YES	10%
>5'-0" ≤10'-0"	NO	10%*
>10'-0" ≤15'-0"	NO	15%*
>15'-0" ≤20'-0"	NO	25%*
>20'-0" ≤25'-0"	NO	45%*
>25'-0" ≤30'-0"	NO	70%*
>30'-0"	NO	NO LIMIT

* NOTE: OCCUPANCY GROUP H-2 UNPROTECTED OPENINGS NOT PERMITTED WITH A FIRE SEPARATION DISTANCE LESS THAN 15 FEET.

OCCUPANCY GROUP R-2 (PER NOTE (K))	FIRE SEPARATION DISTANCE PROTECTED	PERMITTED % OPENINGS
≤5'-0"	YES	10%
>3'-0" ≤5'-0"	NO	15%
>5'-0" ≤10'-0"	NO	25%
>10'-0" ≤15'-0"	NO	45%*
>15'-0" ≤20'-0"	NO	75%*
>20'-0" ≤30'-0"	NO	NO LIMIT
>30'-0"	NO	NO LIMIT

(BC TABLE 705.4) FIRE WALL RESISTANCE RATINGS - THE FOLLOWING FIRE RATINGS ARE PROVIDED AROUND THE OCCUPANCIES THAT PRESENT RESTRICTIVE AREA AND HEIGHT LIMITATIONS FOR TYPE IB CONSTRUCTION AS DESCRIBED IN BC TABLE 503:

HIGH HAZARD (H-2) (FUEL OIL STORAGE) 4-HRS
STORAGE - MODERATE-HAZARD (S-1) 3-HRS

SHAFT ENCLOSURES 2-HRS
EXIT ENCLOSURES 2-HRS
EXIT PASSAGEWAYS 1-HRS
(CONNECTED TO EXIT ENCLOSURES)
HORIZONTAL EXIT 2-HRS
(NO UNPROTECTED OPENINGS)

(BC 707.13.1) REFUSE CHUTE ENCLOSURE - THE SHAFT ENCLOSURE CONTAINING A REFUSE CHUTE SHALL NOT BE USED FOR ANY OTHER PURPOSE AND SHALL HAVE A FIRE-RESISTANCE RATING OF 2 HOURS. OPENINGS INTO THE SHAFT, INCLUDING THOSE FROM ACCESS ROOMS AND TERMINATION ROOMS, SHALL BE PROTECTED IN ACCORDANCE WITH THIS SECTION AND SECTION 715 OPENINGS INTO CHUTES SHALL NOT BE LOCATED IN EXIT ACCESS CORRIDORS. OPENING PROTECTIVES SHALL BE SELF-CLOSING.

(BC 707.13.2) SHAFT ENCLOSURE CONTAINING REFUSE CHUTE SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS.

(BC 707.13.3) REFUSE CHUTE ACCESS ROOMS. ACCESS OPENINGS FOR REFUSE CHUTES ARE PROVIDED IN DEDICATED ROOMS COMPLETELY ENCLOSED BY CONSTRUCTION THAT HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS. OPENINGS INTO THE ACCESS ROOMS SHALL BE PROTECTED BY OPENING PROTECTIVES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 1 1/2 HOUR AND SHALL BE SELF-CLOSING.

(BC 707.13.4) REFUSE CHUTE SHALL DISCHARGE INTO AN ENCLOSED ROOM COMPLETELY SEPARATED FROM THE REMAINDER OF THE BUILDING BY CONSTRUCTION THAT HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 3 HOURS. OPENINGS INTO THE TERMINATION ROOM SHALL BE PROTECTED BY OPENING PROTECTIVES HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 1 1/2 HOURS AND SHALL BE SELF-CLOSING.

(BC 707.13.6) AUTOMATIC FIRE SPRINKLER SYSTEM. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.2.10.2.

(BC TABLE 715.3) FIRE DOOR AND FIRE SHUTTER FIRE PROTECTION RATINGS - THE MINIMUM FIRE DOOR AND FIRE SHUTTER ASSEMBLY RATING PERMITTED WITH RATED FIRE BARRIERS ARE AS FOLLOWS:

4-HR RATED BARRIERS	3-HR
3-HR RATED BARRIERS	2-HR
2-HR RATED BARRIERS	1 1/2-HR
1 1/2-HR RATED BARRIERS	1-HR
1-HR RATED BARRIERS	3/4-HR

* TWO DOORS, EACH WITH A FIRE PROTECTION RATING OF 1 1/2 HOURS, INSTALLED ON OPPOSITE SIDES OF THE SAME OPENING IN A FIRE WALL, SHALL BE DEEMED EQUIVALENT IN FIRE PROTECTION RATING TO ONE 3-HOUR FIRE DOOR.

(BC 717) CONCEALED SPACES WITHIN THE CONSTRUCTION ARE FIRE STOPPED OR FILLED WITH NONCOMBUSTIBLE MATERIAL TO MEET THE REQUIREMENTS OF THIS SECTION.

CHAPTER 8 - INTERIOR FINISHES

(BC TABLE 803.5) INTERIOR FINISHES AND EXPOSED STRUCTURAL OR CONSTRUCTION MATERIALS FOR ROOMS AND ENCLOSED SPACES HAVE A FLAME-SPREAD RATINGS AS FOLLOWS:

FACTORY AND INDUSTRIAL, F-2	CLASS C
HAZARD (FUEL OIL STORAGE), H-2	CLASS B
MERCANTILE, M	CLASS B
RESIDENTIAL, R-1	CLASS B
RESIDENTIAL, R-2	CLASS C
STORAGE - MODERATE-HAZARD, S-1	CLASS C
STORAGE - LOW-HAZARD, S-2	CLASS C

CORRIDORS CLASS B
EXITS AND SHAFTS CLASS A

CHAPTER 9 - FIRE PROTECTION SYSTEMS

THE FOLLOWING SYSTEMS ARE EMPLOYED IN THE BUILDING:

AUTOMATIC SPRINKLER SYSTEM
STANDPIPE SYSTEM
PORTABLE FIRE EXTINGUISHERS
FIRE ALARM AND DETECTION SYSTEM
EMERGENCY ALARM SYSTEM
SMOKE CONTROL SYSTEM
SMOKE AND HEAT VENTS
FIRE COMMAND CENTER
POST-FIRE SMOKE PURGE SYSTEM

(BC 903.2.10.2) RUBBISH CHUTE. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH CHUTE, IN CHUTE ACCESS ROOMS, AND IN THE TERMINAL ROOM. REFUSE CHUTE SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED WITHIN CHUTE AT ALTERNATE FLOORS. CHUTE SPRINKLERS SHALL BE ACCESSIBLE FOR SERVICING.

(BC 903.2.12.2) COMMERCIAL COOKING OPERATIONS - AN AUTOMATIC SPRINKLER SYSTEM SHALL NOT BE INSTALLED IN A COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEM. FIRE-EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN COMMERCIAL COOKING SYSTEMS IN ACCORDANCE WITH SECTION BC 904.1.

(BC 904.2.1) HOOD SYSTEM SUPPRESSION. COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEMS REQUIRED TO HAVE A TYPE I HOOD SHALL BE PROTECTED WITH AN APPROVED AUTOMATIC FIRE-EXTINGUISHING SYSTEM INSTALLED.

CODE NOTES (CONTINUED)

(BC 904.1.1) COMMERCIAL COOKING SYSTEMS, THE AUTOMATIC FIRE-EXTINGUISHING SYSTEM FOR COMMERCIAL COOKING SYSTEMS SHALL BE OF A TYPE RECOGNIZED FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT AND EXHAUST SYSTEMS OF THE TYPE AND ARRANGEMENT PROTECTED. THE PROTECTED AREA UNDER THE HOOD AND OVER THE HOOD SHALL BE PROTECTED. THE AREA ABOVE OVERHEAD THE FILTERS AND THE OPENING OF THE HOOD INTO THE BRANCH DUCT.

(BC 908.7.1.2) CARBON MONOXIDE ALARMS OR DETECTORS SHALL COMPLY WITH THE POWER SOURCE, INTERCONNECTION, AND ACCEPTANCE TESTING REQUIREMENTS AS REQUIRED FOR SMOKE ALARMS.

CHAPTER 10 - MEANS OF EGRESS

(BC 1003.2) THE MEANS OF EGRESS HAS A CEILING HEIGHT OF NOT LESS THAN 7 FEET, 6 INCHES.

(BC TABLE 1004.1.2) THE MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT FOR THE USES WITHIN THE BUILDING ARE AS FOLLOWS:

BUSINESS AREAS (OFFICES)	100 GROSS
EXERCISE ROOMS	50 GROSS
LIBRARY (READING ROOMS)	50 GROSS
LOCKER ROOMS	50 GROSS
MERCANTILE - 1ST FLOOR	30 GROSS
MERCANTILE - OTHER FLOORS	60 GROSS
MERCANTILE - STORAGE, STOCK, SHIPPING AREAS	300 GROSS
RESIDENTIAL	200 GROSS WITHIN DWELLING UNIT
MECHANICAL EQUIPMENT ROOMS/ACCESSORY STORAGE AREA	300 GROSS
SWIMMING POOL	50 GROSS
SWIMMING POOL DECK	15 GROSS
BAR	50 GROSS
CHILDREN DAY CARE	30 NET
CIRCULATION	100 GROSS

NOTE: WHEN THE ACTUAL OCCUPANT LOAD OF ANY SPACE WILL BE SIGNIFICANTLY LOWER THAN THAT LISTED ABOVE, THE COMMISSIONER MAY ESTABLISH A LOWER BASIS FOR THE DETERMINATION OF THE OCCUPANT LOAD.

(BC 1005) THE MEANS OF EGRESS WIDTH IS NOT LESS THAN THAT REQUIRED BY THE FOLLOWING FROM BC TABLE 1005.1:

HAZARDOUS: H-1, H-2, H-3 AND H-4
STAIRWAYS 0.7 INCHES / OCCUPANT
OTHER COMPONENTS 0.2 INCHES / OCCUPANT

ALL OTHER OCCUPANCIES
STAIRWAYS 0.3 INCHES / OCCUPANT
OTHER COMPONENTS 0.2 INCHES / OCCUPANT

(BC 1006.1) EXITS, EXIT DISCHARGES AND PUBLIC CORRIDORS SHALL BE ILLUMINATED AT ALL TIMES. EXIT ACCESS COMPONENTS FOR OCCUPANCIES OTHER THAN DWELLING UNITS IN GROUP R-2 SHALL BE ILLUMINATED AT ALL TIMES DURING OCCUPANCY.

(BC 1006.2) THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 2 FOOT-CANDLES (22 LUX) AT THE FLOOR LEVEL. IN EXITS, AT EXIT DISCHARGES, AND IN PUBLIC CORRIDORS, AND SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE FLOOR LEVEL. IN EXIT ACCESS COMPONENTS OTHER THAN PUBLIC CORRIDORS.

(BC 1006.3) ILLUMINATION EMERGENCY POWER - IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY PROVIDE POWER TO THE MEANS OF EGRESS ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES.

(BC 101.1) EXIT SIGNS - EXITS AND EXIT ACCESS DOORS FOR OCCUPANCIES OTHER THAN DWELLING UNITS IN GROUP R-2 SHALL BE MARKED BY AN APPROVED ILLUMINATED EXIT SIGNS COMPLYING WITH SECTION 1011.1 WITH EMERGENCY POWER SUPPLY. EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS WHICH REQUIRE ONLY ONE EXIT OR EXIT ACCESS.

(BC 101.1.3) TACTILE EXIT SIGNS. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC A117.1-2003 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

(BC 1026.1) SIGNAGE SHALL BE PROVIDED COMPLYING WITH SECTION 1026.

(BC 1007.1) ACCESSIBLE SPACES ARE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. ACCESSIBLE SPACES THAT REQUIRE MORE THAN ONE MEANS OF EGRESS ARE PROVIDED WITH AT LEAST TWO ACCESSIBLE MEANS OF EGRESS.

(BC 1007.2.1) AS PER CODE FOR HIGH-RISE BUILDINGS, ONE REQUIRED ACCESSIBLE MEANS OF EGRESS IS AN ELEVATOR COMPLYING WITH SECTION 1007.4. PER BC 1007.4 EXCEPTION 2, ELEVATORS ARE NOT REQUIRED TO BE ACCESSED FROM AN AREA OF RESCUE ASSISTANCE IN BUILDINGS OR FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTIONS 903.3.1.1 OR 903.3.1.2.

(BC 1007.3) ALL EXIT STAIRWAYS PROVIDED ARE CONSIDERED ACCESSIBLE MEANS OF EGRESS. PER BC 1007.3 - EXCEPTION 2, CLEAR WIDTH OF 48 INCHES BETWEEN HANDRAILS IS NOT REQUIRED AT EXIT STAIRWAYS IN BUILDINGS OR FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTIONS 903.3.1.1 OR 903.3.1.2.

(BC 1008.1.1.1) THE WIDTH OF EACH DOOR OPENING IS SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND PROVIDES A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE WIDTH OF A SWINGING DOOR LEAF DOES NOT EXCEED THE MAXIMUM OF 48 INCHES NOMINAL.

(BC 1008.4.1) RESIDENTIAL OCCUPANCY GROUP R-2 ENTRANCE DOORS - BUILDING ENTRANCE DOORS AND OTHER EXTERIOR EXIT DOORS SHALL BE EQUIPPED WITH HEAVY DUTY LATCH SETS TO PREVENT THE LOCK FROM BEING MANIPULATED BY MEANS OTHER THAN A KEY. LATCH SETS SHALL HAVE STOP-WORK IN THE INSIDE CYLINDER CONTROLLED BY A MASTER KEY ONLY. OUTSIDE CYLINDERS OF MAIN ENTRANCE DOOR LOCKS SHALL BE OPERATED BY THE TENANTS' KEY, WHICH SHALL NOT BE KEYS TO ALSO OPEN THE TENANTS' APARTMENT DOOR. A LIGHT OR LIGHTS SHALL BE PROVIDED AT OR NEAR THE OUTSIDE OF THE FRONT ENTRANCEWAY OF THE BUILDING PROVIDING NOT LESS THAN 5 FOOT-CANDLES (53.2 LUX) INTENSITY MEASURED AT THE FLOOR LEVEL FOR THE FULL WIDTH OF THE ENTRANCEWAY.

(BC 1008.4.2) RESIDENTIAL OCCUPANCY GROUP R-2 DOORS TO DWELLING UNITS - DOORS TO DWELLING UNITS SHALL BE EQUIPPED WITH A HEAVY DUTY LATCH SET AND A HEAVY DUTY DEAD BOLT OPERABLE BY A KEY FROM THE OUTSIDE AND A THUMB-TURN FROM THE INSIDE. THOSE DOORS SHALL ALSO BE EQUIPPED WITH A CHAIN GUARD SO AS TO PERMIT PARTIAL OPENING OF THE DOOR. DWELLING UNIT ENTRANCE DOORS SHALL ALSO BE EQUIPPED WITH A VIEWING DEVICE LOCATED SO AS TO ENABLE A PERSON ON THE INSIDE OF THE ENTRANCE DOOR TO VIEW A PERSON IMMEDIATELY OUTSIDE.

(BC 1008.4.3) RESIDENTIAL OCCUPANCY GROUP R-2 WINDOWS - ALL OPENABLE WINDOWS SHALL BE EQUIPPED WITH SASH LOCKS DESIGNED TO BE OPERABLE FROM THE INSIDE ONLY.

(BC 1008.4.4) RESIDENTIAL OCCUPANCY GROUP R-2 INTERCOMMUNICATION SYSTEM. BUILDING SHALL BE PROVIDED WITH AN INTERCOMMUNICATION SYSTEM LOCATED AT THE DOOR GIVING ACCESS TO THE MAIN ENTRANCE LOBBY, CONSISTING OF DEVICES FOR COMMUNICATION BETWEEN THE OCCUPANT OF EACH DWELLING UNIT AND A PERSON OUTSIDE THE DOOR TO THE MAIN ENTRANCE LOBBY, AND PERMITTING SUCH DWELLING UNIT OCCUPANT TO RELEASE THE LOCKING MECHANISM OF SAID DOOR FROM THE DWELLING UNIT.

(BC 1008.1) THE WIDTH OF EGRESS STAIRWAYS IS NOT LESS THAN MINIMUM 44 INCHES.

(BC 1009.2) RESIDENTIAL OCCUPANCY GROUP R-2 EGRESS STAIRWAYS HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES AND ALL OTHER OCCUPANCY GROUPS HAVE A MINIMUM HEADROOM CLEARANCE OF 84 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM IS CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDINGS BELOW. ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE IS MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING.

(BC 1009.3) STAIR RISER HEIGHTS ARE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. STAIR TREAD DEPTHS ARE 11 INCHES MINIMUM. RESIDENTIAL OCCUPANCY GROUP R-2 STAIR RISER HEIGHTS ARE 7 3/4 INCHES MAXIMUM AND STAIR TREAD DEPTHS ARE 9 1/2 INCHES MINIMUM PLUS NOSING.

(BC 1009.4) THERE IS A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH OF LANDINGS ARE NOT LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE. EVERY LANDING HAS A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRWAY. SUCH DIMENSION NEED NOT EXCEED 48 INCHES (1219 MM) WHERE THE STAIRWAY HAS A STRAIGHT RUN.

(BC 1009.6) FLIGHTS OF STAIRS DO NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET BETWEEN FLOOR LEVELS OR LANDINGS.

(BC 1009.11.1) HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, ARE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.

(BC 1009.11.5) HANDRAILS RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR ARE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.

(BC 1009.11.7) PROJECTIONS INTO THE REQUIRED STAIR WIDTH AT EACH HANDRAIL DO NOT EXCEED 4.5 INCHES.

(BC 1009.12) STAIRWAY TO ROOF AND ROOF ACCESS - AT LEAST ONE STAIRWAY EXTENDS TO THE ROOF SURFACE.

(BC 1009.12.1) RESIDENTIAL OCCUPANCY GROUP R-2 STAIRWAY TO ROOF ACCESS - ALL INTERIOR STAIRS EXTEND TO THE ROOF SURFACE.

(BC 1011.1) WHERE REQUIRED, EXITS AND EXIT ACCESS DOORS ARE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. ACCESS TO EXITS ARE MARKED BY READILY VISIBLE EXIT SIGNS IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS.

(BC 1013.3) THE MAXIMUM LENGTH OF A COMMON PATH OF EGRESS TRAVEL IS AS FOLLOWS FOR THE VARIOUS OCCUPANCY GROUPS:

CODE NOTES

CHAPTER 20 - 26
ALL NEW CONSTRUCTION TO MEET BUILDING MATERIALS DESIGN CRITERIA

CHAPTER 27 - 28
SEE MECHANICAL AND ELECTRICAL DRAWINGS

CHAPTER 29 - PLUMBING SYSTEMS
SEE PLUMBING DRAWINGS
THE NYC PLUMBING CODE AS AMENDED BY NYC FOR OCCUPANCY GROUP B (BUSINESS) COMMENTS
(BC 2902.1) THE COUNT OF PLUMBING FIXTURES PROVIDED IS IN ACCORDANCE WITH TABLE 403.1 OF THE NEW YORK CITY PLUMBING CODE.

CHAPTER 30 - ELEVATORS
ALL NEW CONSTRUCTION TO MEET ELEVATOR DESIGN CRITERIA
*ALL ELEVATORS SHALL CONFORM WITH ALL APPLICABLE REGULATIONS SET FORTH IN THE LATEST EDITIONS OF:
ASME A17.1 AND LATEST AMENDMENTS AND SUPPLEMENTS
NEW YORK CITY BUILDING CODE
CITY OF NEW YORK-RS16 STANDARDS AND LOCAL LAWS
NFPA CODES
NFPA FIRE DOORS-HOISTWAY ENTRANCES
ASME A17.5/CSA - B44.1 - ELEVATOR AND ESCALATOR ELECTRICAL EQUIPMENT
ADAMS
(BC 3002.4) ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER - AT LEAST ONE ELEVATOR IS PROVIDED FOR FIRE DEPARTMENT EMERGENCY ACCESS TO ALL FLOORS HAVING ELEVATOR CAR WITH SUCH A SIZE AND ARRANGEMENT TO ACCOMMODATE A 24-INCH BY 78-INCH AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION.

CHAPTER 31 - SPECIAL CONSTRUCTION
(BC 3105.3) (LOCAL LAW 28 OF 2012) SUN CONTROL DEVICES ARE DESIGNED AND CONSTRUCTED TO WITHSTAND WIND OR OTHER LATERAL LOADS AND LIVE LOADS AS REQUIRED BY CHAPTER 18 WITH DUE ALLOWANCE FOR SHAPE, OPEN CONSTRUCTION AND SIMILAR FEATURES THAT RELIEVE THE PRESSURES OR LOADS. STRUCTURAL MEMBERS ARE PROTECTED TO PREVENT DETERIORATION. SUN CONTROL DEVICES ARE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS.
(BC 3109.4) OUTDOOR AMENITY SWIMMING POOL SHALL BE PROVIDED WITH POWER SAFETY COVER COMPLYING WITH ASTM F 1346, SO NO ENCLOSEING FENCE IS REQUIRED.
(BC 3109.5) PRIVATE SWIMMING POOL SHALL BE COMPLETELY ENCLOSED BY A FENCE, WALL OR BUILDING AT LEAST 4 FEET IN HEIGHT. OPENINGS IN THE ENCLOSURE SHALL NOT PERMIT THE PASSAGE OF 4-INCH DIAMETER SPHERE. THE ENCLOSURE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING GATES. THE DOOR PROVIDING ACCESS TO THE PRIVATE SWIMMING POOL FROM THE DWELLING SHALL OPEN INWARD, AWAY FROM THE SWIMMING POOL, AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE SHALL BE LOCATED NO LESS THAN 54 INCHES FROM THE BOTTOM OF THE DOOR.
(BC 3109.4.2) IN ADDITION TO THE REQUIREMENTS OF NYC BUILDING CODE, ANY OTHER, MORE STRINGENT REQUIREMENTS FOR THE CONSTRUCTION AND DESIGN OF SWIMMING POOL AND BARRIERS PROVIDED FOR IN ARTICLE 185 OF THE NEW YORK CITY HEALTH CODE, SHALL ALSO BE APPLICABLE.
(BC 3109.3.2) THE SUPPLY, CIRCULATION, TREATMENT, AND DRAINAGE OF WATER FOR SWIMMING POOLS SHALL MEET THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE.
(BC 3109.3.3) NO OVERHEAD ELECTRICAL CONDUCTORS SHALL BE INSTALLED WITHIN 15 FEET OF THE SWIMMING POOL.

CHAPTER 32 - ENCRoACHMENTS INTO THE PUBLIC RIGHT-OF-WAY
(BC 3202.2.1.1) ENTRANCE DOORS WHEN FULLY OPEN, SHALL NOT BE CONSTRUCTED TO PROJECT BEYOND THE STREET LINE NOT MORE THAN 18 INCHES.
(BC 3202.2.1.2) ARCHITECTURAL DETAILS CONSTRUCTED SHALL NOT PROJECT MORE THAN 4 INCHES BEYOND THE STREET LINE WHEN LESS THAN 10 FEET ABOVE THE GROUND OR SIDEWALK LEVEL, AND NOT MORE THAN 10 INCHES BEYOND THE STREET LINE WHEN MORE THAN 10 FEET ABOVE THE GROUND OR SIDEWALK LEVEL.
(BC 3202.2.1.9) (LOCAL LAW 28 OF 2012) SUN CONTROL DEVICES ARE FIXED AND CONSTRUCTED IN ACCORDANCE WITH SECTION 3105 AND SUPPORTED ENTIRELY FROM THE BUILDING DO NOT PROJECT BEYOND THE STREET LINE MORE THAN 2 FEET 6 INCHES, AND NO PART OF THE SUN CONTROL DEVICE IS LESS THAN 8 FEET ABOVE THE GROUND OR SIDEWALK LEVEL. NO PORTION OF SUN CONTROL DEVICE IS LOCATED OVER A SIDEWALK VAULT.

CHAPTER 33 - EXCAVATION
(BC 3304.3.1) NOTIFICATION TO DEPARTMENT OF BUILDINGS 24-48 HOURS PRIOR TO COMMENCEMENT OF EARTHWORK.

APPENDIX F RODENT-PROOFING
(BC F101.1) BUILDING DESIGNED TO COMPLY WITH BC F101 RODENT PROOFING REQUIREMENTS

APPENDIX G - FLOOD HAZARD ZONE REQUIREMENTS
(G102.2) BUILDING SITE IS NOT IN A FLOOD ZONE PER FLOOD HAZARD MAP FEMA FIS 36049 AND FEMA FIRMs 360497.

CODE NOTES (CONTINUED)

LIST OF SEPARATE APPLICATIONS TO BE FILED

FENCE
EXCAVATION
FOUNDATION
SUPPORT OF EXCAVATION
UNDERGROUND PLUMBING
STRUCTURAL
TEST PIT
MECHANICAL
PLUMBING
SPRINKLER
STANDPIPE
TEMPORARY STANDPIPE
GENERATOR
FIRE ALARM
BOILER
FIRE PROTECTION PLAN
BUILDING PAVEMENT PLAN
CURB CUT
AIR RIGHTS
SIGNAGE
PUBLIC ASSEMBLY
GENERATORS (EMERGENCY POWER SYSTEM)
COMMERCIAL COOKING INSTALLATION

LIST OF CONTROL INSPECTIONS 28-104.7

SPECIAL INSPECTIONS

FIRE ALARM TEST
CONCRETE - CAST-IN-PLACE
MASONRY
SOILS - SITE PREPARATION
SOILS - INVESTIGATIONS (BORINGS/TEST PITS)
PILE FOUNDATIONS & DRILLED PIER INSTALLATION
UNDERPINNING
WALL PANELS, CURTAIN WALLS & VENEERS
SMOKE CONTROL SYSTEMS
MECHANICAL SYSTEMS
FUEL-OIL STORAGE & FUEL-OIL PIPING SYSTEMS
STRUCTURAL SAFETY - STRUCTURAL STABILITY
EXCAVATION - SHEETING, SHORING, AND BRACING
SITE STORM DRAINAGE DISPOSAL & DETENTION SYSTEM INSTALLATION
SPRINKLER SYSTEMS
STANDPIPE SYSTEMS
HEATING SYSTEMS
FIRESSTOP, DRAFTSTOP, & FIREBLOCKING SYSTEMS
CONCRETE TEST CYLINDERS TR-2
CONCRETE DESIGN MIX TR-3

NYC ENERGY CONSERVATION CODE NOTES

NYC ENERGY CONSERVATION CODE INSPECTIONS

FOOTING AND FOUNDATION
EN-
PROTECTION OF FOUNDATION INSULATION
INSULATION PLACEMENT AND R VALUE
FENESTRATION THERMAL VALUES AND RATINGS
FENESTRATION RATINGS FOR AIR LEAKAGE
FENESTRATION AREAS
AIRE SEALING AND INSULATION - VISUAL
AIRE SEALING AND INSULATION - TESTING
LOADING DECK WEATHER SEALS
VESTIBULES
FIREPLACES
HVAC AND SERVICE WATER HEATING EQUIPMENT
HVAC AND SERVICE WATER HEATING SYSTEMS CONTROLS
DUCT PLENUM AND PIPING INSULATION AND SEALING
DUCT LEAKAGE TESTING
ELECTRICAL METERING
LIGHTING IN DWELLING UNITS
INTERIOR LIGHTING POWER
EXTERIOR LIGHTING POWER
LIGHTING CONTROLS
EXIT SIGNS
TANDEM WIRING
ELECTRICAL MOTORS
MAINTENANCE INFORMATION
FIRE-RESISTANCE RATED CONSTRUCTION
PUBLIC ASSEMBLY EMERGENCY LIGHTING

NYC ENERGY CONSERVATION CODE

CHAPTER 5 - COMMERCIAL ENERGY EFFICIENCY

(ECC 502.2.4) BELOW-GRADE WALLS ARE COMPLETELY BELOW GRADE, AS THERE IS NO GROUP - R RESIDENTIAL USE BELOW GRADE, THERMAL INSULATION IS NOT REQUIRED PER ECC TABLE 502.2(1).

(ECC 502.2.6) ALL SLABS ON GRADE S ARE UNHEATED AND LOCATED BELOW GRADE, AS THERE IS NO GROUP - R RESIDENTIAL USE BELOW GRADE, THERMAL INSULATION IS NOT REQUIRED PER ECC TABLE 502.2(1).

(ECC 502.4.1) AIR LEAKAGE OF WINDOW AND SLIDING OR SWINGING DOOR ASSEMBLIES THAT ARE PART OF THE BUILDING ENVELOPE SHALL BE DETERMINED IN ACCORDANCE WITH AIAA/WDMA/CSA 1011.S 2/440, OR NFRC 400 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER AND SHALL NOT EXCEED 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, EXCEPT SITE-CONSTRUCTED WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED OR SEALED IN ACCORDANCE WITH SECTION ECC 502.4.3.

(ECC 502.4.2) CURTAIN WALL, STOREFRONT GLAZING AND COMMERCIAL GLAZED SWINGING ENTRANCE DOORS AND REVOLVING DOORS SHALL BE TESTED FOR AIR LEAKAGE AT 1.57 POUNDS PER SQUARE FOOT (psf) (75 Pa) IN ACCORDANCE WITH ASTM E 283. FOR CURTAIN WALLS AND STOREFRONT GLAZING, THE LEAKAGE RATE SHALL NOT EXCEED 0.3 CUBIC FOOT PER MINUTE PER SQUARE FOOT (cfm/ft2) OF PENETRATION AREA. FOR COMMERCIAL GLAZED SWINGING ENTRANCE DOORS AND REVOLVING DOORS, AIR LEAKAGE RATE SHALL NOT EXCEED 1.00 cfm/ft2 OF DOOR AREA WHEN TESTED IN ACCORDANCE WITH ASTM E 283.

(ECC 502.4.3) CONTINUOUS AIR BARRIER SHALL BE INSTALLED, SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING AND SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. JOINTS AND SEAMS SHALL BE SEALED IN THE SAME MANNER OR TAPE OR COVERED WITH A MOISTURE VAPOR-PERMEABLE WRAPPING MATERIAL. SEALING MATERIALS SPANNING JOINTS BETWEEN CONSTRUCTION MATERIALS SHALL ALLOW FOR EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. AIR BARRIER SHALL BE CONTINUOUS THROUGHOUT THE ENVELOPE WITH ALL JOINTS AND SEAMS SEALED AND WITH SEALED CONNECTIONS BETWEEN ALL TRANSITIONS IN PLANES AND CHANGES IN MATERIALS AND AT ALL PENETRATIONS. AIR BARRIER SHALL BEJOINED AND SEALED IN A FLEXIBLE MANNER TO THE AIR BARRIER COMPONENT OF ADJACENT ASSEMBLIES, ALLOWING FOR THE RELATIVE MOVEMENT OF THESE ASSEMBLIES AND COMPONENTS. AIR BARRIER INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND IN SUCH A MANNER AS TO ACHIEVE THE PERFORMANCE REQUIREMENTS. PENETRATIONS OF THE CONTINUOUS AIR BARRIER SHALL BE MADE IN A WAY SUCH THAT THE INTEGRITY OF THE CONTINUOUS AIR BARRIER IS MAINTAINED.

(ECC 502.4.3.1) AIR BARRIERS SHALL COMPLY EITHER USING INDIVIDUAL MATERIALS THAT HAVE AN AIR PERMEABILITY NOT TO EXCEED 0.004 cfm/ft2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 lbf/ft2) WHEN TESTED IN ACCORDANCE WITH ASTM E 2178, OR ASSEMBLIES OF MATERIALS AND COMPONENTS SHALL HAVE AN AVERAGE AIR LEAKAGE NOT TO EXCEED 0.04 cfm/ft2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 lbf/ft2) WHEN TESTED IN ACCORDANCE WITH ASTM E 2357 OR ASTM E 1677. IN ADDITION THESE ASSEMBLIES SHALL MEET THE REQUIREMENT FOR JOINTS PER SECTION ECC 502.4.3.

(ECC 502.4.5) CARGO DOORS AND LOADING DOCK DOORS SHALL BE EQUIPPED WITH WEATHERSEALS TO RESTRICT INFILTRATION WHEN VEHICLES ARE PARKED IN THE DOORWAY.

(ECC 502.4.6) BUILDING ENTRANCE DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR ARE PROTECTED WITH AN ENCLOSED VESTIBULE. WITH ALL DOORS OPENING INTO AND OUT OF THE VESTIBULE EQUIPPED WITH SELF-CLOSING DEVICES. VESTIBULES ARE DESIGNED SO THAT IN PASSING THROUGH THE VESTIBULE IT IS NOT NECESSARY FOR THE INTERIOR AND EXTERIOR DOORS TO OPEN AT THE SAME TIME. VESTIBULES ARE NOT REQUIRED TO BE PROVIDED FOR DOORS NOT INTENDED TO BE USED AS A BUILDING ENTRANCE DOOR, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, DOORS OPENING DIRECTLY FROM A SLEEPING UNIT OR DWELLING UNIT, DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET, IN AREA, REVOLVING DOORS, AND DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HANDLING AND ADJACENT PERSONNEL DOORS.

MULTI DWELLING LAW
(MULTI DWELLING CLASSIFICATION - CLASS A)

ALL LOT LINE WINDOWS TO COMPLY WITH SEC. 277.1(b) MDL AND TABLE 601 THE BUILDING CODE.

WET PIPE SPRINKLER SYSTEM TO COMPLY WITH MDL 277.4
THIS IS A FIRE PROOF BUILDING.
FLOOR/CEILING IS OF 2 HR. CONSTR. AND COMPLIES WITH MDL 277.6
COMPLY WITH LIGHT AND AIR FOR UNITS AS PER SEC.277.7 OF THE MDL
HARD WIRED SMOKE DETECTOR OUTSIDE EACH SLEEPING OR BEDROOM AREA IS PROVIDED AS PER SEC.277.7g OF THE MDL
ALL STAIRWAYS MUST HAVE SKYLIGHTS AND VENTS AS PER MDL 277.10
ALL SHAFTS MUST COMPLY WITH MDL 277.11 (2HR)
KITCHEN MUST COMPLY WITH MDL 277.12 AND MDL 33
BUILDING MUST COMPLY WITH MDL 277.13
EXISTING INTERIOR COLUMNS ARE PROTECTED AS PER MDL 277.14
ELEVATOR SHAFTS, DOORS AND VESTIBULES MUST COMPLY WITH MDL 277.15
BUILDING MUST COMPLY WITH MDL 278

MULTI DWELLING LAW AND
HOUSING MAINTENANCE CODE NOTES

MD1. THE WORK SHALL COMPLY WITH ALL THE RULES AND REGULATIONS OF THE DEPARTMENT OF BUILDINGS OF THE CITY OF NEW YORK AND ALL OTHER APPLICABLE LOCAL, STATE, FEDERAL, DEPARTMENTS AND CODES HAVING JURISDICTION.

MD2. BUILDING TO COMPLY WITH ART.7 M.D.L. & HOUSING AND MAINTENANCE CODE.

MD3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS OF THE APPROVED PLANS.

MD4. BATH VENTS: 12X12 DUCTS, 18 GA. MTL. WITH CORNER CHANNELS SECURED AT ALL FLOORS AND ROOF. FIRE RETARD WITH 2" VERMICULITE PL ON MTL ENTIRE LENGTH OF DUCT; EXTENDED 4' ABOVE ROOF. PROVIDE REGISTER, GRAVITY DAMPER WITH FUSIBLE LINK. FAN ON ROOF TO PROVIDE 4 AIR CHANGES/HR.25 CFM VELOCITY AND TO RUN FROM 6:00 A.M. TO 12 MIDNIGHT.

MD5. KITCHEN AND KITCHENETTE VENT: 8X8 DUCTS SIMILAR TO BATH VENTS EXCEPT FAN ON ROOF TO PROVIDE 6 CHANGES/HR. 150 CFM TO RUN CONTINUOUSLY 16 GA. METAL. SEE ALSO KITCHENS AND KITCHENETTES: SEC.3 M.D.L. AND ART.32 H.M.C.

- A. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH FACILITIES FOR COOKING AND SHALL BE EQUIPPED FOR ARTIFICIAL LIGHTING.
- B. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH SINK HAVING A MIN. 2" WASTE AND TRAP.
- C. LIGHTING AND VENTILATION OF KITCHENETTES SHALL BE PROVIDED UNDER SEC.30 M.D.L. AND ART.30 H.M.C. (SEE NOTE #1)
- D. CEILING AND WALL, EXCLUSIVE OF DOORS, OF ALL KITCHENETTES SHALL BE FIRE RETARDED WITH MATERIALS HAVING A ONE HOUR FIRE RATING WITH ONE LAYER PLASTER B. F.C.60.
- E. ALL COMBUSTIBLE MATERIALS IMMEDIATELY UNDERNEATH AND WITHIN ONE FOOT OF COOKING APPARATUS SHALL BE PROPERLY FIRE RETARDED AND A MIN. OF TWO FEET CLEARANCE MAINTAINED ABOVE. EXPOSED COOKING SURFACES COMBUSTIBLE MATERIALS BETWEEN TWO AND THREE FEET ABOVE EXPOSED COOKING SURFACES SHALL BE FIRE RETARDED. SEE 58"PL. BD. FC. 60.
- F. GAS RANGES TO BE APPROVED AS PER SEC. 64 M.D.L. & AGA (SEE NOTES #55).

MD6. SPRINKLERS SHALL COMPLY WITH SEC. 187 MDL.

MD7. BILER ROOMS: SHALL COMPLY WITH SEC. 65 M.D.L. FIRE RETARDED CEILING ENCLOSED IN FIRE FIREPROOF CONSTRUCTION WITH FIREPROOF DOOR TO BE SELF-CLOSING AND SHALL BE 3 HR. RATED WITH BSA APPROVED LABEL.

MD8. NATURAL LIGHTING AND VENTILATION FOR ALL OCCUPIED ROOMS SHALL CONFORM WITH LIGHTING AND VENTILATION: SEC. 30 M.D.L. AND ART.30 H.M.C.

- A. WINDOWS IN ALL ROOM, EXCEPT BATHROOMS AND KITCHENETTES SHALL BE AT LEAST ONE-TENTH THE AREA OF THE ROOM AND BE AT LEAST 12 S.F. IN AREA B.S.B. AND 50% OPERABLE.
- B. ROOMS HAVING ONLY ONE WINDOW LESS THAN 18 S.F. IN AREA SHALL HAVE A TRANSOM OR LOUVER, OVER THE DOOR HAVING A MIN. AREA OF 144 SQ. IN.

MD9. PEEPHOLES: SEC. 51-A. M.D.L. AND ART.20 H.M.C.

A. PEEPHOLES SHALL BE PROVIDED IN ENTRANCE DOORS OF EACH DWELLING UNIT, LOCATED AS PRESCRIBED BY THE DEPARTMENT. B.S.A. APPROVED ASSEMBLY.

MD10. ARTIFICIAL LIGHTING: SEC. 26 & 35 M.D.L. AND ART.19 H.M.C.

- A. PROPER ELECTRIC LIGHTING AND EQUIPMENT SHALL BE PROVIDED AND MAINTAINED WITHIN ALL DWELLINGS AND ASSEMBLY.
- B. PROPER ELECTRIC LIGHTING SHALL BE INSTALLED AND MAINTAINED AT OR NEAR THE OUTSIDE FRONT ENTRANCE WAY AND IN EVERY REAR YARD, SIDE YARD, FRONT YARD, AND COURTS. MIN. OF 50 WATTS INCANDESCENT ILLUMINATION OR EQUIVALENT AT FRONT ENTRANCE WAY AND IN. OF 4 WATTS IN YARDS AND COURTS AND SHALL BE KEPT BURNING FROM SUNSET EACH DAY TO SUNRISE ON THE FOLLOWING DAY.
- C. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE PROPER ELECTRIC LIGHTINGS SHALL BE INSTALLED AND MAINTAINED AT OR NEAR THE OUTSIDE FRONT ENTRANCE WAY AND IN EVERY REAR YARD, SIDE YARD, FRONT YARDS, AND COURTS. MIN. OF 50 WATTS INCANDESCENT ILLUMINATION OR EQUIVALENT AT FRONT ENTRANCE WAY AND MIN. OF 40 WATTS IN YARDS AND COURTS SHALL BE KEPT BURNING FROM SUNSET TO SUNRISE ON THE FOLLOWING DAY.
- D. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE S.F. OF GLAZED SURFACES.

MD11. ENTRANCE DOORS: SEC. 50-A. M.D.L. AND ART.20 H.M.C.

- A. BUILDING ENTRANCES AND ALL OTHER EXTERIOR ENTRANCES SHALL BE EQUIPPED WITH APPROVED TYPE AUTOMATIC SELF- CLOSING AND SLEF-LOCKING DOORS.
- B. ENTRANCE DOORS TO EACH APARTMENT UNIT SHALL HAVE KEY LOCK WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER, HEAVY DUTY LATCH, SET WITH DEAD BOLT AND DOOR CHAIN GUARD.

MD12. GAS METERS AND GAS APPLIANCES: SEC.64 M.D.L. AND ART.18 H.M.C.

- A. GAS METERS SHALL COMPLY WITH SEC.64 M.D.L.
- B. GAS APPLIANCES SHALL IN ADDITION TO THESE SECTIONS, COMPLY WITH THE BOARD OF STANDARD APPEAL.
- C. YEARLY INSPECTION OF GAS APPLIANCES BY QUALIFIED PERSON SHALL BE MADE IN OCT.

MD13. HEAT AND HOT WATER: SEC.79 M.D.L. AND ART.17 H.M.C.

- A. YEARLY INSPECTION SHALL BE MADE BY QUALIFIED PERSON.
- B. MINIMUM TEMPERATURE OF HEATING AND HOT WATER SHALL BE MAINTAINED.

MD14. SINGLE STATION SMOKE DETECTORS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF SLEEPING OR BEDROOM WITH NO INTERVENING WALL SWITCH AS PER SEC. 277.7G.

HOUSING MAINTENANCE CODE

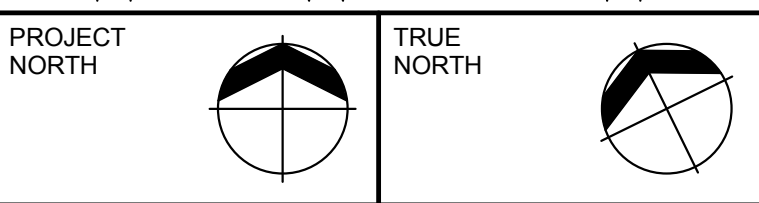
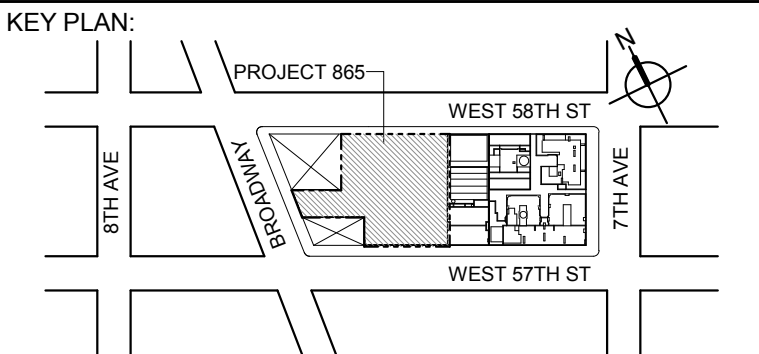
THE OWNER SHALL COMPLY WITH AND PROVIDE PROVISIONS OF THE HOUSING MAINTENANCE CODE:

1. 27-2005	OWNER AND TENANT OBLIGATION
2. 27-2010, 2011, 2012	CLEANING
3. 27-2013	PAINTING
4. 27-2018	RODENT AND INSECT ERADICATION
5. 27-2021	RECEPTACLE FOR WASTE
6. 27-2023	COLLECTION OF WASTE
7. 27-2024	WATER SUPPLY
8. 27-2026, 2027	PLUMBING AND DRAINAGE
9. 27-2028, 2029, 2030, 2031, 2033	HEAT AND HOT WATER
10. 27-2034, 2035, 2036	GAS APPLIANCES
11. 27-2037, 2038, 2039, 2040	ARTIFICIAL LIGHTING
12. 27-2041, 2042, 2043, 2045	PEEPHOLES AND LOCKS
13. 27-2049	STREET NUMBER
14. 27-2047	APPROVED TYPE MAIL RECEPTACLE AND DIRECTORY AND REGULATION OF POST OFFICE DEPARTMENT FLOOR SIGNS IN PUBLIC HALL STAIR
15. 27-2048	JANITORIAL SERVICES
16. 27-2053	LIGHTING AND VENTILATION
17. 27-2057	SANITARY FACILITIES
18. 27-2063	KITCHEN AND KITCHENETTES
19. 27-2070	MAXIMUM PERMITTED OCCUPANCY
20. 27-2074	OCCUPANCY OF CELLARS AND BASEMENTS
21. 27-2081	REGISTRATION STATEMENT
22. 27-2097	POSTING OF REGISTRATION IDENTIFICATION SIGN
23. 27-2104	CONTAINING DWELLING SERIAL NUMBER.

COMPLIANCE

FAIR HOUSING ACT

THESE DOCUMENTS COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL.



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No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



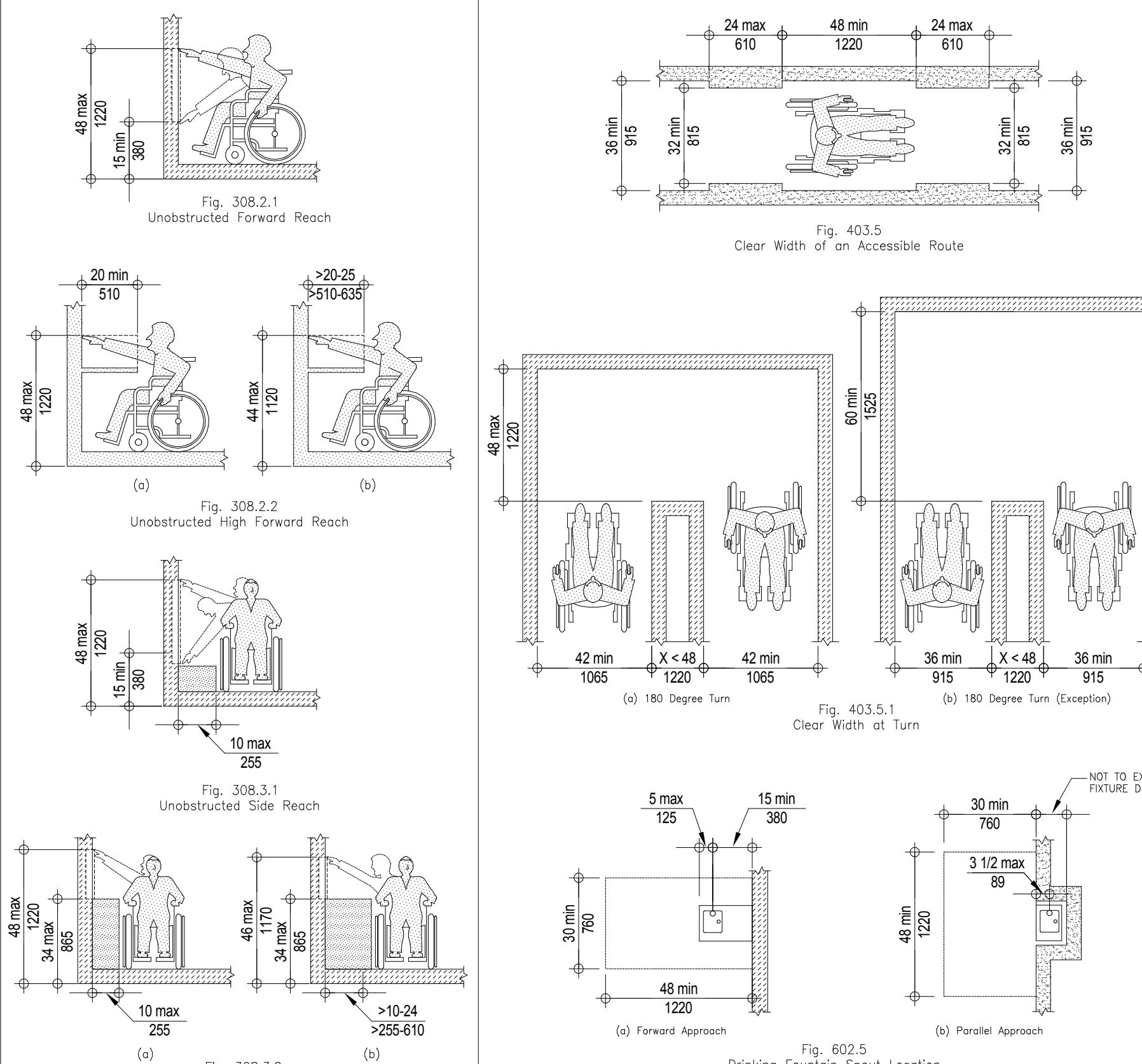
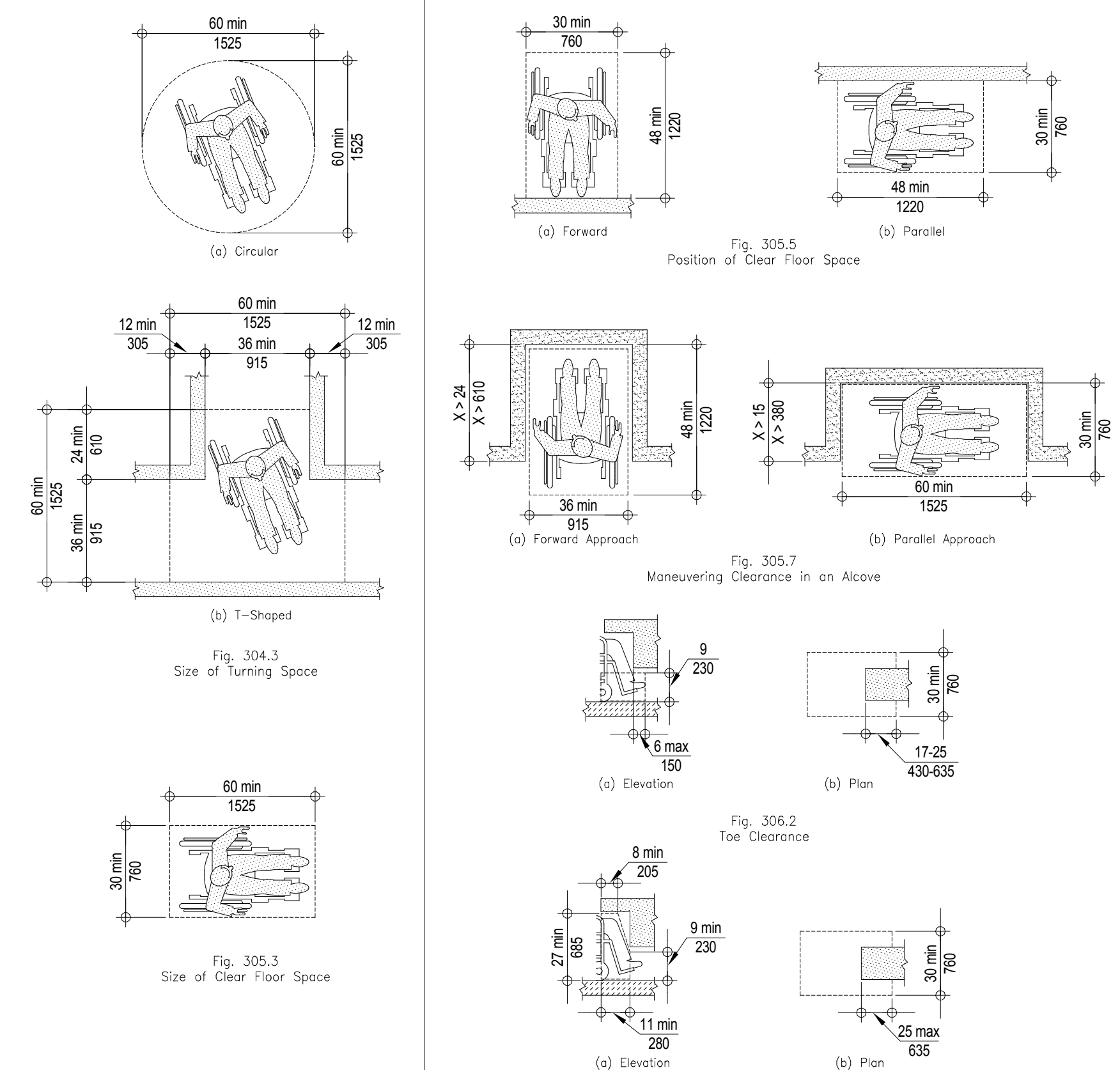
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217 WEST 57TH STREET
NEW YORK, NY

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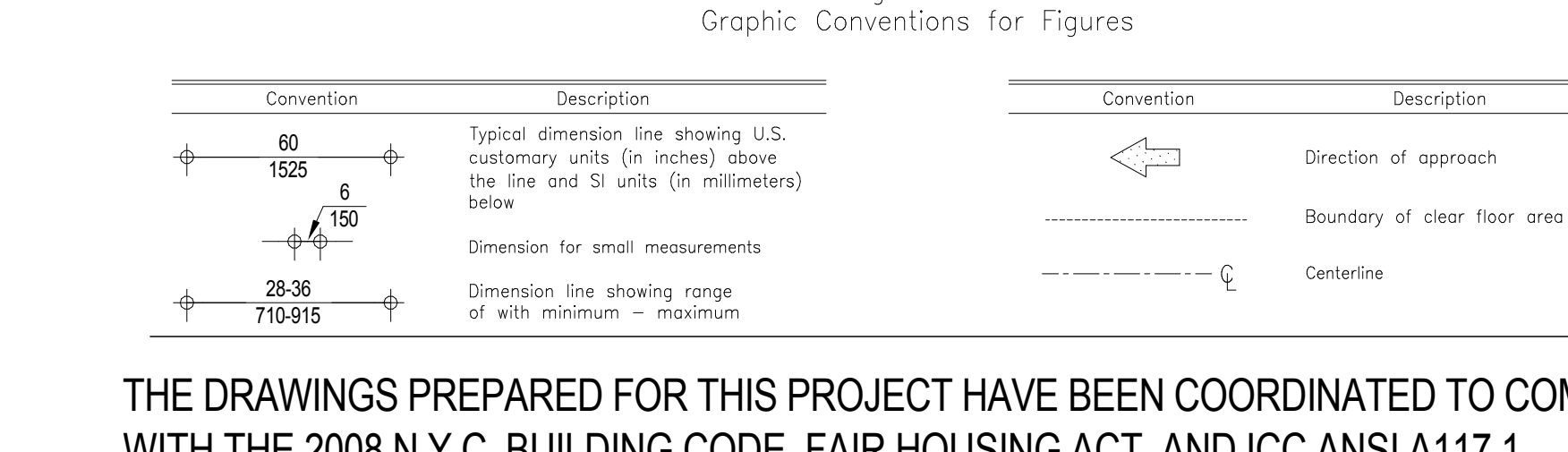
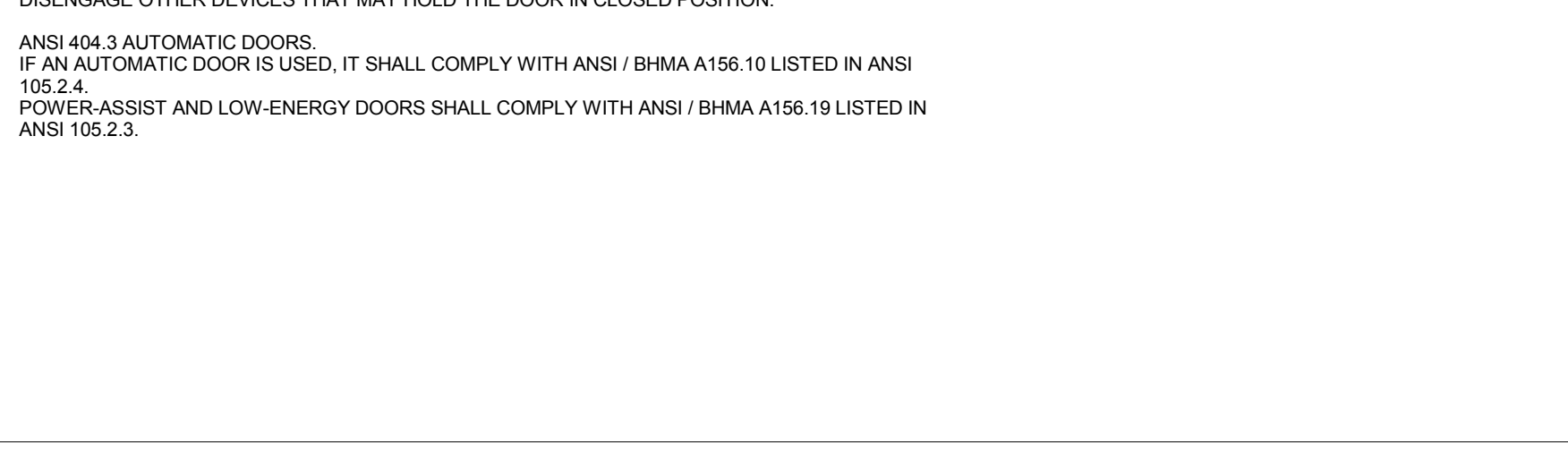
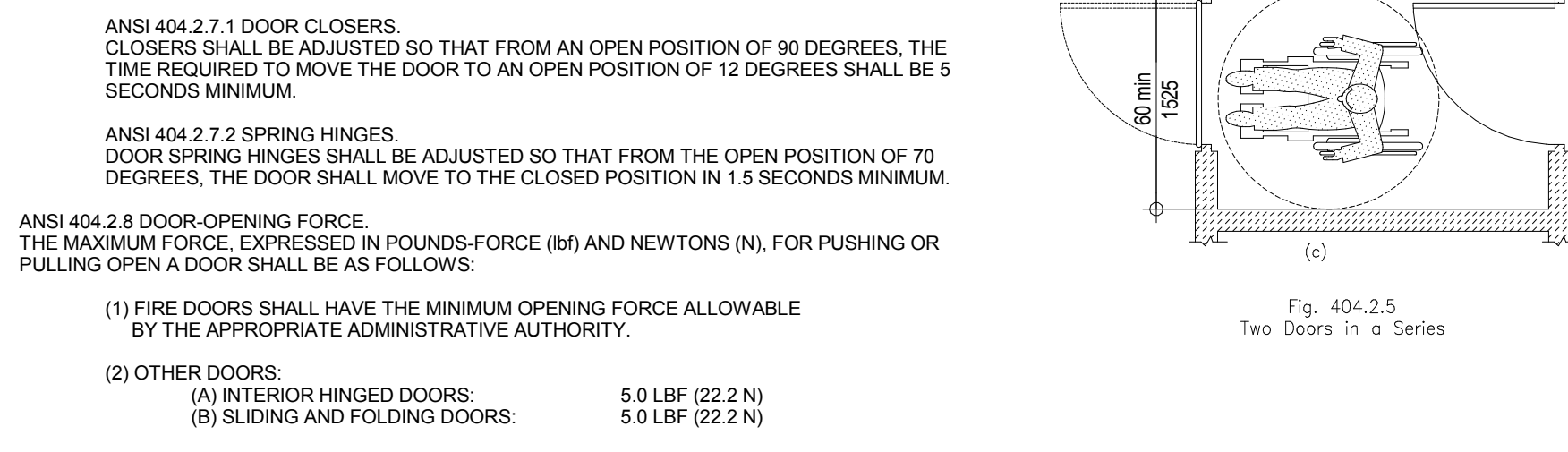
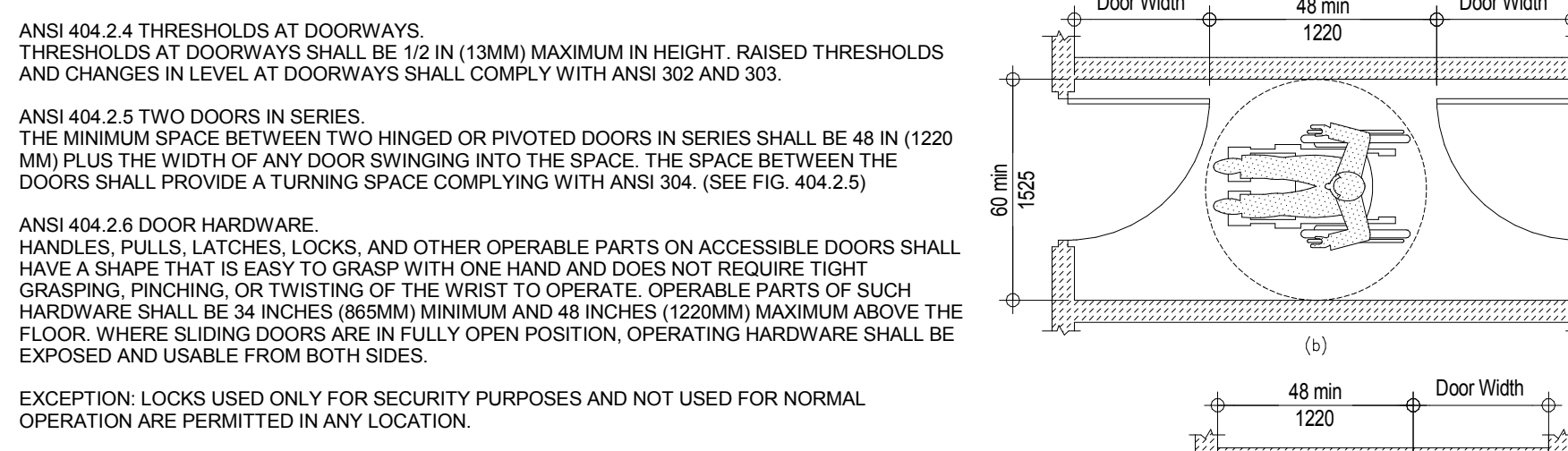
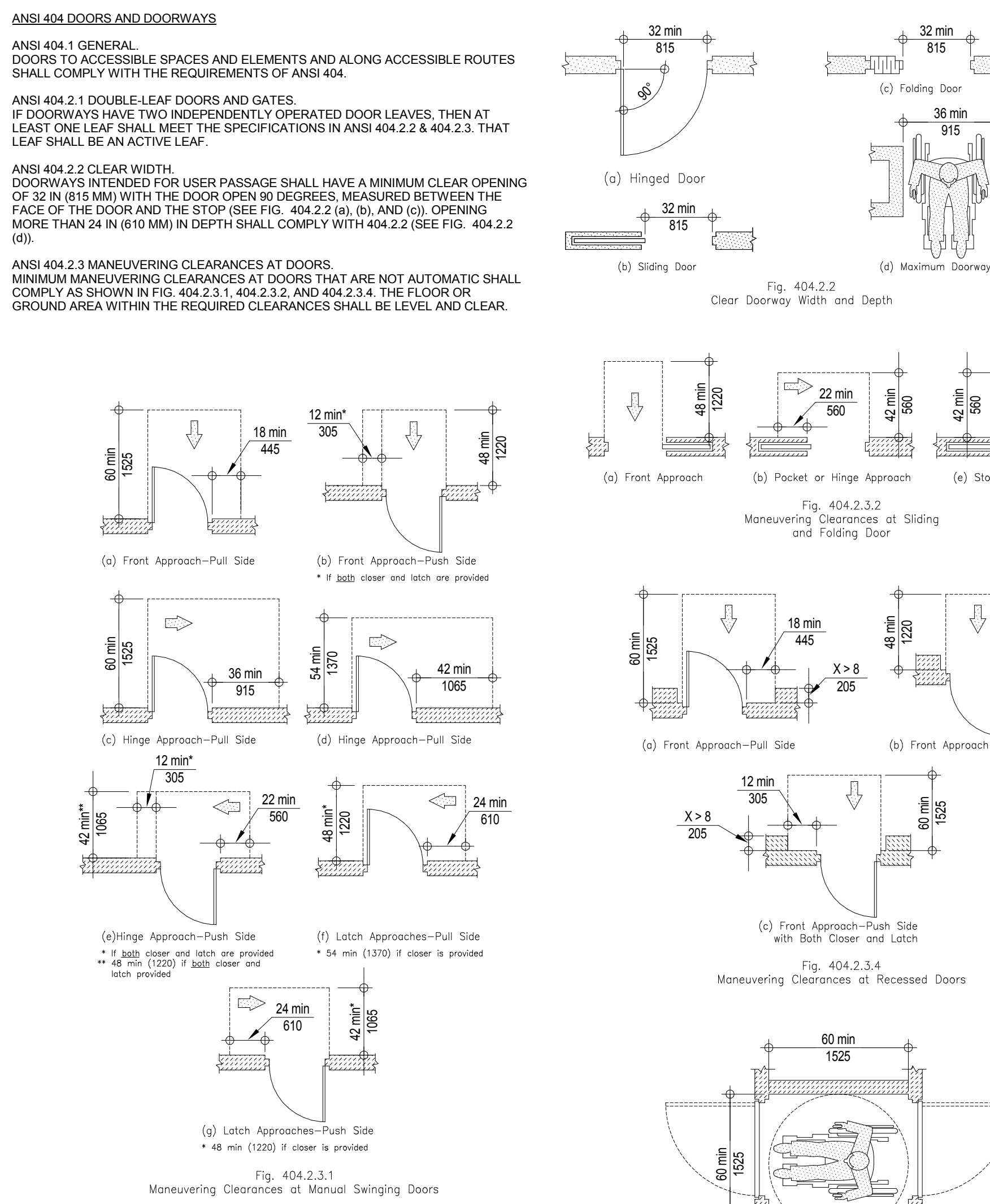
CODE COMPLIANCE NOTES - 2

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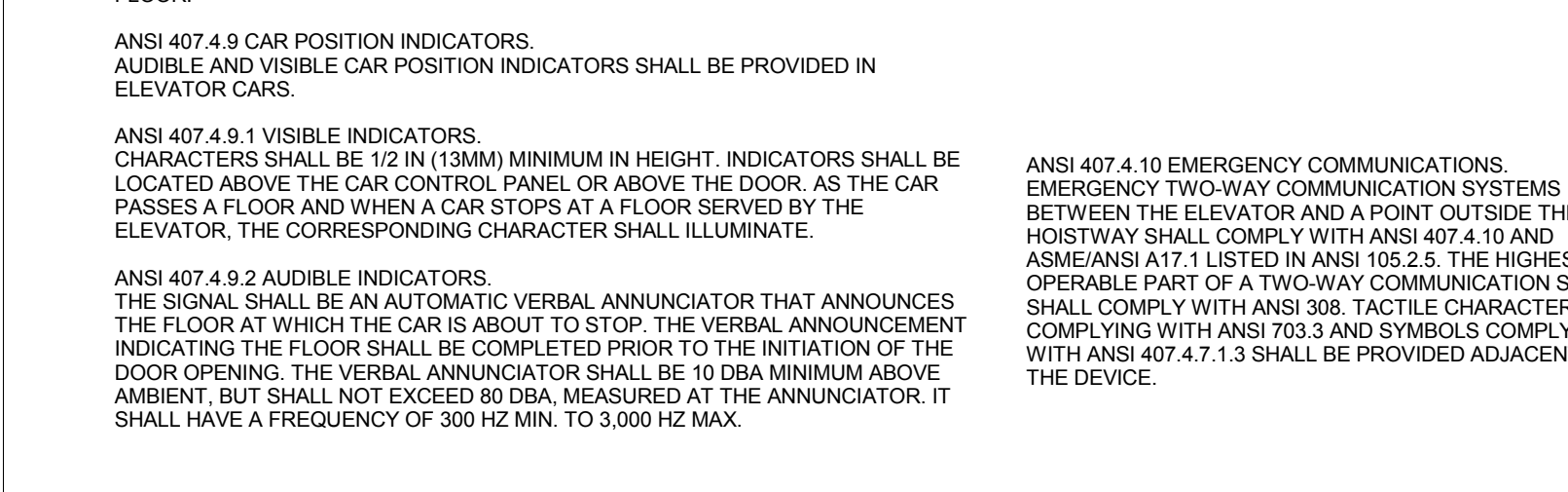
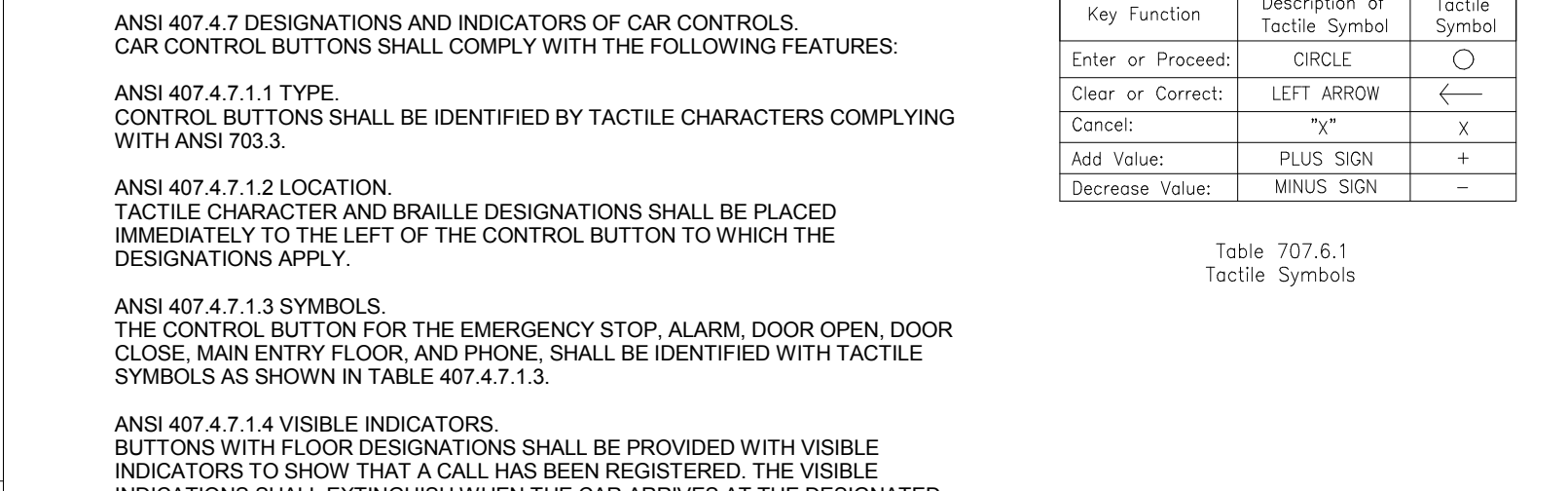
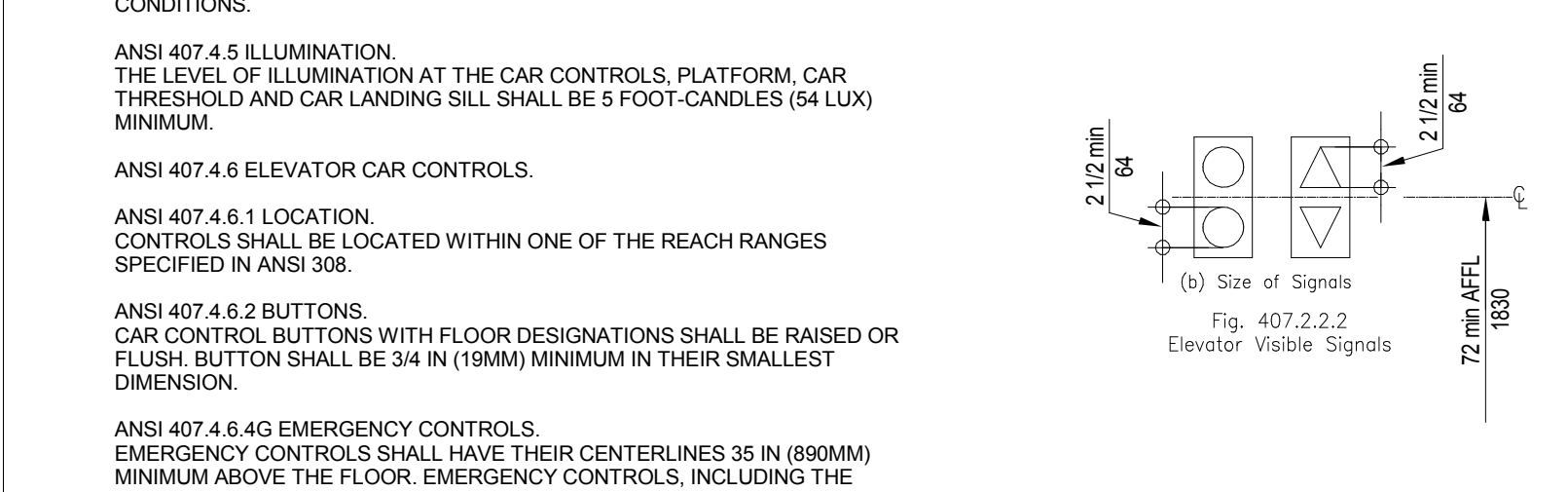
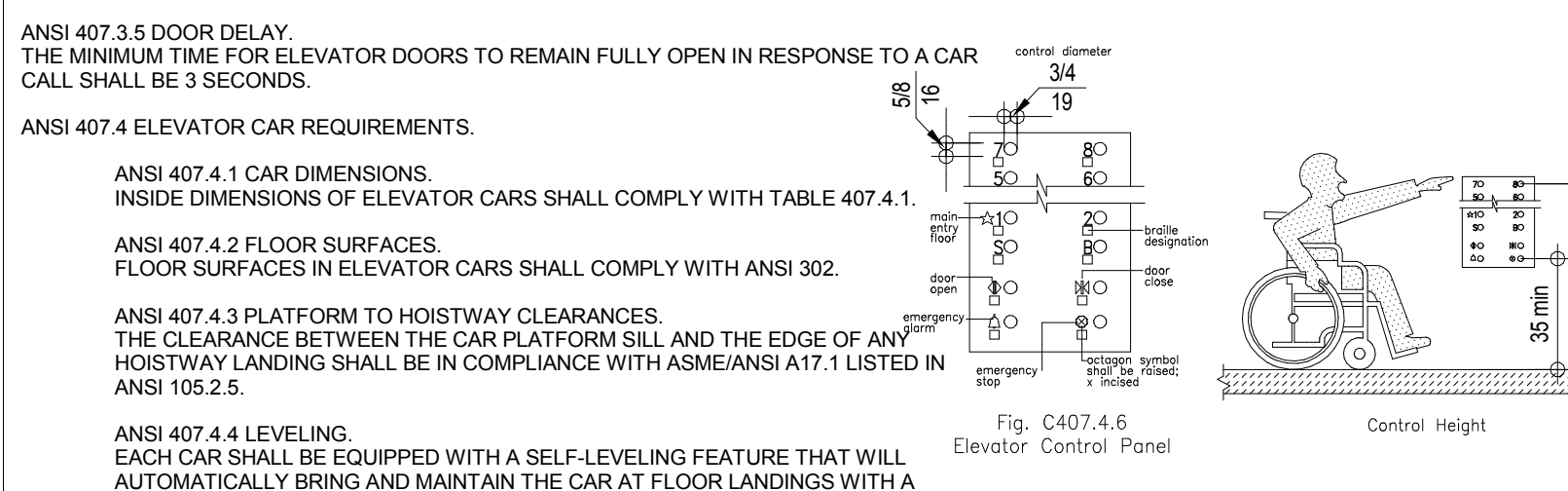
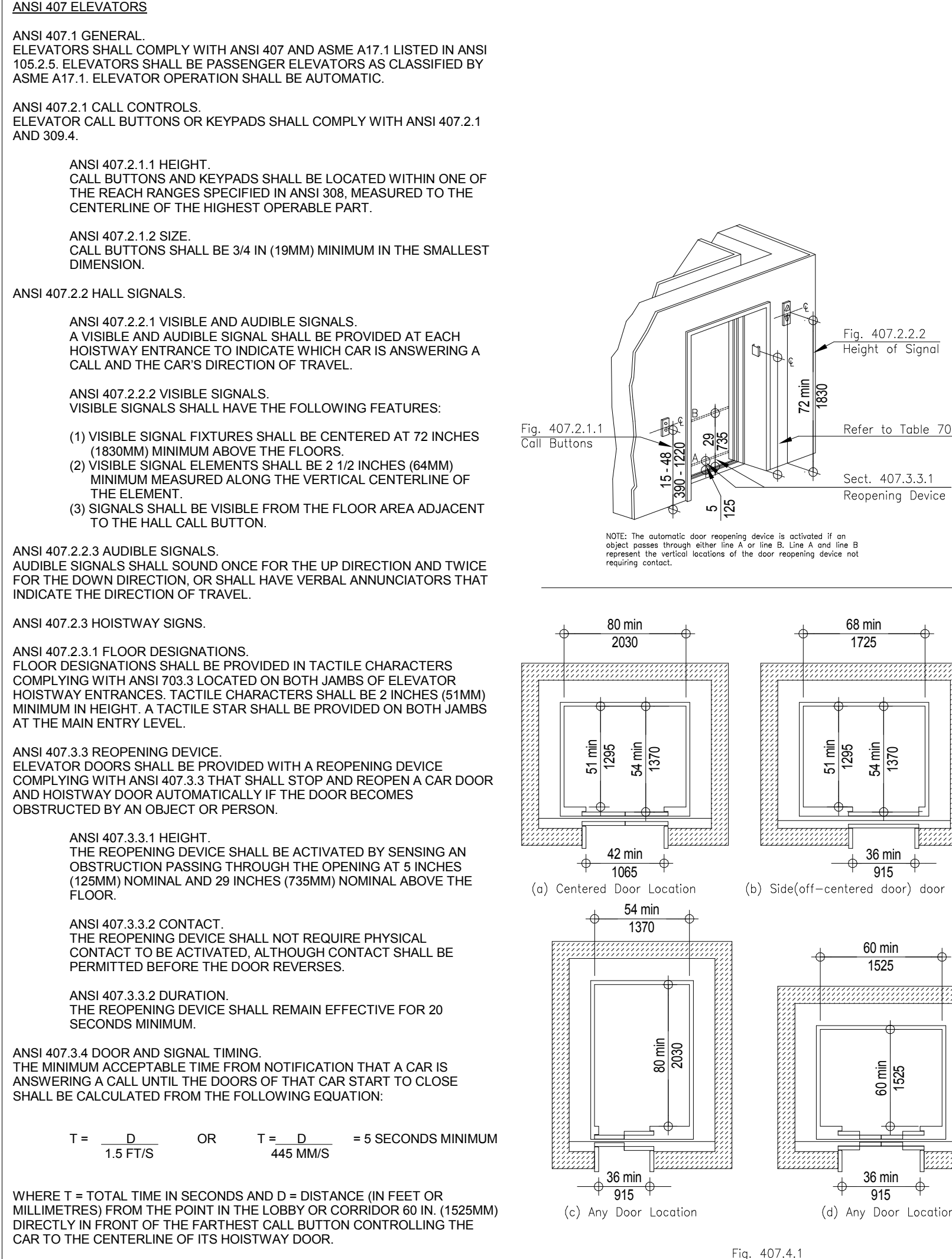
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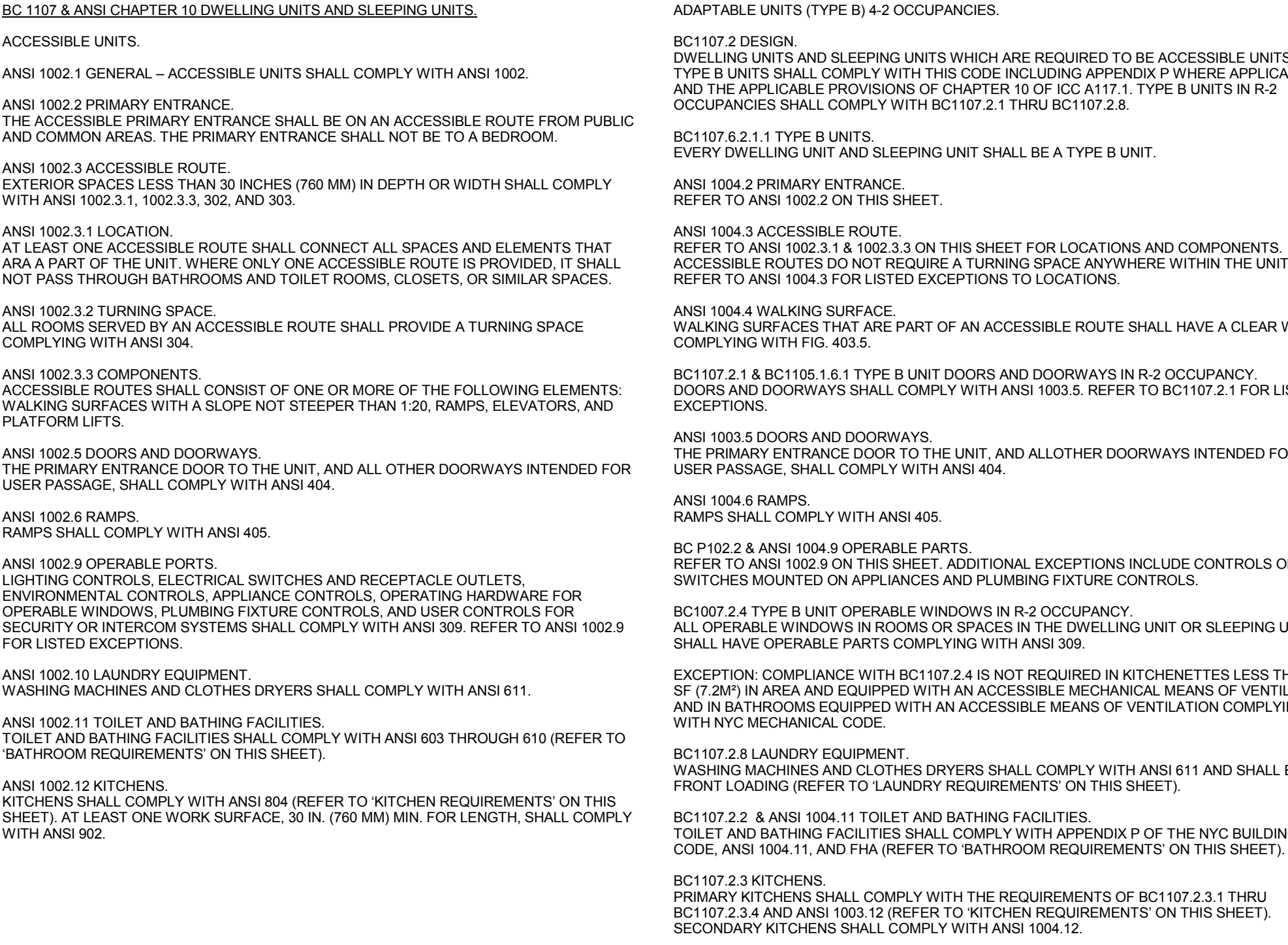
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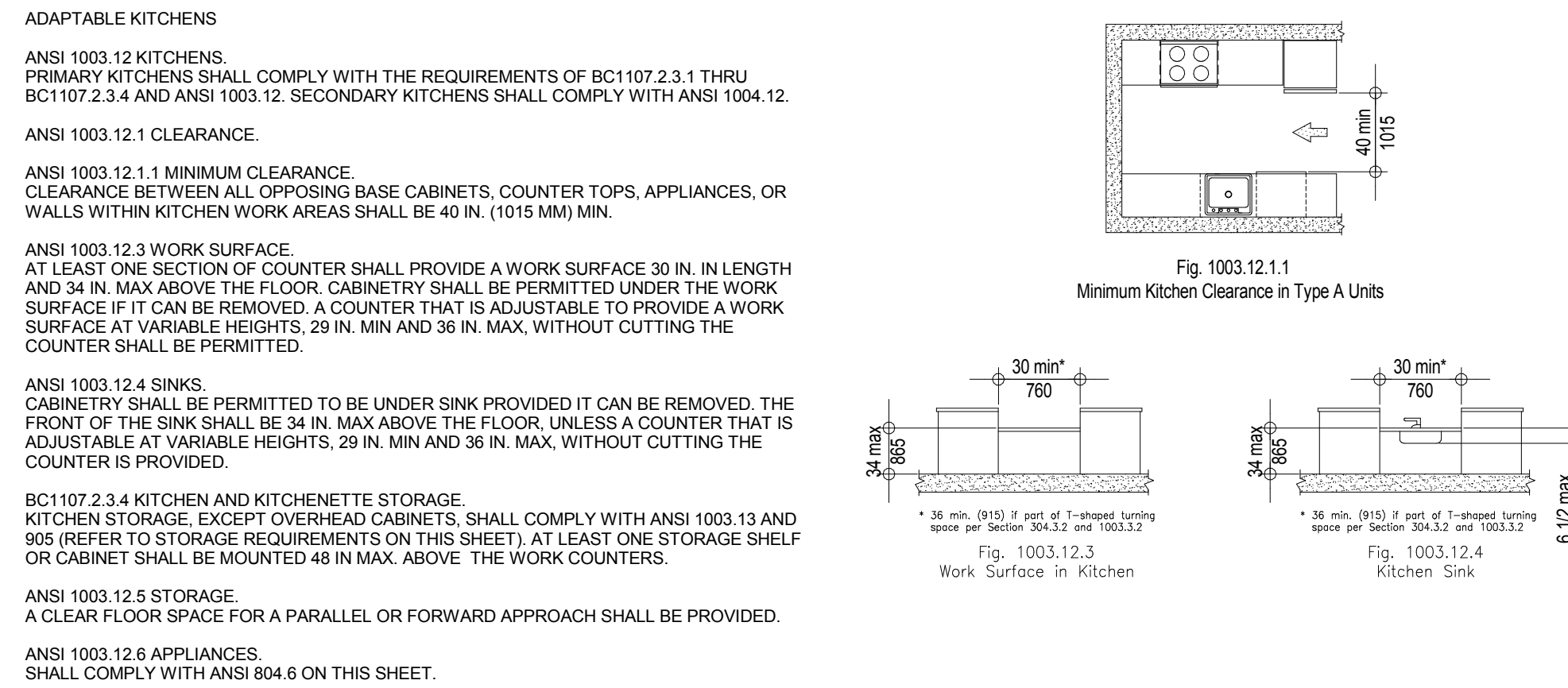
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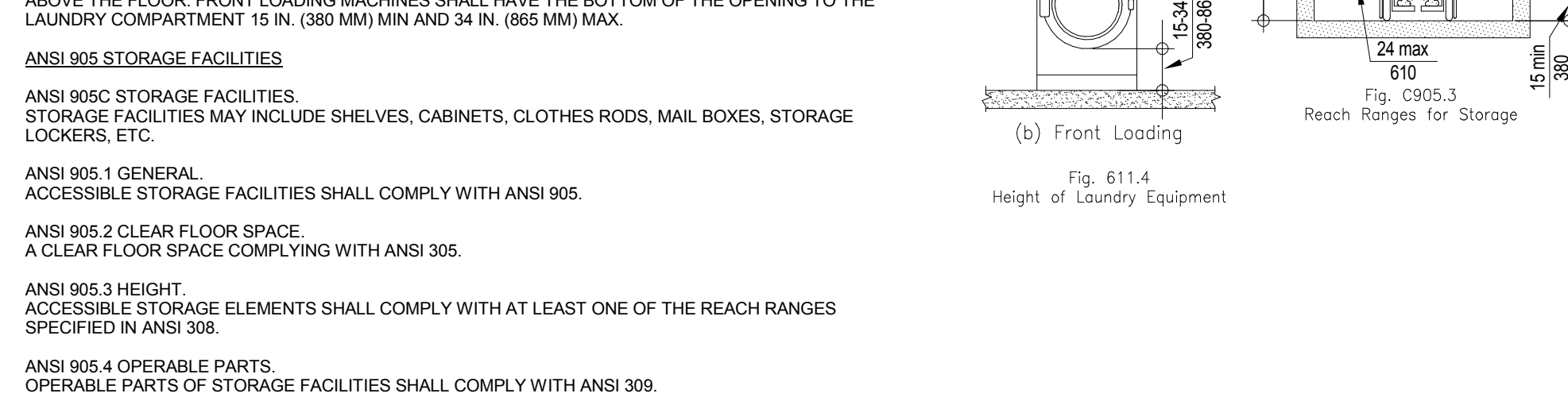
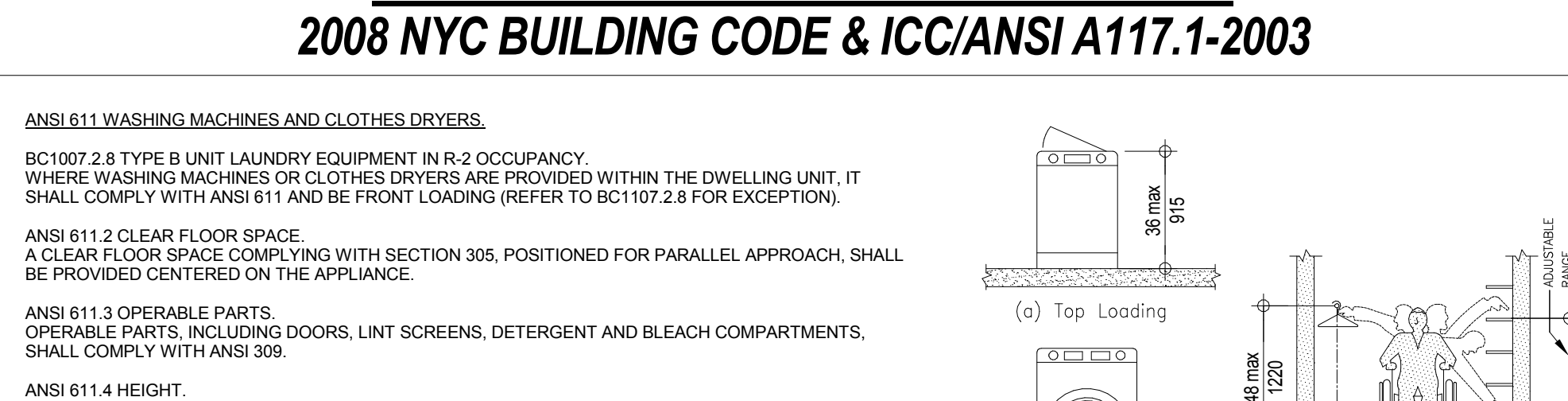
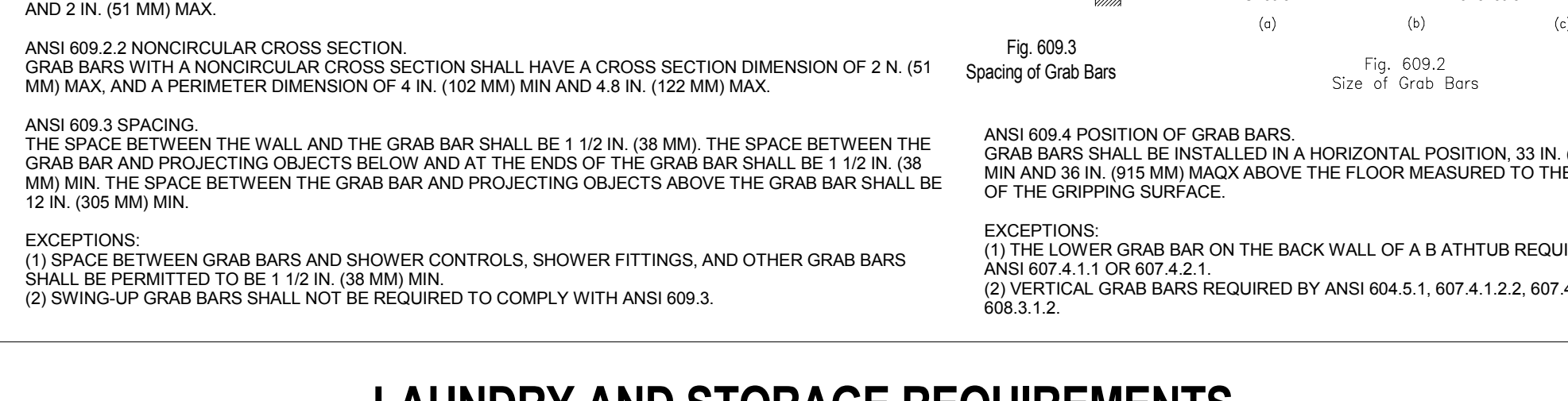
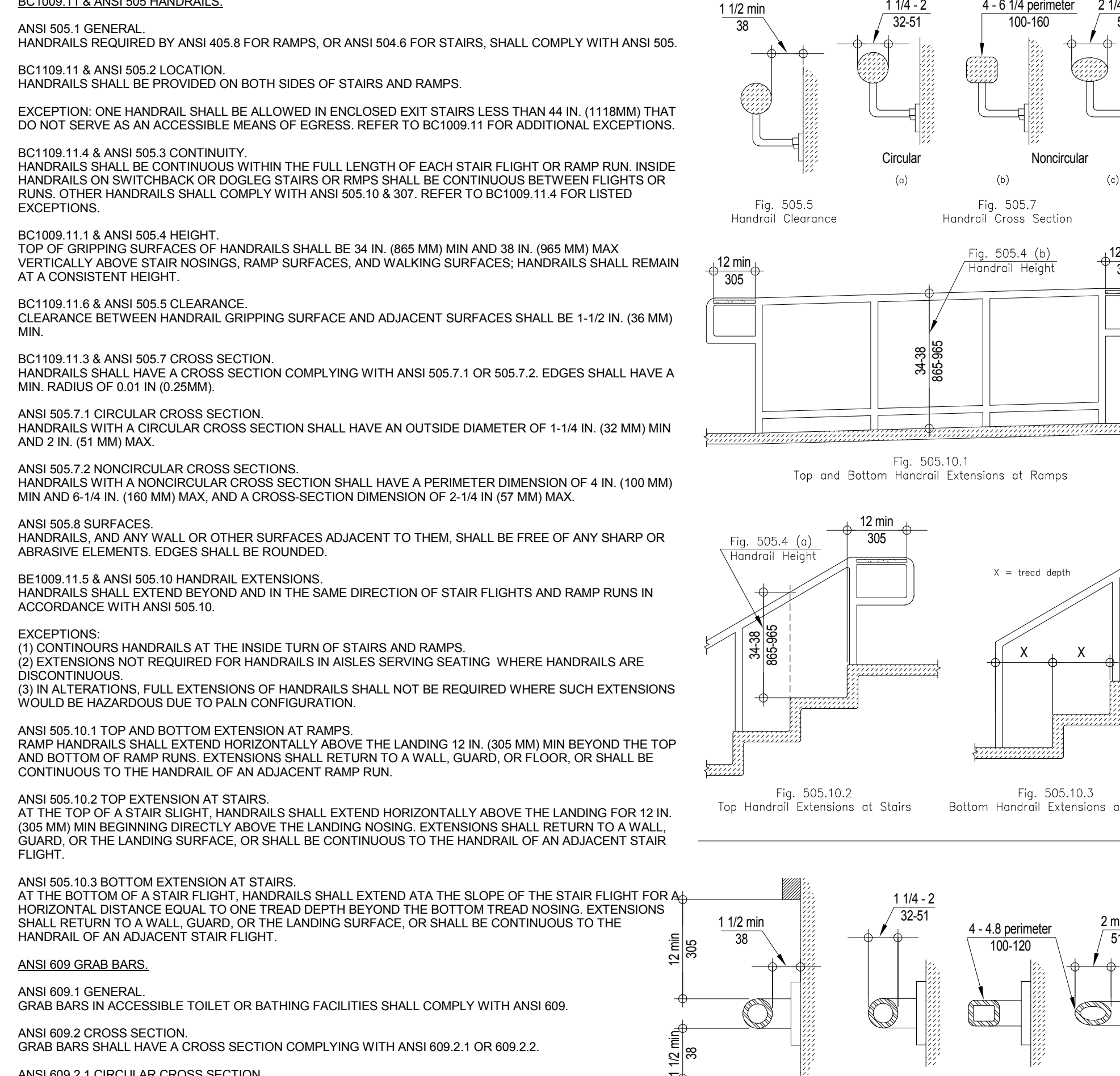
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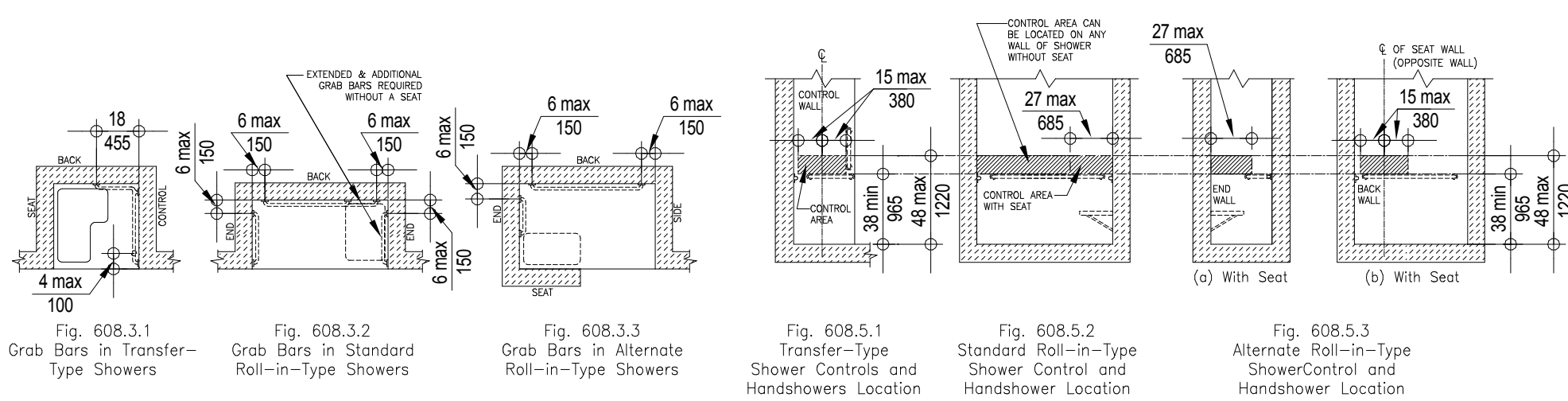
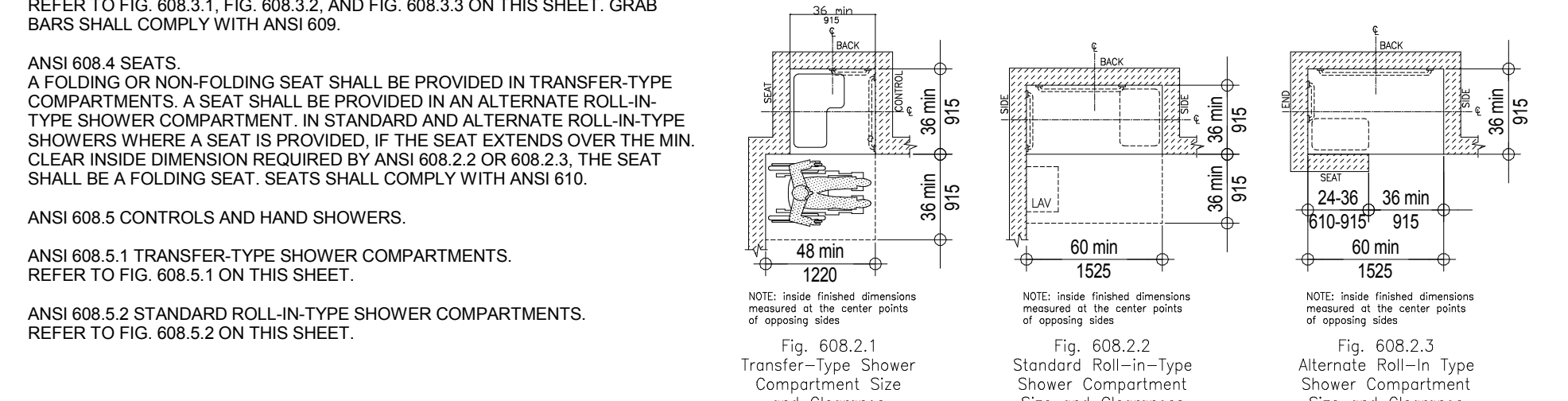
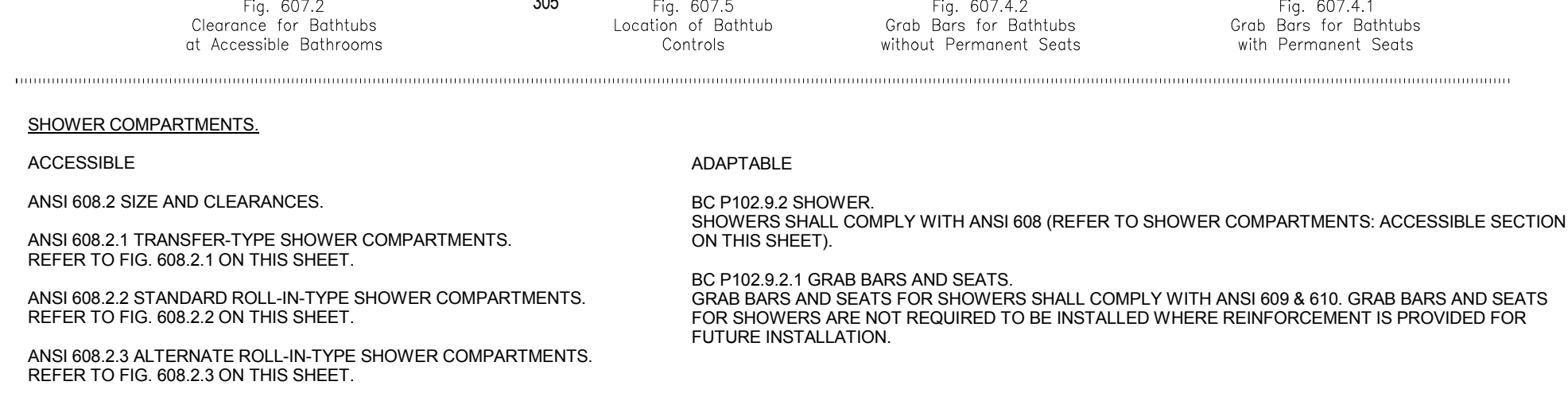
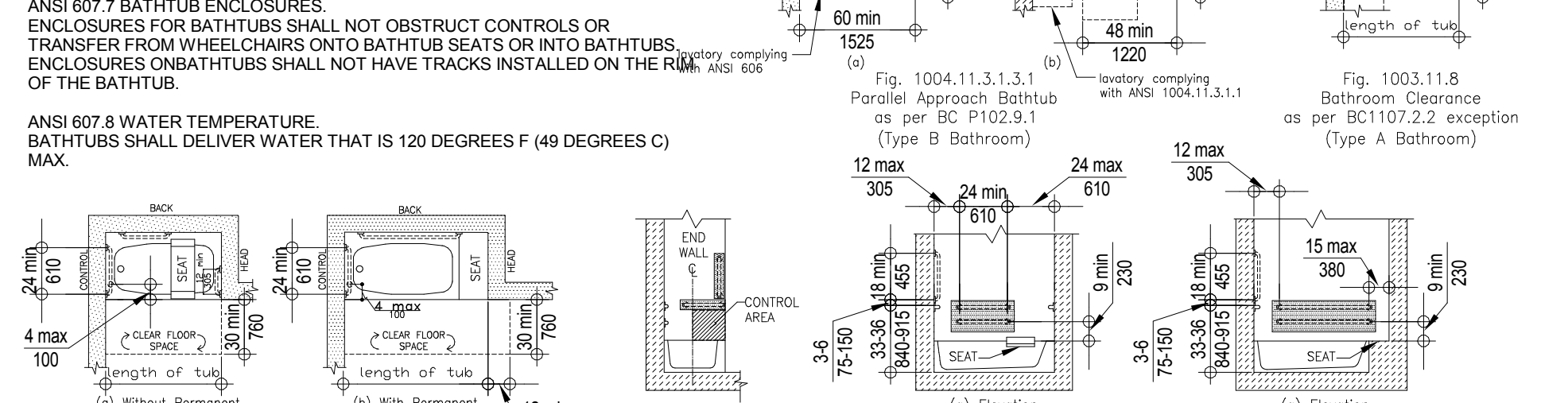
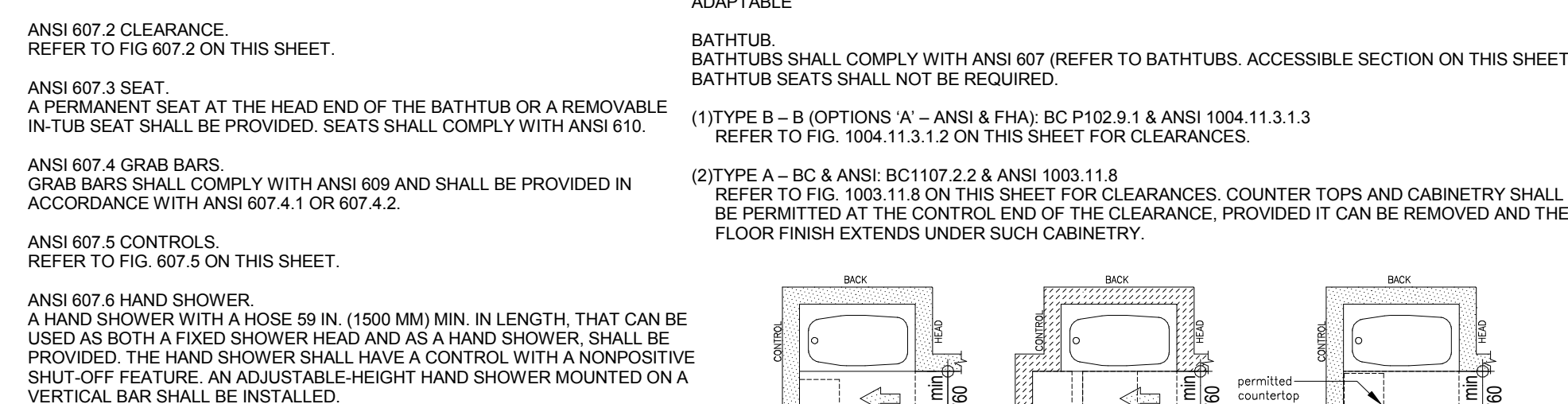
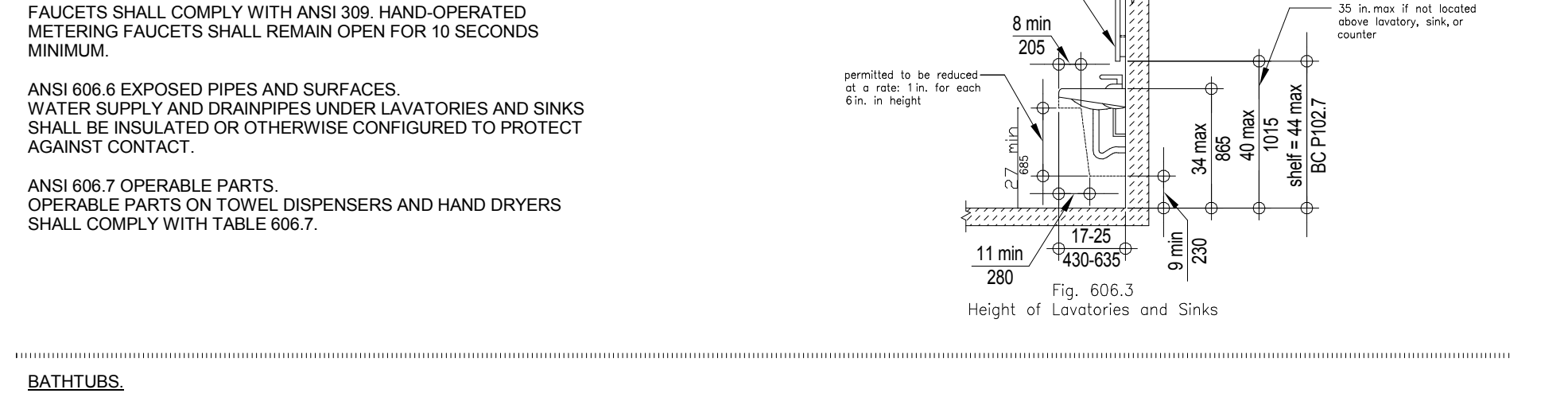
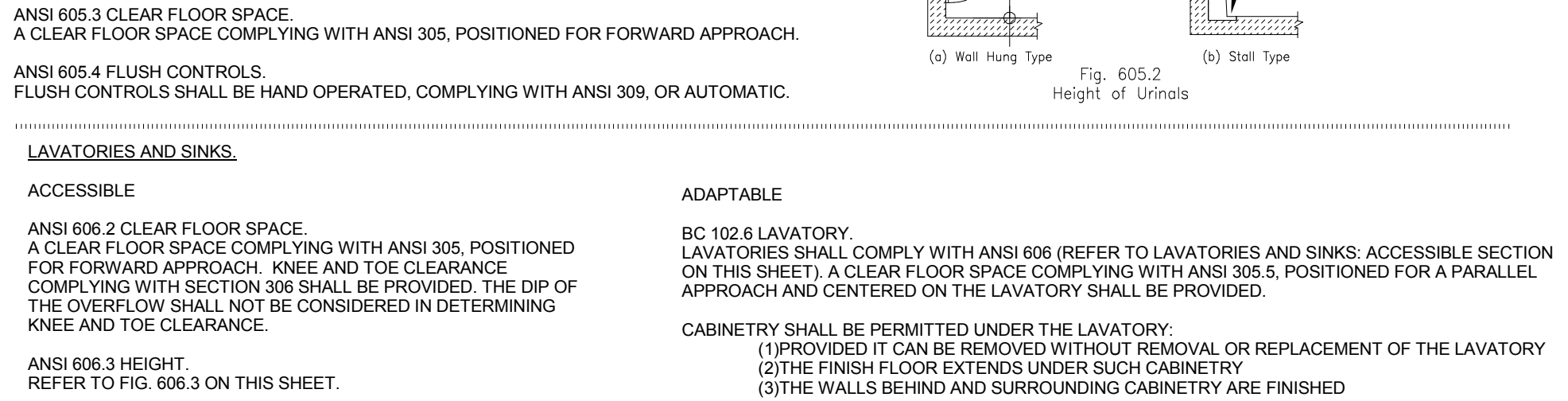
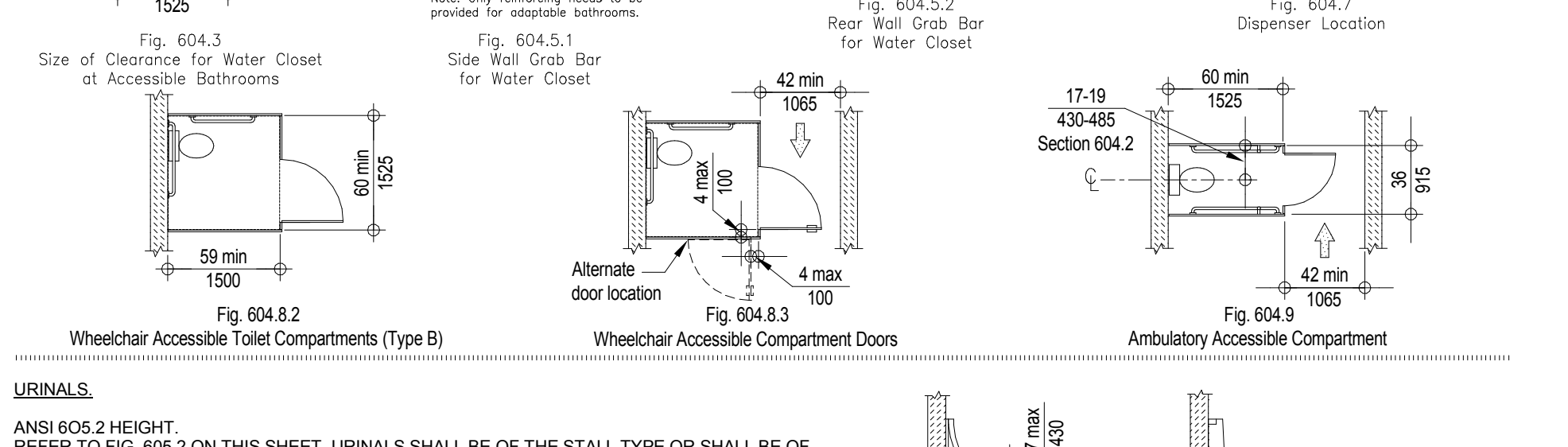
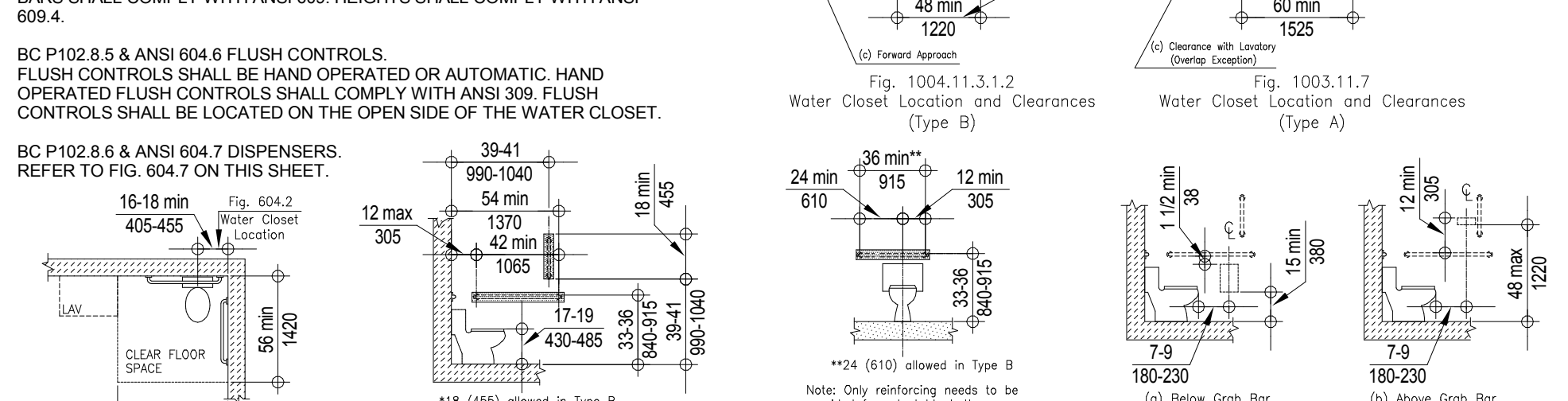
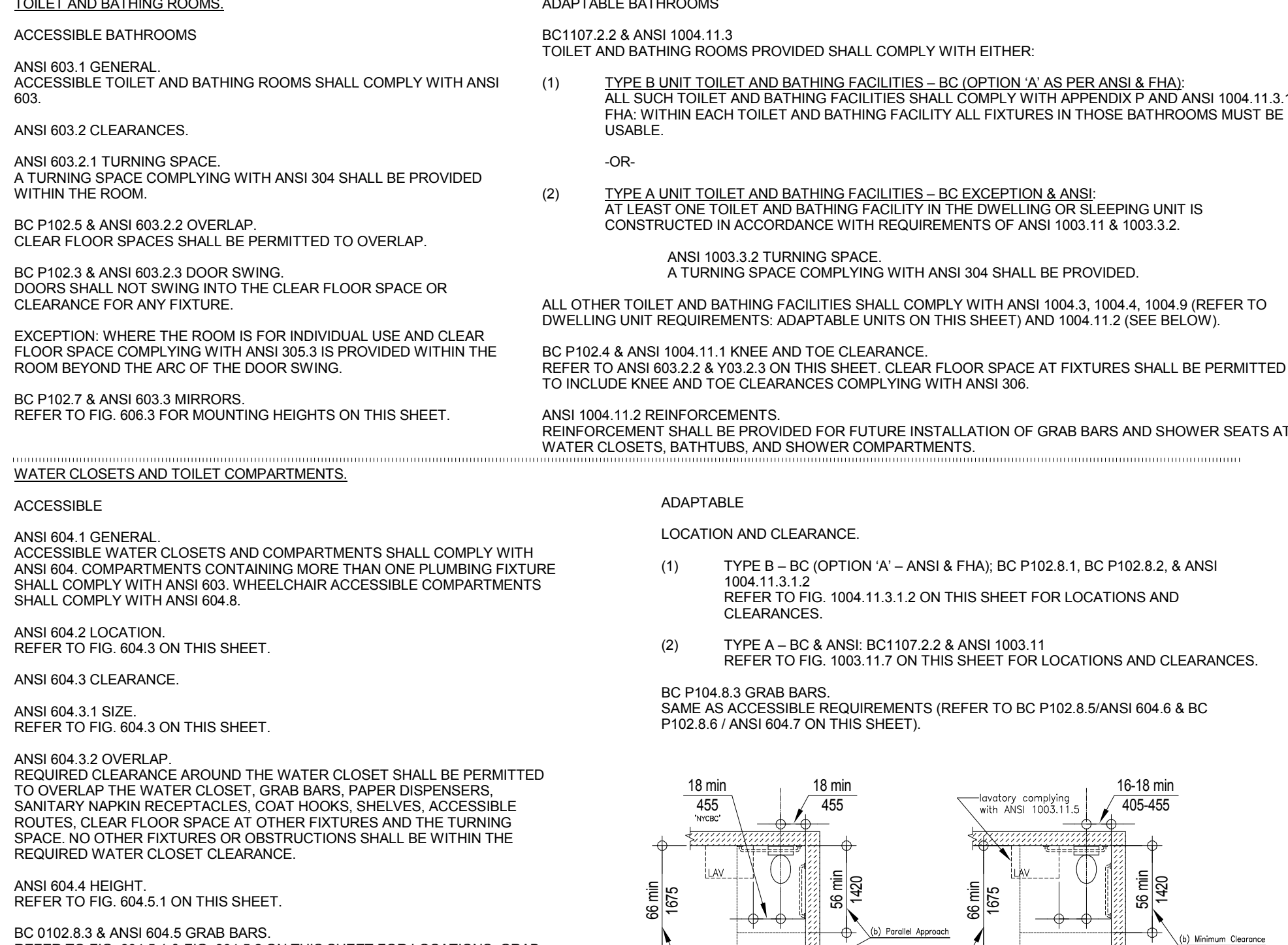
KITCHEN REQUIREMENTS 2008 NYC BUILDING CODE & ICC/ANSI A117.1-2003



HANDRAIL AND GRAB BAR REQUIREMENTS 2008 NYC BUILDING CODE & ICC/ANSI A117.1-2003



BATHROOMS REQUIREMENTS 2008 NYC BUILDING CODE & ICC/ANSI A117.1-2003



KEY PLAN

PROJECT 060 - 217 WEST 57TH STREET, NEW YORK, NY 10019-3201

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1	D.O.B. SUBMISSION	05 DEC 14
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3	D.O.B. SUBMISSION	18 FEB 15
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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET, NEW YORK, NY**

DRAWING TITLE: **CODE COMPLIANCE NOTES - 3**

ACCESSIBILITY

SEAL & SIGNATURE: **DAVID L. AAI** DATE: 15 OCT 14
PROJECT NO: 1216-00
DRAWN: Author REV: 1
CHECK: Checker
SCALE: 1/2" = 1'-0"
DWG NO: **A-022.00**
DOB PAGE NO: 68 of 69
DOB EMPLOYEE STAMP: DOB 8-SCAN

OCCUPANT LOADS SUMMARY SUBCELLAR 3 FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
TENANT LAUNDRY ROOM	F-2	290 SF	50 SF	6
AC MER	F-2	287 SF	300 SF	1
DAS EQUIPMENT ROOM	F-2	588 SF	300 SF	2
EJECTOR ROOM	F-2	377 SF	300 SF	3
ELECTRICAL ROOM	F-2	56 SF	300 SF	1
FUEL OIL PUMP ROOM	F-2	203 SF	300 SF	1
MER ROOM	F-2	418 SF	300 SF	2
FUEL OIL TANK ROOM	H-2	742 SF	300 SF	3
AMENITIES PROGRAM STORAGE	S-1	588 SF	300 SF	2
BUILDING STORAGE	S-1	359 SF	300 SF	2
RESIDENTIAL BIKE STORAGE	S-1	946 SF	300 SF	4
RESIDENTIAL STORAGE	S-1	4,934 SF	300 SF	18
STORAGE	S-1	492 SF	300 SF	3
COLD STORAGE	S-2	115 SF	300 SF	1
JANITOR	S-2	65 SF	300 SF	1
PACKAGE ROOM	S-2	610 SF	300 SF	3
Grand total				53

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (53)
STAIR - K	44"	0.3	146	27
STAIR - G	44"	0.3	146	26

EXIT DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (53)
STAIR - K - DOOR	34"	0.2	170	27
STAIR - G - DOOR	34"	0.2	170	26

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - K	11"	6.74"	21	72.18"
STAIR - G	11"	6.74"	21	132.79"

1780 BROADWAY
EXISTING BUILDING
(NO EXCAVATION)

* RESTROOM FACILITIES ARE LOCATED ON SUB CELLAR 2 FLOOR

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
H-2	100'	25'	20'
S-1	200'	100'	20'
S-2	250'	100'	20'

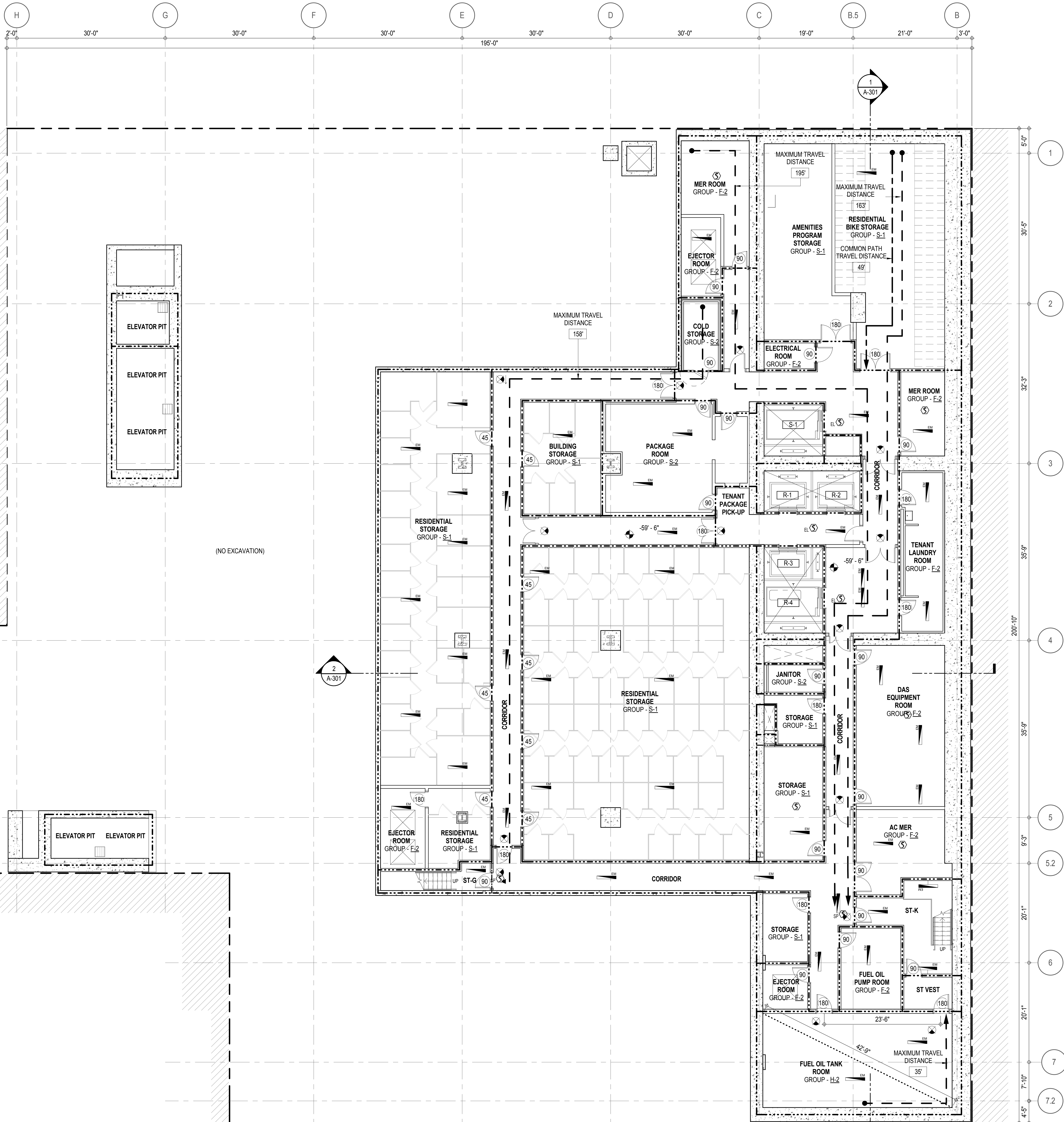
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
----	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

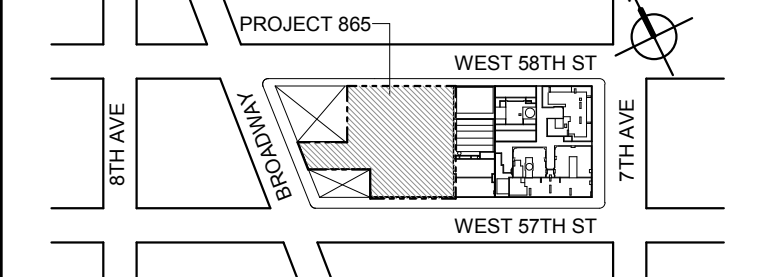
---	COMMON TRAVEL DISTANCE
----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

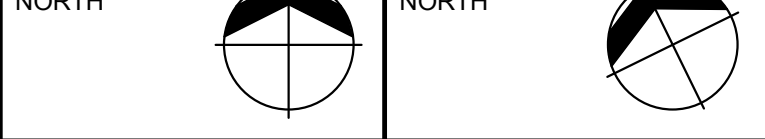
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN
	FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION
	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



KEY PLAN



PROJECT NORTH



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DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

SUB CELLAR 3 FLOOR PLAN
BUILDING CODE NOTES (B.O.H. SUPPORT)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

SCALE: 1/8" = 1'-0"

DWG No:

A-031.00

DOB PAGE No: 69 of 930

DOB EMPLOYEE STAMP:

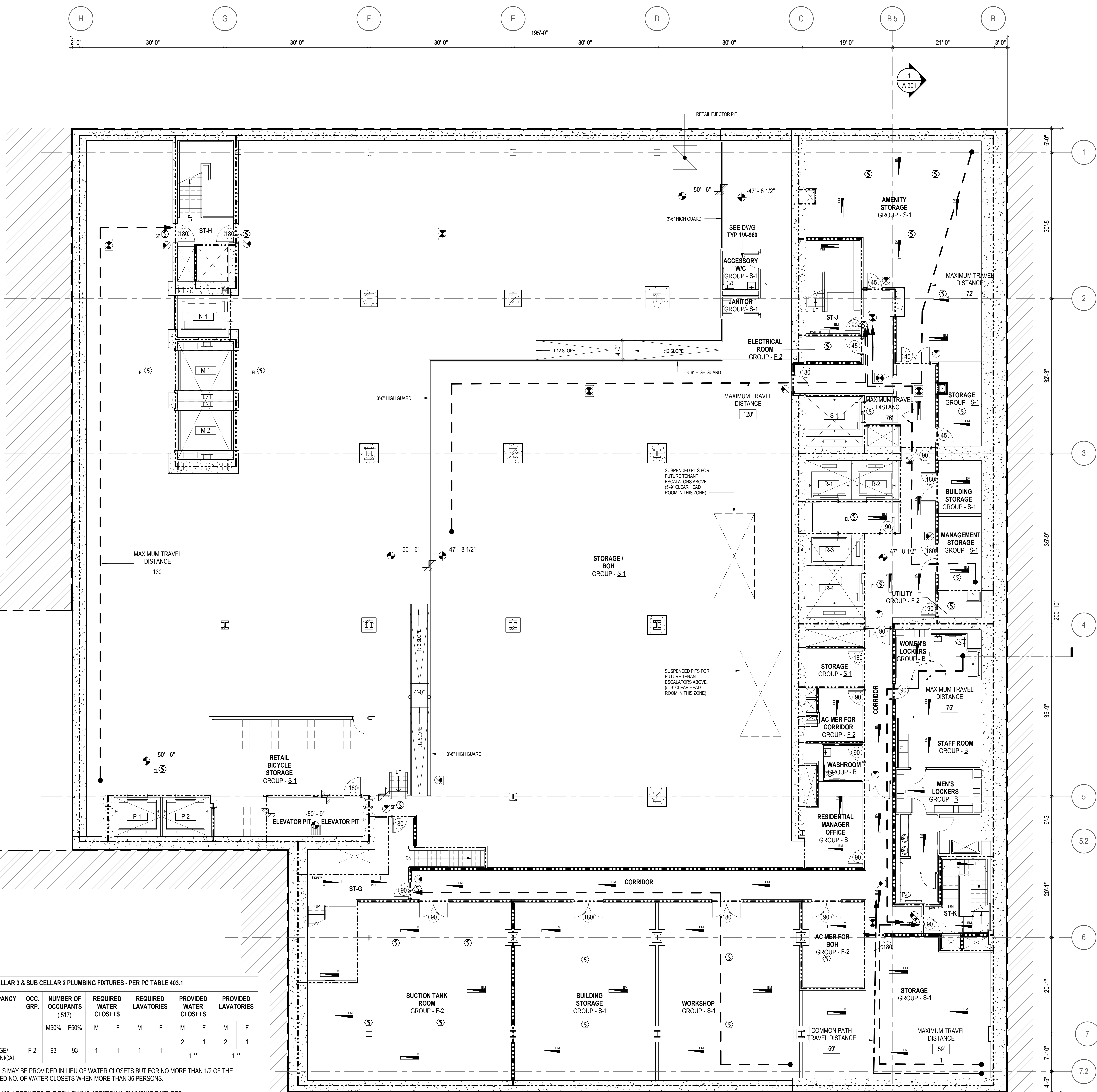
DOB B-SCAN:

OCCUPANT LOADS SUMMARY SUBCELLAR 2 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL MANAGER OFFICE	B	195 SF	15 SF	13
MEN'S LOCKERS	B	402 SF	50 SF	9
WOMEN'S LOCKERS	B	180 SF	50 SF	4
STAFF ROOM	B	327 SF	100 SF	4
WASHROOM	B	64 SF	100 SF	1
AC MER FOR BOH	F-2	221 SF	300 SF	1
AC MER FOR CORRIDOR	F-2	109 SF	300 SF	1
ELECTRICAL ROOM	F-2	59 SF	300 SF	1
PIT	F-2	160 SF	300 SF	1
SUCTION TANK ROOM	F-2	1,391 SF	300 SF	5
UTILITY	F-2	48 SF	300 SF	1
ACCESSORY WIC	S-1	60 SF	300 SF	1
AMENITY STORAGE	S-1	1,248 SF	300 SF	5
BUILDING STORAGE	S-1	1,185 SF	300 SF	5
JANITOR	S-1	30 SF	300 SF	1
MANAGEMENT STORAGE	S-1	134 SF	300 SF	1
RETAIL BICYCLE STORAGE	S-1	614 SF	300 SF	3
STORAGE	S-1	1,218 SF	300 SF	6
STORAGE / BOH	S-1	19,566 SF	300 SF	66
WORKSHOP	S-1	1,086 SF	300 SF	4
Grand total				133

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (692)	STAIR LOAD TOTAL (133)
STAIR - G	60"	0.3	200	42
STAIR - H	60"	0.3	200	41
STAIR - J	44"	0.3	146	25
STAIR - K	44"	0.3	146	25

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (740)	DOOR LOAD TOTAL (133)
STAIR - G - DOOR	40"	0.2	200	42
STAIR - H - DOOR	40"	0.2	200	41
STAIR - J - DOOR	34"	0.2	170	25
STAIR - K - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.79"	21	81.43"
STAIR - H	11"	6.75"	24	74.25"
STAIR - J	11"	6.79"	21	74.64"
STAIR - K	11"	6.79"	21	81.07"



SUB CELLAR 3 & SUB CELLAR 2 PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS (S17)	REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES
		M50% F50%	M	F	M	F	M	F	M
STORAGE/MECHANICAL	F-2	93	93	1	1	1	1	1	1

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.); 1 REQUIRED, 1 PROVIDED
SERVICE SINK; 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
S-1	200'	100'	20'
B	300'	100'	50'

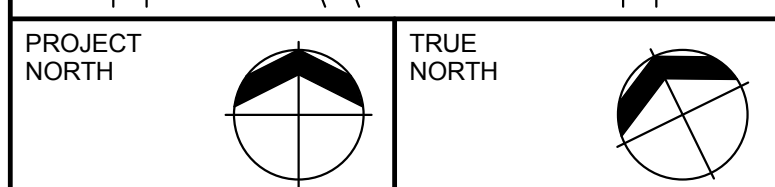
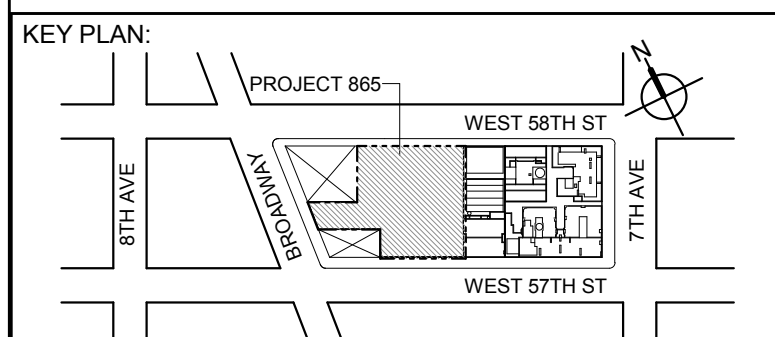
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
---	TWO HOUR RATED PARTITION
---	THREE HOUR RATED PARTITION
---	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	FEC FIRE EXTINGUISHER CABINET	⊙	SMOKE DETECTOR
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⊙	SMOKE / CARBON MONOXIDE DETECTOR
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	STANDPIPE	⊙	CEILING MOUNTED EMERGENCY LIGHT
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	SPRINKLER RISER	⊙	WALL MOUNTED EMERGENCY LIGHT
⬆	ILLUMINATED EXIT SIGN	⬆	SIAMESE CONNECTION	90	DOOR RATING (MINUTES)



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0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
SUB CELLAR 2 FLOOR PLAN
BUILDING CODE NOTES (B.O.H. SUPPORT)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
	SCALE: 1/8" = 1'-0"	
DWG No:	A-032.00	
DOB PAGE No:	70 of 690	

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY SUBCELLAR 1 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	31,005 SF	60 SF	** 517
Grand total				** 517

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (546)	STAIR LOAD TOTAL (517)
STAIR - G	60"	0.3	200	** 190
STAIR - H	60"	0.3	200	** 190
STAIR - J	44"	0.3	146	** 137

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (570)	DOOR LOAD TOTAL (517)
STAIR - G - DOOR	40"	0.2	200	** 190
STAIR - H - DOOR	40"	0.2	200	** 190
STAIR - J - DOOR	34"	0.2	170	** 137

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.93"	29	55.45"
STAIR - H	11"	6.93"	31	55.48"
STAIR - J	11"	6.93"	29	55.45"

SUB CELLAR 1 PLUMBING FIXTURES - PER PC TABLE 403.1											
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS (517)		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
RETAIL	M	259	259	1	1	1	1	2	1	1	1

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 F.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

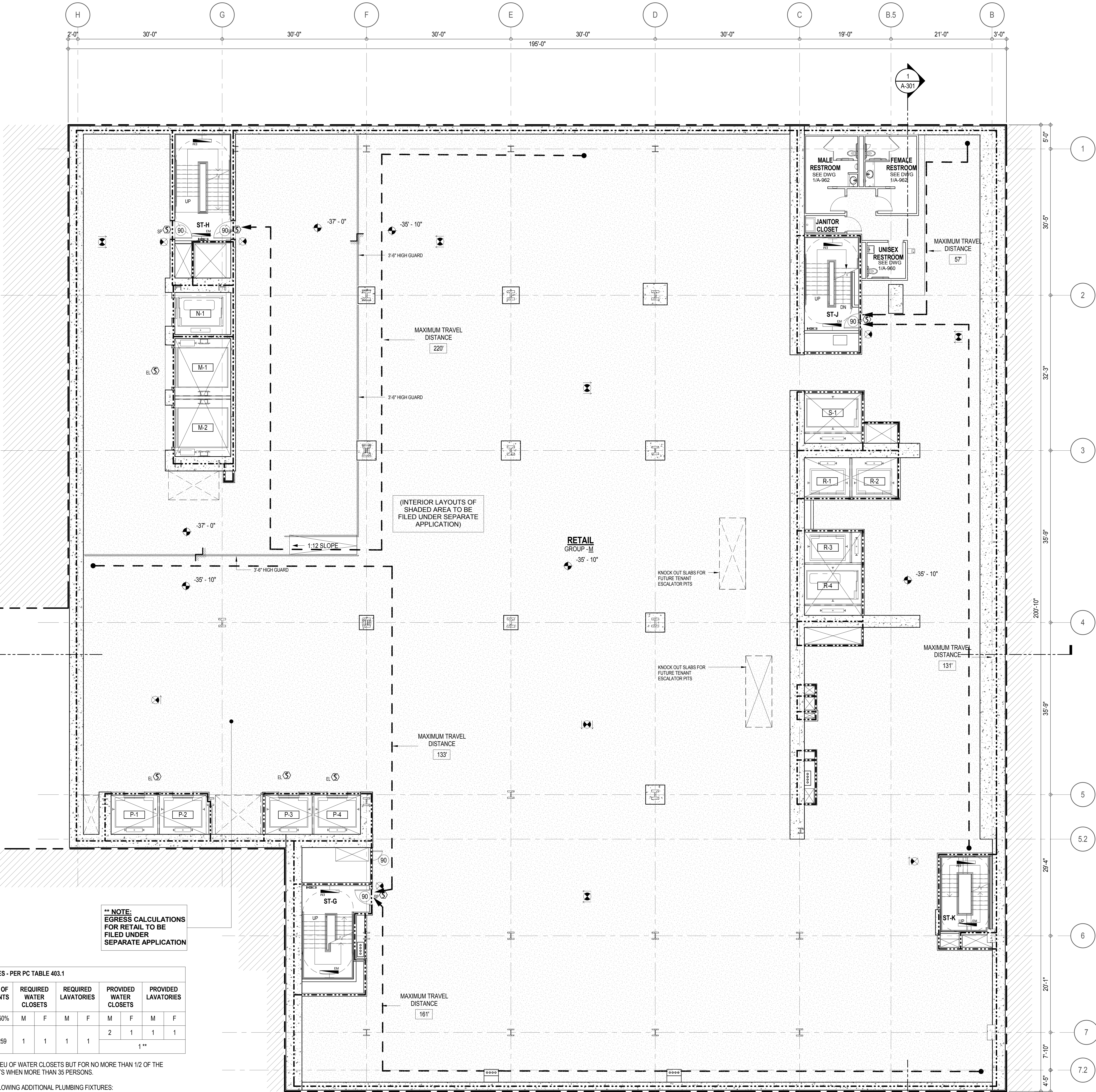
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)



** NOTE:
EGRESS CALCULATIONS
FOR RETAIL TO BE
FILED UNDER
SEPARATE APPLICATION

(INTERIOR LAYOUTS OF
SHADED AREA TO BE
FILED UNDER SEPARATE
APPLICATION)

RETAIL
GROUP - M

KNOCK OUT SLABS FOR
FUTURE TENANT
ESCALATOR RITS

KNOCK OUT SLABS FOR
FUTURE TENANT
ESCALATOR RITS

** NOTE:
EGRESS CALCULATIONS
FOR RETAIL TO BE
FILED UNDER
SEPARATE APPLICATION

MAXIMUM TRAVEL
DISTANCE
161'

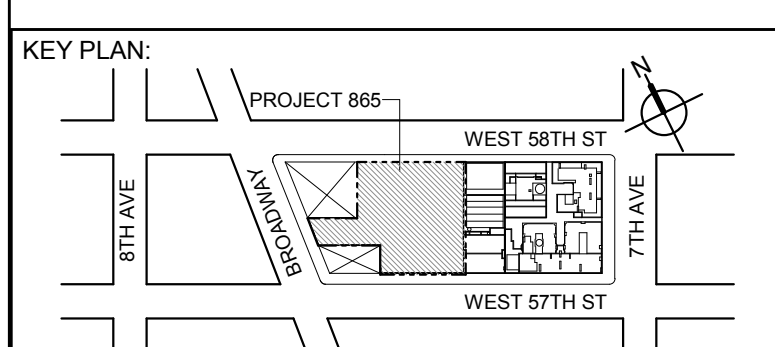
MAXIMUM TRAVEL
DISTANCE
133'

MAXIMUM TRAVEL
DISTANCE
131'

MAXIMUM TRAVEL
DISTANCE
220'

MAXIMUM TRAVEL
DISTANCE
57'

1780 BROADWAY
EXISTING BUILDING
(NO EXCAVATION)



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1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
SUB CELLAR 1 FLOOR PLAN
BUILDING CODE NOTES (RETAIL)

SEAL & SIGNATURE: PROJECT No: 1216-00
DATE: 15 OCT 14
DRAWN: Author
CHECK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-033.00**
DOB PAGE No: 71 of 930

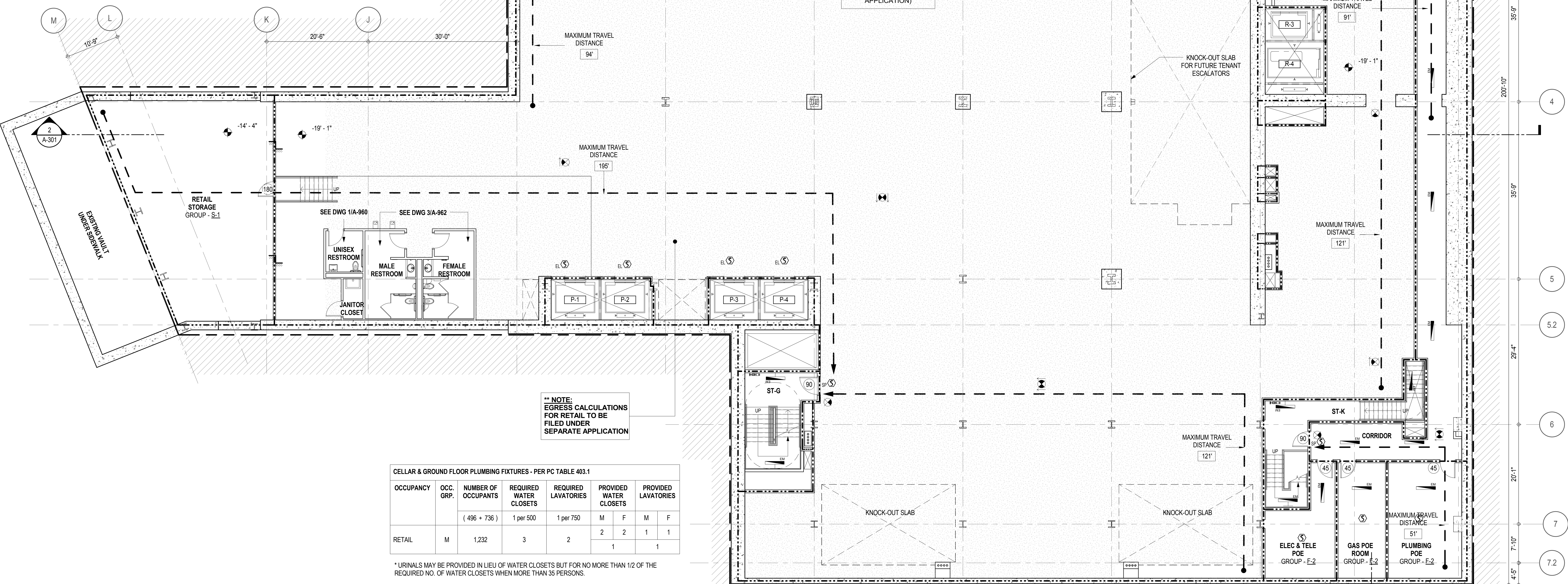
DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY CELLAR FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC ROOM	F-2	183 SF	300 SF	** 1
ELEC & TELE POE	F-2	239 SF	300 SF	** 1
GAS POE ROOM	F-2	222 SF	300 SF	** 1
PLUMBING POE	F-2	344 SF	300 SF	** 2
TELECOM POE & MAIN EQUIPMENT ROOM	F-2	256 SF	300 SF	** 1
WATER POE & FIRE PUMP ROOM	F-2	544 SF	300 SF	** 2
RETAIL	M	28,958 SF	60 SF	** 483
RETAIL STORAGE	S-1	1,283 SF	300 SF	5
Grand total				496

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (692)	STAIR LOAD TOTAL (496)
STAIR - G	60"	0.3	200	** 180
STAIR - H	60"	0.3	200	** 179
STAIR - J	44"	0.3	146	** 129
STAIR - K	44"	0.3	146	** 8

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (740)	DOOR LOAD TOTAL (496)
STAIR - G - DOOR	40"	0.2	200	** 180
STAIR - H - DOOR	40"	0.2	200	** 179
STAIR - J - DOOR	34"	0.2	170	** 129
STAIR - K - DOOR	34"	0.2	170	** 8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.87"	31	116.81"
STAIR - H	11"	7"	31	98.00"
STAIR - J	11"	6.93"	34	103.80"
STAIR - K	11"	7"	30	98.00"



CELLAR & GROUND FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1							
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS (496 + 736)	REQUIRED WATER CLOSETS 1 per 500	REQUIRED LAVATORIES 1 per 750	PROVIDED WATER CLOSETS M F	PROVIDED LAVATORIES M F	
RETAIL	M	1,232	3	2	2 2	1 1	1

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 2 REQUIRED, 2 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

* SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-2	250'	100'	20'
F-2	250'	100'	50'

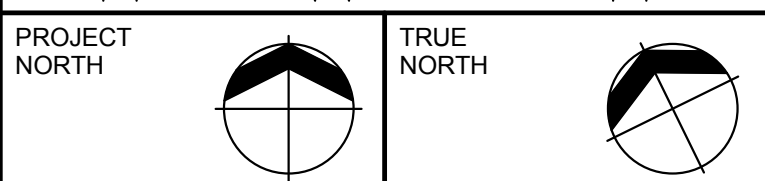
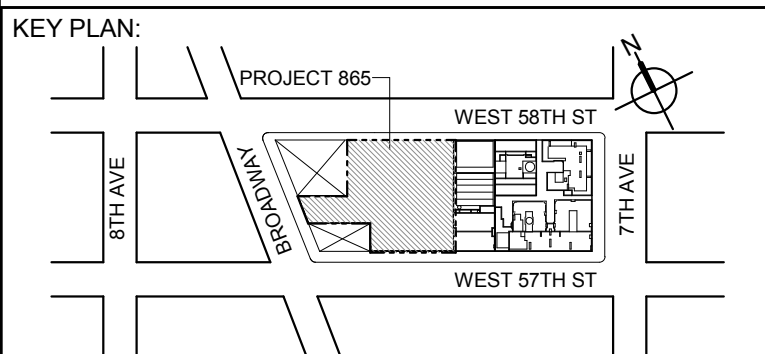
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
----	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
.....	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	FIRE EXTINGUISHER CABINET	☒	SMOKE DETECTOR
☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	☒	SMOKE / CARBON MONOXIDE DETECTOR
☒	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	STANDPIPE	☒	CEILING MOUNTED EMERGENCY LIGHT
☒	ILLUMINATED EXIT SIGN	⬆	SPRINKLER RISER	☒	WALL MOUNTED EMERGENCY LIGHT
		⬆	SIAMESE CONNECTION	☒	DOOR RATING (MINUTES)



DEVELOPER:
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MEP ENGINEERS:
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TEL: 212 354 5656 FAX: 212 354 5668

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11 Hanover Square, 18th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

CELLAR FLOOR PLAN

BUILDING CODE NOTES (RETAIL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-034.00

DOB PAGE No: 72 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

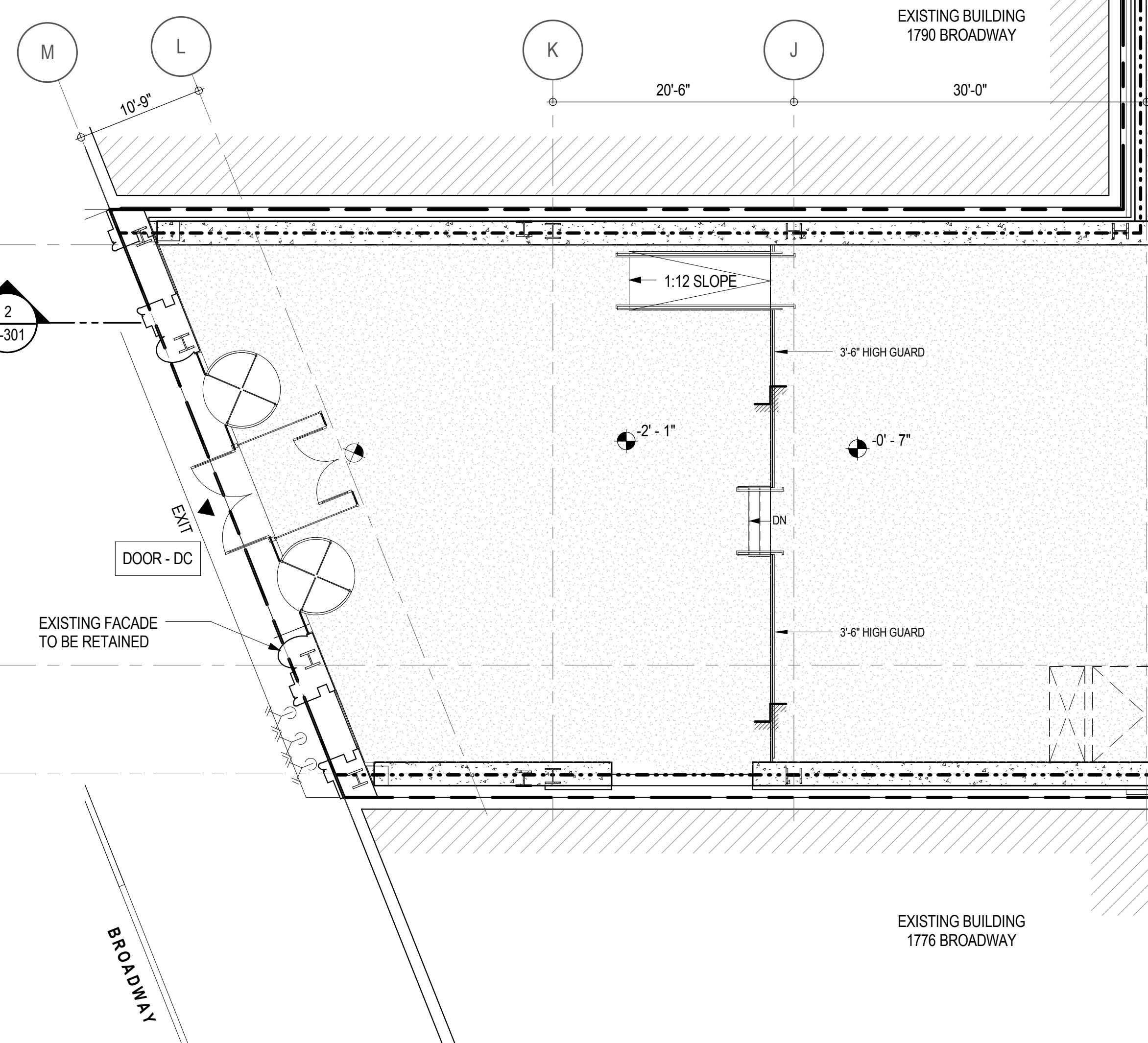
DOB EMPLOYEE STAMP: DOB B-SCAN:

GROUND FLOOR - OCCUPANT LOAD SUMMARY				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL ESA / FIRE ALARM	B	439 SF	100 SF	5
RETAIL	M	21,539 SF	30 SF	** 718
LOADING DOCK	S-1	3,481 SF	300 SF	12
RETAIL BOH	S-1	159 SF	300 SF	1
Grand total				** 736

EXIT DOOR SUMMARY - BC TABLE 1005.1			
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY
			TOTAL (1540)
STAIR - A - DOOR	34"	0.2	170
STAIR - B - DOOR	34"	0.2	170
STAIR - C - DOOR	40"	0.2	200
STAIR - D - DOOR	40"	0.2	200
STAIR - E - DOOR	40"	0.2	200
STAIR - G - DOOR	40"	0.2	200
STAIR - H - DOOR	40"	0.2	200
STAIR - J - DOOR	40"	0.2	200
STAIR - K - DOOR	34"	0.2	170

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (1080)	TOTAL (718)
EXIT DOOR - DA	72"	0.2	360	** 239
EXIT DOOR - DB	72"	0.2	360	** 239
EXIT DOOR - DC	72"	0.2	360	** 240

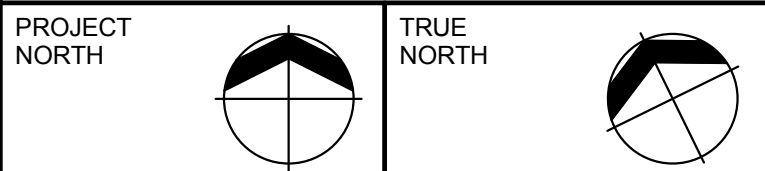
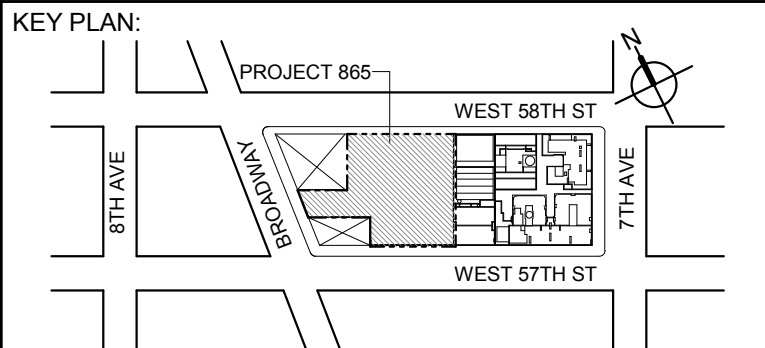
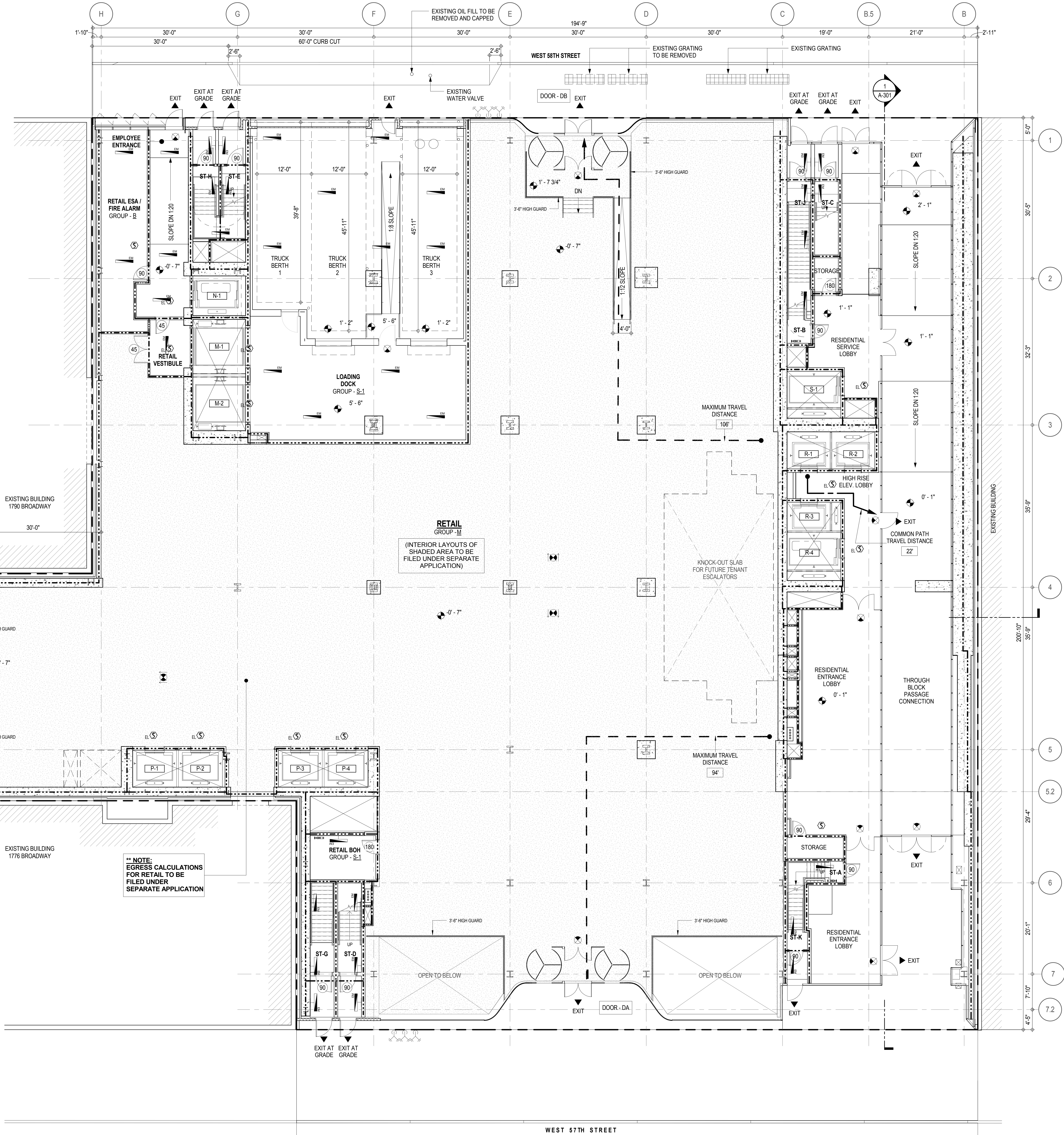
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-1	200'	100'	20'
B	300'	100'	50'



* RESTROOM FACILITIES ARE LOCATED ON CELLAR FLOOR

EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND	
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN
	FEC FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION
	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



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GEOTECHNICAL ENGINEERS:
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New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

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Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

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	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
GROUND FLOOR PLAN
BUILDING CODE NOTES (LOBBY)

SEAL & SIGNATURE: PROJECT No: 1216-00

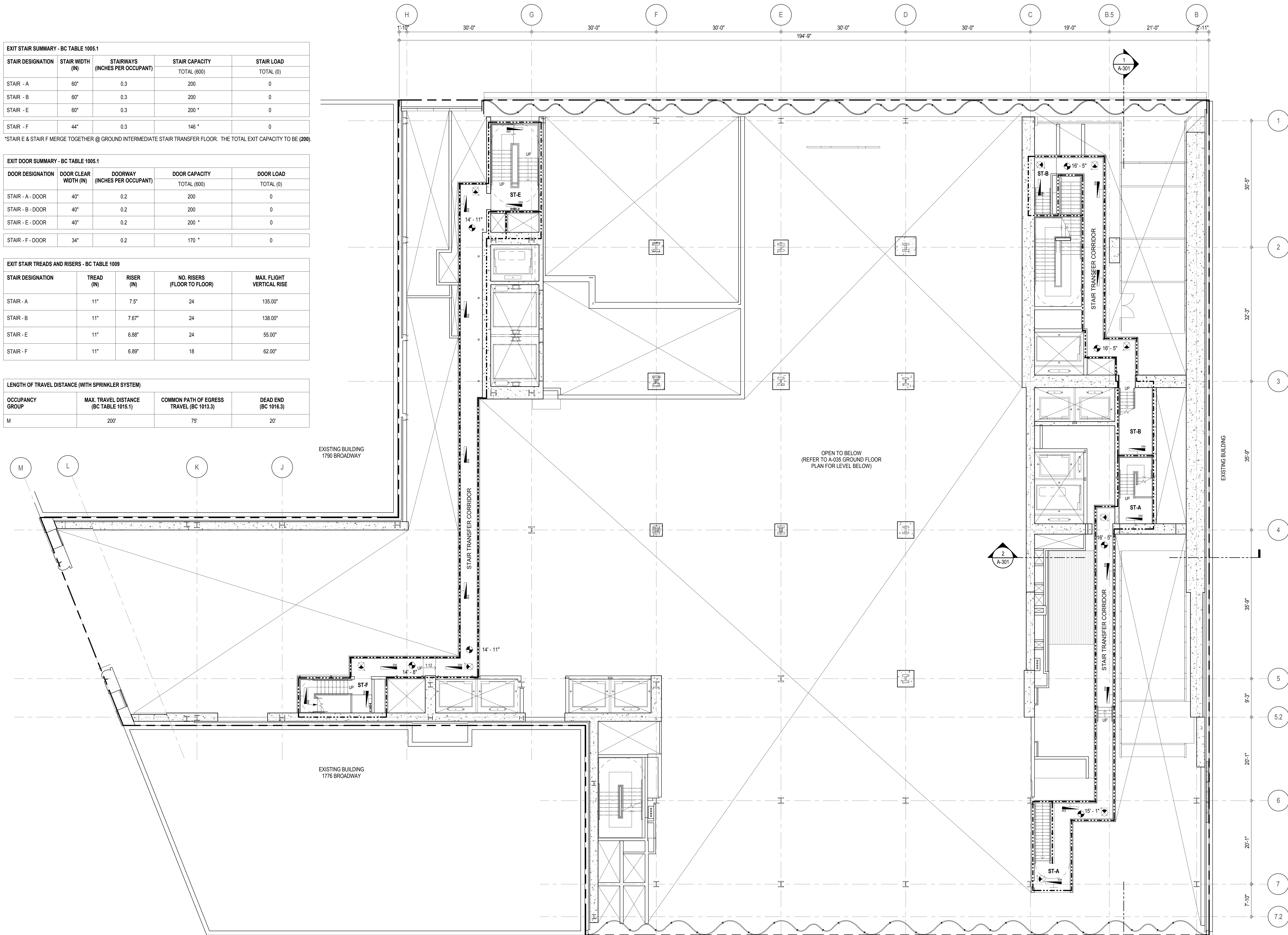
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



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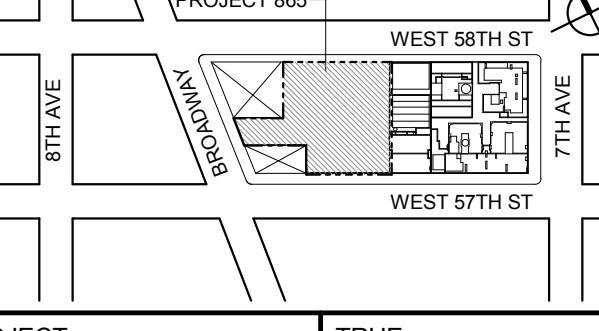


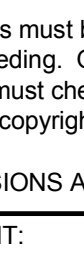
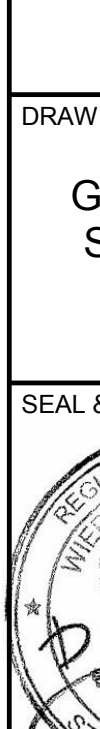
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LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



EGRESS AND FIRE RATING LEGEND		
— — — — —	ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	DEAD END
— — — — —	THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
— — — — —	FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
—————	NON RATED SMOKE SEPARATION	WITHIN DWELLING UNIT

SYMBOLS & LEGEND					
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FEC FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
			SIAMESE CONNECTION		DOOR RATING (MINUTES)

KEY PLAN: 		
PROJECT NORTH  TRUE NORTH 		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 1111 WEST MONROE STREET SUITE 2300 CHICAGO IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
ARCHITECT OF RECORD: Base Building Shell & Core AAI ARCHITECTS, P.C. 401 WASHINGTON ST W, 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1550 FAX: 416 967 7150		
STRUCTURAL ENGINEERS: WSP CANTOR SEINK 228 EAST 45TH STREET NEW YORK, NY 10017 USA TEL: 212 687 9888 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP 1501 Broadway New York, NY 10036 USA TEL: 212 354 5656 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 51st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911		
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LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
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DOB SUBMISSION		
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CONSULTANT: <div style="display: flex; align-items: center; justify-content: center;">  <div style="margin-left: 20px;"> AAI ARCHITECTS, P.C. </div> </div>		
PROJECT: <div style="text-align: center; font-weight: bold; font-size: 1.2em;"> 217 WEST 57TH STREET NEW YORK, NY </div>		
DRAWING TITLE: <div style="text-align: center; font-weight: bold; font-size: 1.2em;"> GROUND FLOOR INTERIOR STAIR TRANSFER FLOOR PLAN BUILDING CODE NOTES </div>		
SEAL & SIGNATURE: 	DATE: 15 OCT 14 PROJECT NO: 1216-00 DRAWN: Author CHECK: Checker SCALE: 1" = 1'-0" DWG NO: <div style="text-align: center; font-weight: bold; font-size: 1.5em;">A-036.00</div> DOB PAGE NO: 74 of 500	
DOB EMPLOYEE STAMP: _____ DOB B-SCHOOL: _____		

OCCUPANT LOADS SUMMARY 2ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	30,119 SF	60 SF	** 502
Grand total				** 502

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (502)
STAIR - C	60"	0.3	200	** 170
STAIR - D	60"	0.3	200	** 170
STAIR - E	60"	0.3	200 *	** 162

STAIR - F	44"	0.3	146 *	** 0
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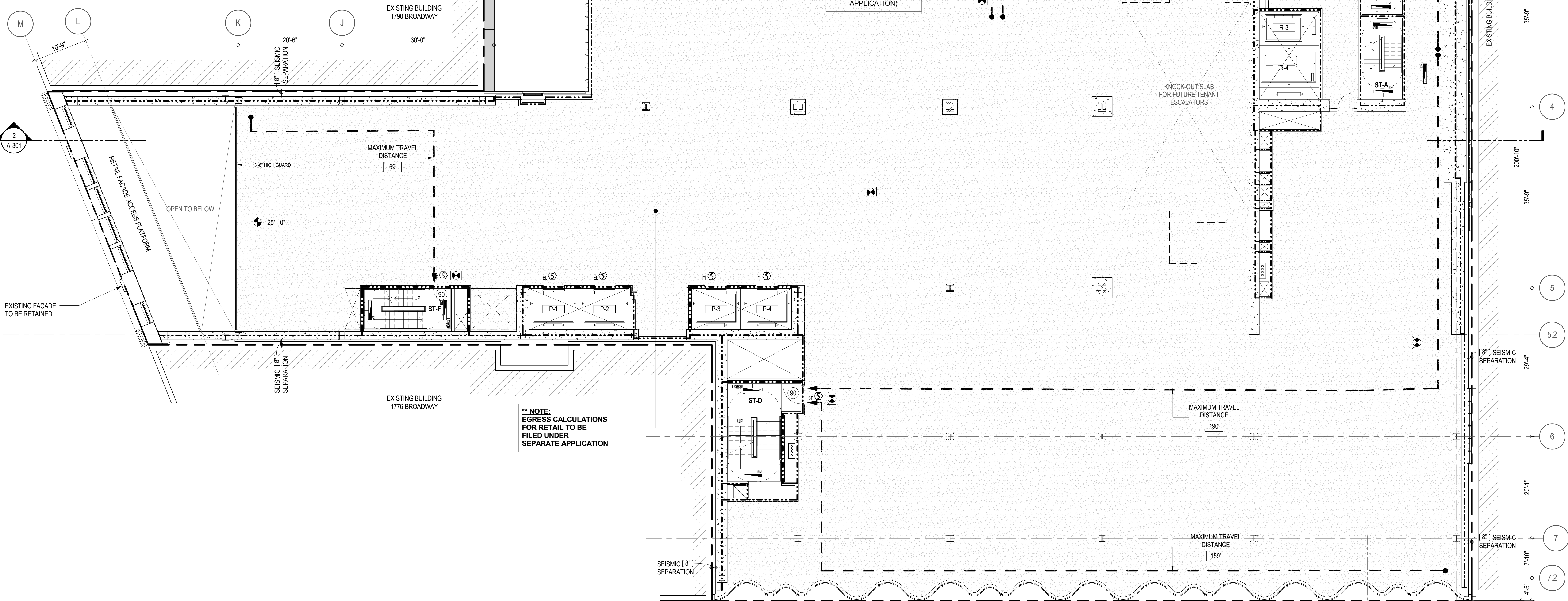
*STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. THE TOTAL EXIT CAPACITY TO BE (200).

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (502)
STAIR - C - DOOR	40"	0.2	200	** 170
STAIR - D - DOOR	40"	0.2	200	** 170
STAIR - E - DOOR	40"	0.2	200 *	** 162

STAIR - F - DOOR	34"	0.2	170 *	0
------------------	-----	-----	-------	---

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	6.63"	42	138.00"
STAIR - D	11"	6.87"	21	48.08"
STAIR - E	11"	6.72"	18	60.50"
STAIR - F	11"	6.89"	18	62.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



** NOTE:
EGRESS CALCULATIONS
FOR RETAIL TO BE
FILED UNDER SEPARATE APPLICATION

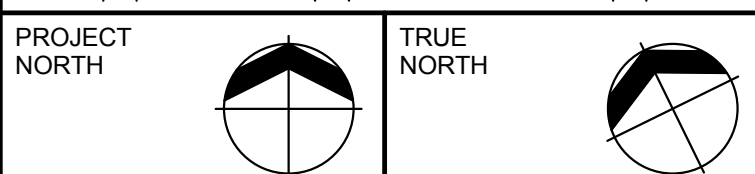
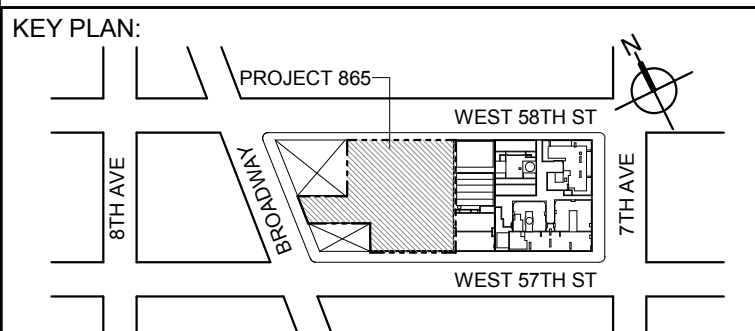
* RESTROOM FACILITIES ARE LOCATED ON 3RD FLOOR

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	FIRE EXTINGUISHER CABINET	☒	SMOKE DETECTOR
☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	☒	SMOKE / CARBON MONOXIDE DETECTOR
☒	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	STANDPIPE	☒	CEILING MOUNTED EMERGENCY LIGHT
☒	ILLUMINATED EXIT SIGN	●	SPRINKLER RISER	☒	WALL MOUNTED EMERGENCY LIGHT
		●	SIAMESE CONNECTION	☒	DOOR RATING (MINUTES)



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LANDMARK/PRESERVATION CONSULTANT:
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No.	DESCRIPTION	DATE
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
2ND FLOOR PLAN
BUILDING CODE NOTES (RETAIL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-037.00

DOB PAGE No: 15 of 500

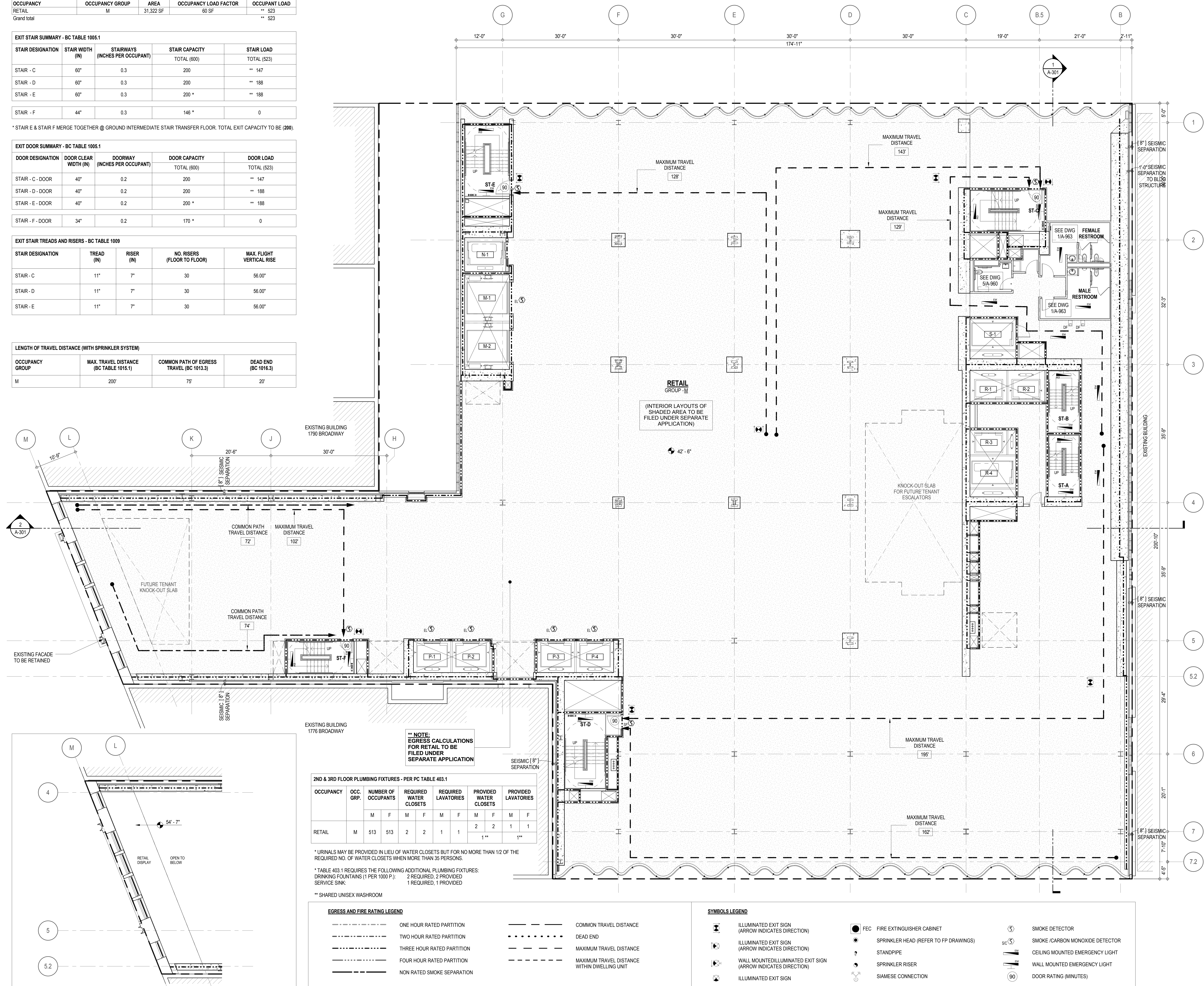
DOB EMPLOYEE STAMP: DOB B-SCAN:

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (523)
STAIR - C	60"	0.3	200	** 147
STAIR - D	60"	0.3	200	** 188
STAIR - E	60"	0.3	200 *	** 188
STAIR - F	44"	0.3	146 *	0

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (523)
STAIR - C - DOOR	40"	0.2	200	** 147
STAIR - D - DOOR	40"	0.2	200	** 188
STAIR - E - DOOR	40"	0.2	200 *	** 188

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



KEY PLAN:

PROJECT 865

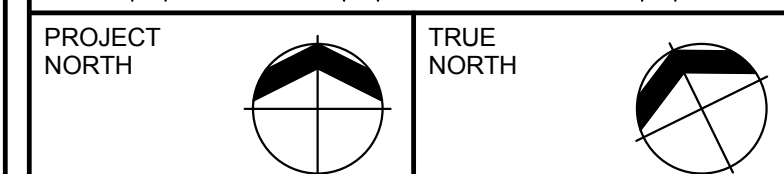
WEST 58TH ST

8TH AVE

BROADWAY

7TH AVE

WEST 57TH ST



DEVELOPER:
EXTCELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
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GEOTECHNICAL ENGINEERS:
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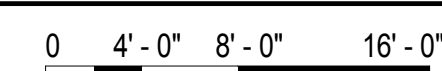
CODE CONSULTANTS:
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New York, NY 10007
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No.	DESCRIPTION:	DATE:
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4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15



DOB SUBMISSION

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CONSULTANT:

Λ Λ T




PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

3RD FLOOR PLAN

BUILDING CODE NOTES (RETAIL)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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SEAL & SIGNATURE:	DATE: 15 OCT 14	
	PROJECT No: 1216-00	
	DRAWN: Author	REV:
	CHK: Checker	
	SCALE: 1/8" = 1'-0"	
	DWG No:	
	A-038.00	

DOB EMPLOYEE STAMP:		DOB B-SCAN:
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OCCUPANT LOADS SUMMARY 4TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	29,651 SF	60 SF	** 495
Grand total				** 495

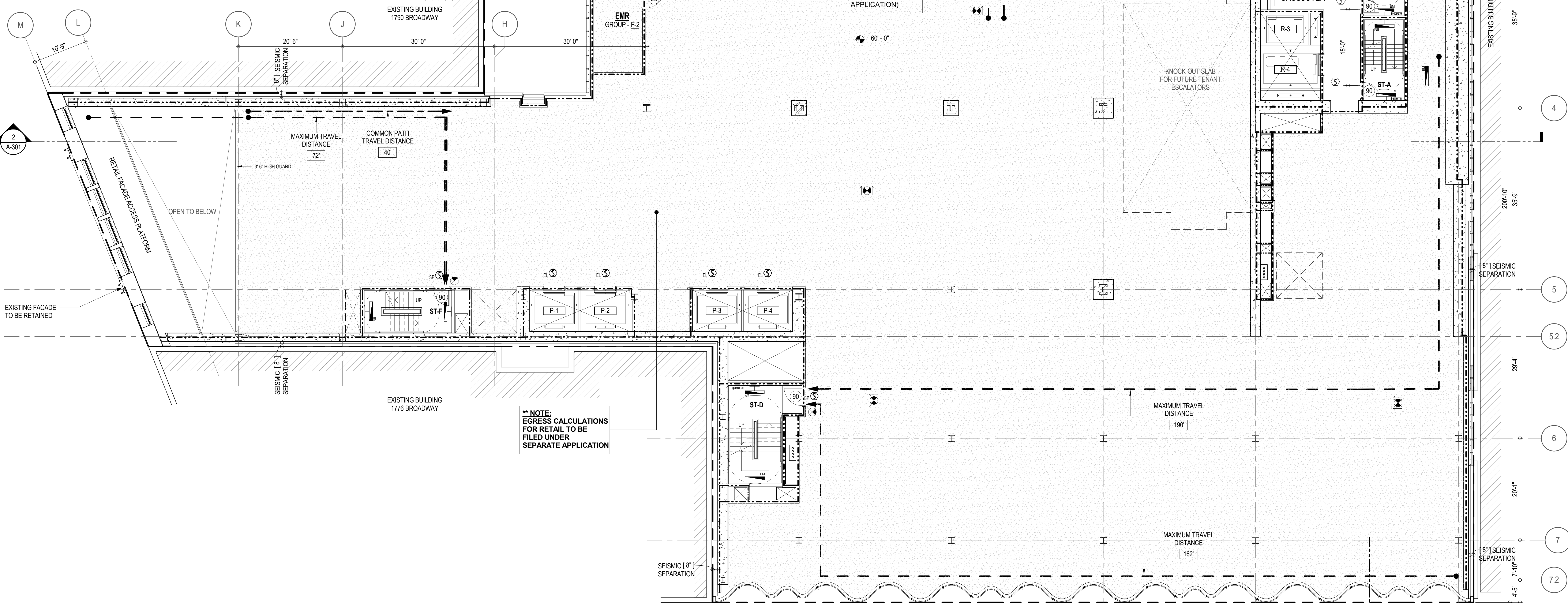
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (495)
STAIR - C	60"	0.3	200	** 123
STAIR - D	60"	0.3	200	** 186
STAIR - E	60"	0.3	200 *	** 186
STAIR - F	44"	0.3	146 *	0

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (495)
STAIR - C - DOOR	40"	0.2	200	** 123
STAIR - D - DOOR	40"	0.2	200	** 186
STAIR - E - DOOR	40"	0.2	200 *	** 186
STAIR - F - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



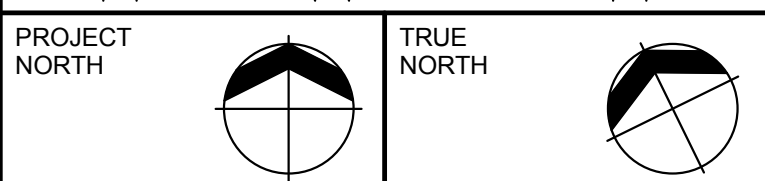
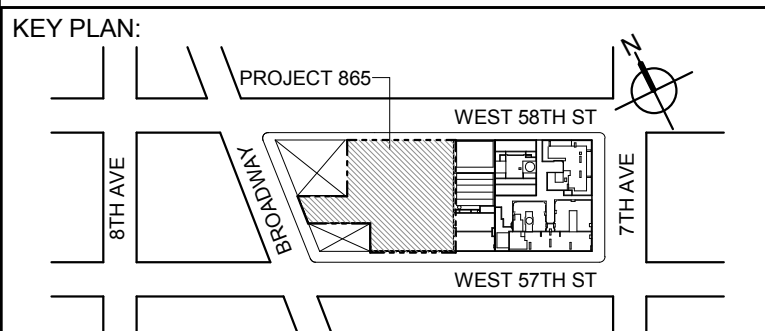
* RESTROOM FACILITIES ARE LOCATED ON 5TH FLOOR

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)



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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

4TH FLOOR PLAN

BUILDING CODE NOTES (RETAIL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

SCALE: 1/8" = 1'-0"

DWG No:

A-039.00

DOB PAGE No: 17 of 500

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 6TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC ROOM	F-2	400 SF	300 SF	2
FAN ROOM	F-2	1,735 SF	300 SF	7
FAND & PLENUM ROOM	F-2	653 SF	300 SF	3
H&V AND FAN ROOM	F-2	1,381 SF	300 SF	5
MEP	F-2	179 SF	300 SF	1
MER	F-2	341 SF	300 SF	2
RESIDENTIAL MER TELECOM	F-2	304 SF	300 SF	2
RETAIL ELECTRICAL ROOM	F-2	693 SF	300 SF	3
RETAIL MEP	F-2	9,039 SF	300 SF	31
RETAIL MER	F-2	822 SF	300 SF	3
STEP UP TRANSFORMERS FOR BUILDING	F-2	2,695 SF	300 SF	9
TANK ROOM	F-2	2,371 SF	300 SF	9
Grand total		20,614 SF		77

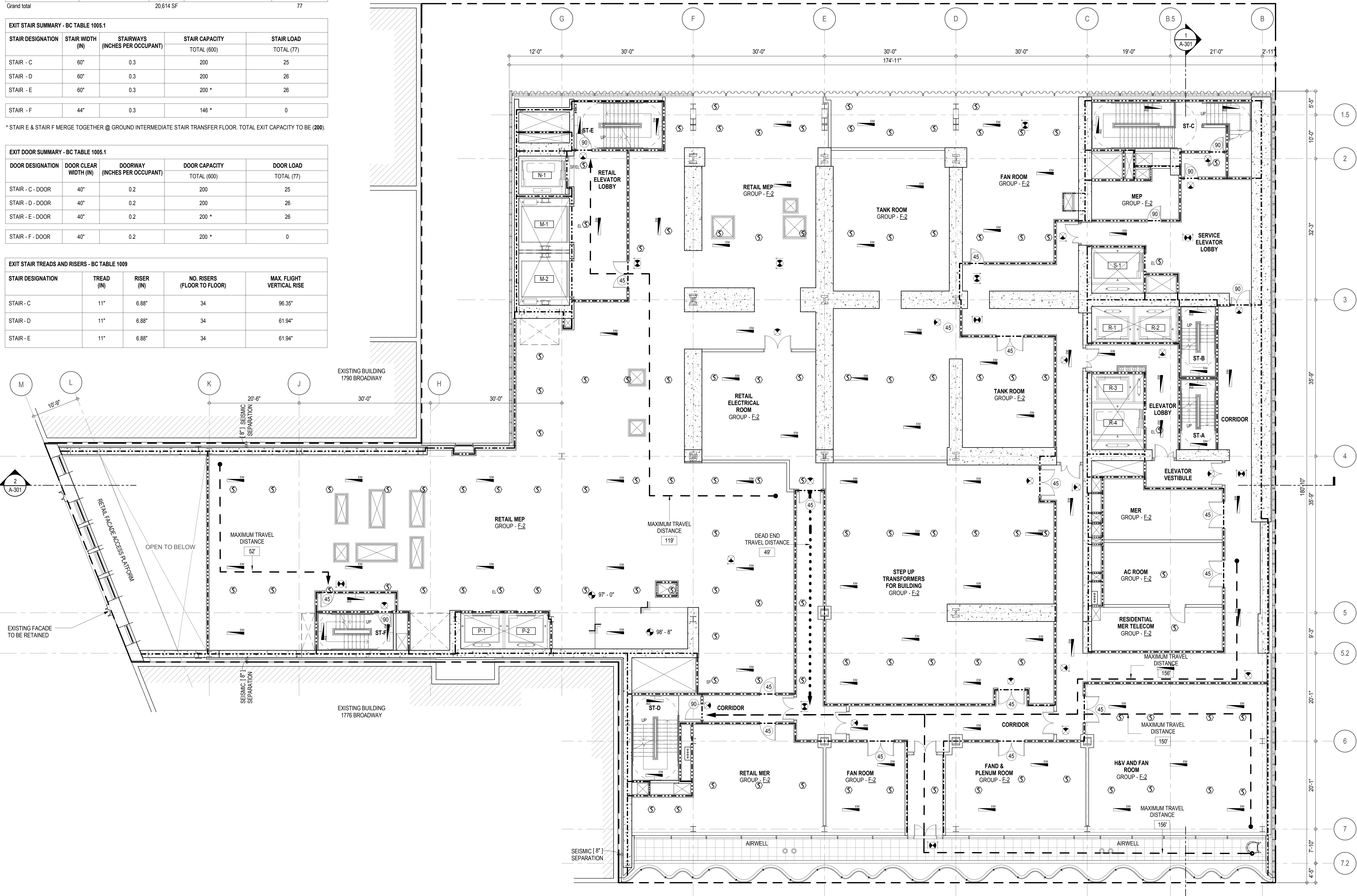
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (77)
STAIR - C	60"	0.3	200	25
STAIR - D	60"	0.3	200	26
STAIR - E	60"	0.3	200 *	26
STAIR - F	44"	0.3	146 *	0

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (77)
STAIR - C - DOOR	40"	0.2	200	25
STAIR - D - DOOR	40"	0.2	200	26
STAIR - E - DOOR	40"	0.2	200 *	26
STAIR - F - DOOR	40"	0.2	200 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	6.88"	34	96.35"
STAIR - D	11"	6.88"	34	61.94"
STAIR - E	11"	6.88"	34	61.94"

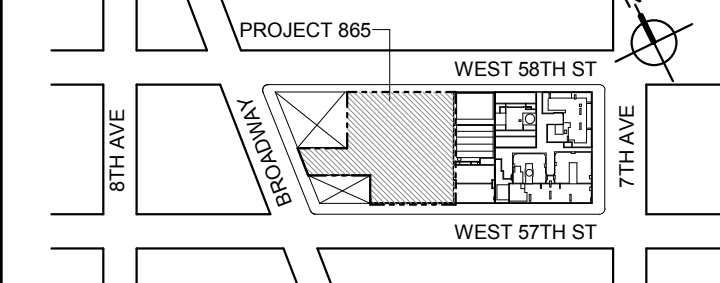
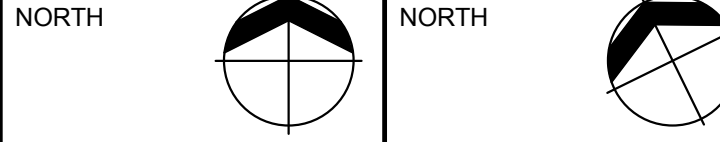
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

**EGRESS AND FIRE RATING LEGEND**

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN**PROJECT NORTH****DEVELOPER:**

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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

6TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-041.00

DOB PAGE No: 79 of 90

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 7TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC AND FAN ROOM	F-2	1,572 SF	300 SF	6
AC AND PUMP ROOM	F-2	1,853 SF	300 SF	7
AC ROOM	F-2	346 SF	300 SF	2
AC UNIT AND FAN ROOM	F-2	495 SF	300 SF	2
BOILER ROOM W/ PUMPS	F-2	1,831 SF	300 SF	7
CON ED VAULT	F-2	663 SF	300 SF	4
ELECTRICAL ROOM	F-2	1,662 SF	300 SF	6
EMR	F-2	864 SF	300 SF	3
EMR AHU ROOM	F-2	381 SF	300 SF	2
FAN AND DW HEATER ROOM	F-2	414 SF	300 SF	2
FAN ROOM	F-2	472 SF	300 SF	2
GENERATOR ROOM	F-2	3,576 SF	300 SF	12
NETWORK ROOM	F-2	497 SF	300 SF	4
SWITCHBOARD ROOM	F-2	3,655 SF	300 SF	13
RECYCLING COLLECTION ROOM	S-1	295 SF	300 SF	1
REFUSE COLLECTION ROOM	S-1	449 SF	300 SF	2
TRASH COMPACTOR ROOM	S-1	405 SF	300 SF	2
Grand total		19,431 SF		77

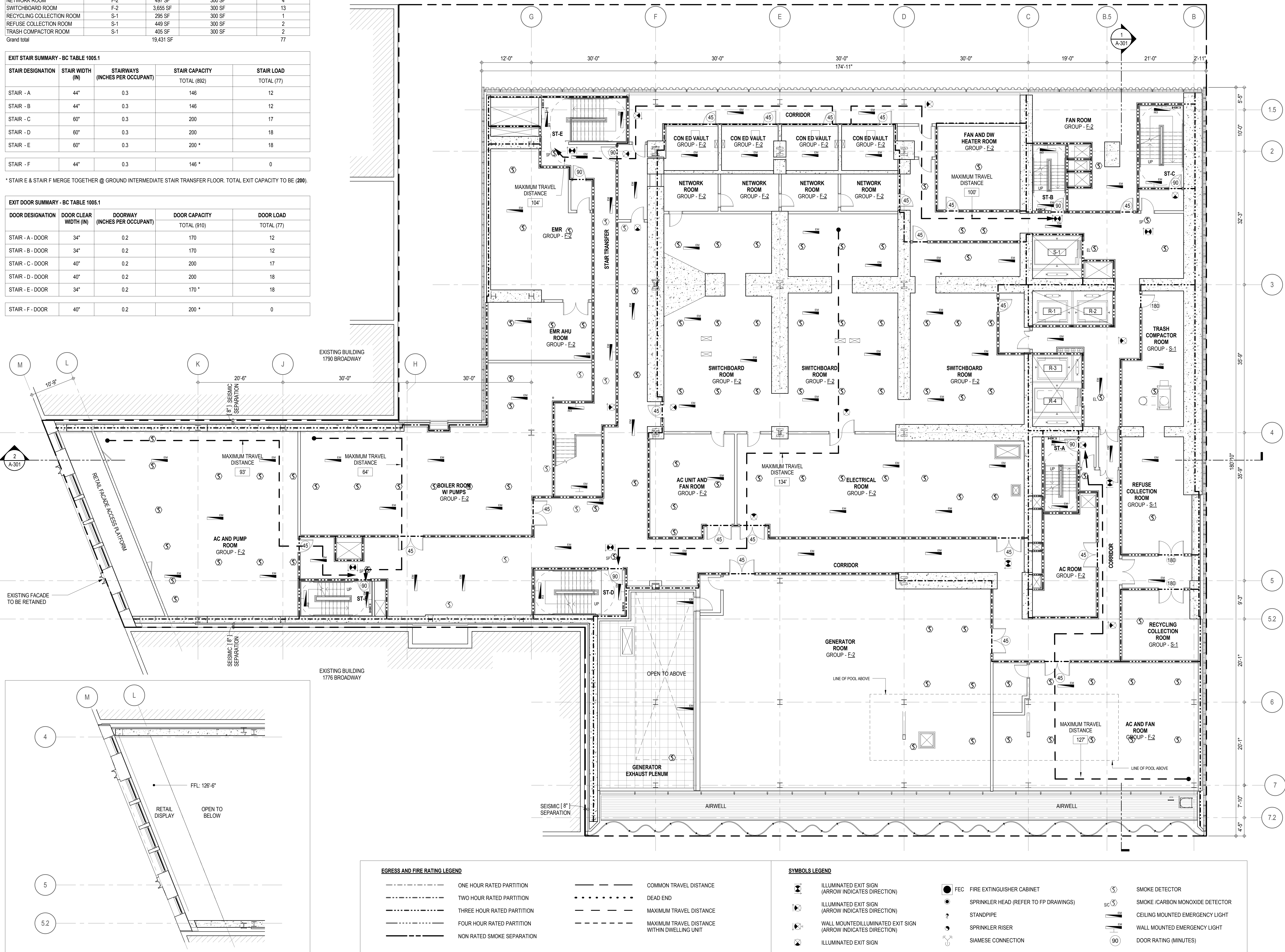
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (892)	STAIR LOAD TOTAL (77)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12
STAIR - C	60"	0.3	200	17
STAIR - D	60"	0.3	200	18
STAIR - E	60"	0.3	200 *	18
STAIR - F	44"	0.3	146 *	0

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (910)	DOOR LOAD TOTAL (77)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12
STAIR - C - DOOR	40"	0.2	200	17
STAIR - D - DOOR	40"	0.2	200	18
STAIR - E - DOOR	34"	0.2	170 *	18
STAIR - F - DOOR	40"	0.2	200 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.41"	34	66.71"
STAIR - B	9.5"	7.41"	34	66.71"
STAIR - C	11"	7"	36	84.00"
STAIR - D	11"	7"	36	63.00"
STAIR - E	11"	7"	36	63.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



INTERMEDIATE 1780 FACADE ACCESS PLATFORM

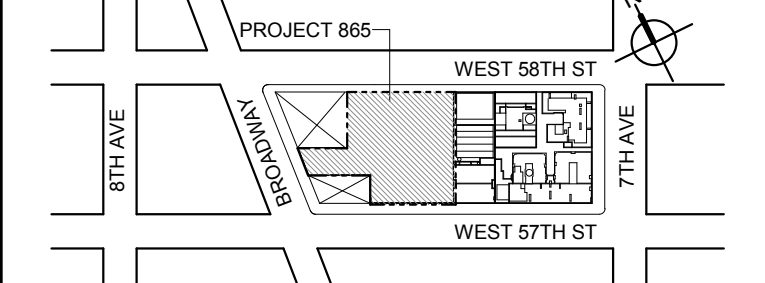
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
- - -	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

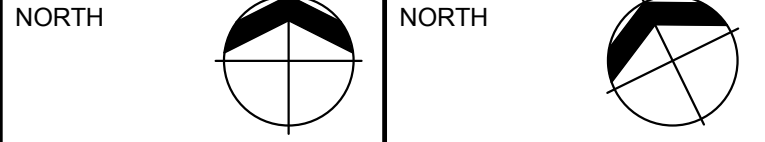
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN



PROJECT NORTH



DEVELOPER

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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
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No.	DESCRIPTION	DATE
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

7TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SCALE: 1/8" = 1'-0"

DWG No:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-042.00

DOB PAGE No: 88 of 930

DOB B-SCAN:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

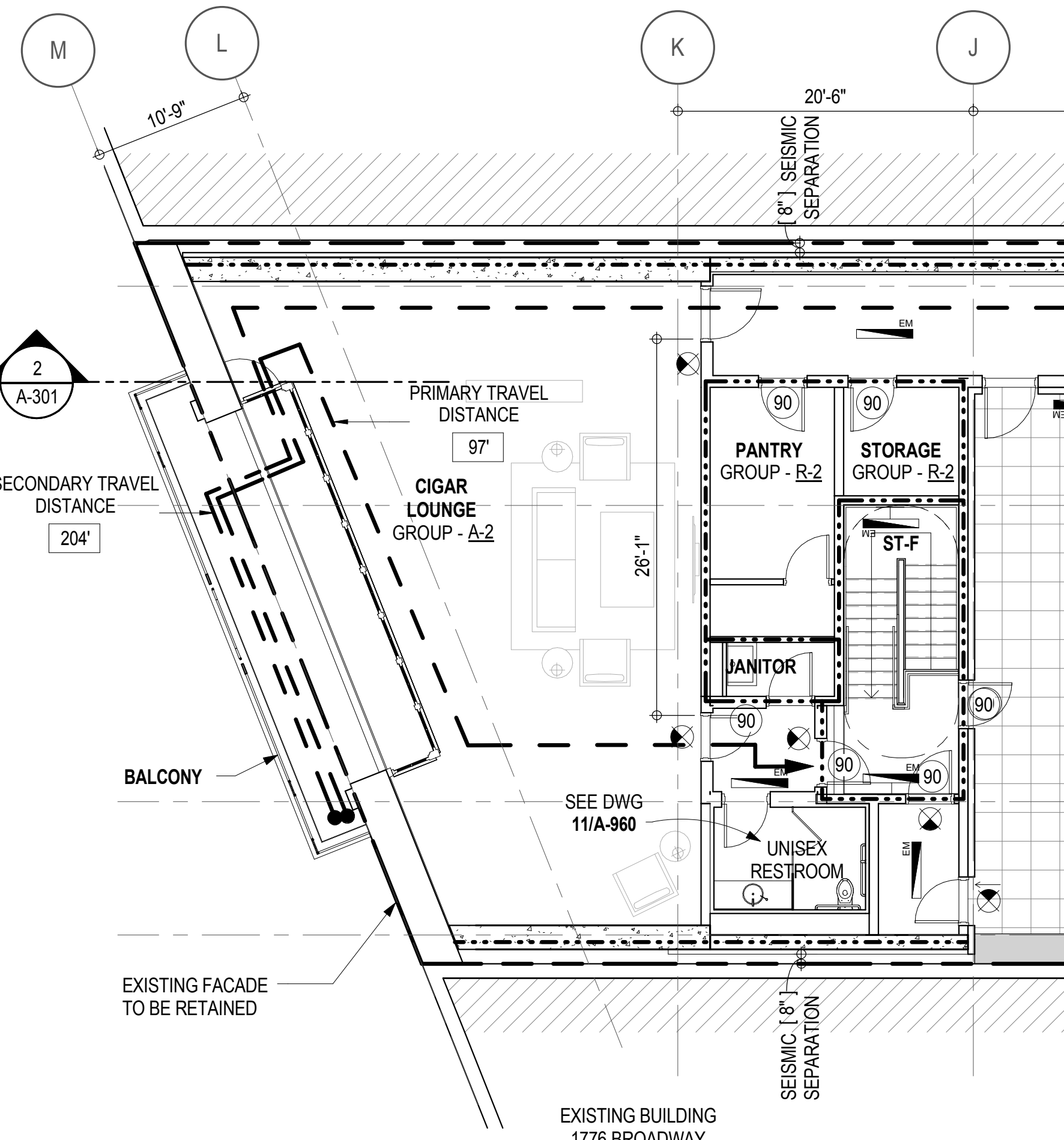
OCCUPANT LOADS SUMMARY 8TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
CIGAR LOUNGE	A-2	1,355 SF	15 SF	91
LOUNGE / BANQUET HALL	A-2	2,747 SF	15 SF	184
RESIDENTIAL AMENITY POOL		1,050 SF	90 SF	21
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	8,367 SF	15 SF	558
A-2				854

PANTRY	R-2	883 SF	200 SF	5
PANTRY	A-2	149 SF	300 SF	1
STORAGE	R-2	60 SF	300 SF	1
TWEEN LOUNGE	R-2	462 SF	15 SF	31
R-2 (ACCESSORY SPACE)				38
Grand total				892

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (892)	STAIR LOAD TOTAL (892)
STAIR - A	44"	0.3	146	146
STAIR - B	44"	0.3	146	146
STAIR - C	60"	0.3	200	200
STAIR - D	60"	0.3	200	200
STAIR - E	60"	0.3	200 *	200
STAIR - F	44"	0.3	146 *	0

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200)

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (940)	DOOR LOAD TOTAL (892)
STAIR - A - DOOR	34"	0.2	170	146
STAIR - B - DOOR	34"	0.2	170	146
STAIR - C - DOOR	40"	0.2	200	200
STAIR - D - DOOR	40"	0.2	200	200
STAIR - E - DOOR	40"	0.2	200 *	200
STAIR - F - DOOR	34"	0.2	170 *	0



EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.64"	33	76.67"
STAIR - B	9.5"	7.64"	33	81.00"
STAIR - C	11"	7"	36	126.00"
STAIR - D	11"	6.81"	37	81.73"
STAIR - E	11"	6.81"	37	68.11"
STAIR - F	11"	6.63"	38	73.33"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-2	250'	100'	20'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'

PLUMBING FIXTURES - PER PC TABLE 403.1 (BASED ON NON-SIMULTANEOUS SEASONAL OUTDOOR OCCUPANCY)									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES
		M50% F50%	M	F	M	F	M	F	M F
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	290 290	4	8	2	2			
CIGAR LOUNGE / LOUNGE / BANQUET HALL	A-2	138 138	2	2	1	1			
ASSEMBLY	A-2 (TOTALS)		6	10	3	3	6	10	4 4
ACCESSORY	R-2	18 18	1	1	1	1	1	1	1

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
 DRINKING FOUNTAINS (1 PER 500 P.): 2 REQUIRED, 2 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

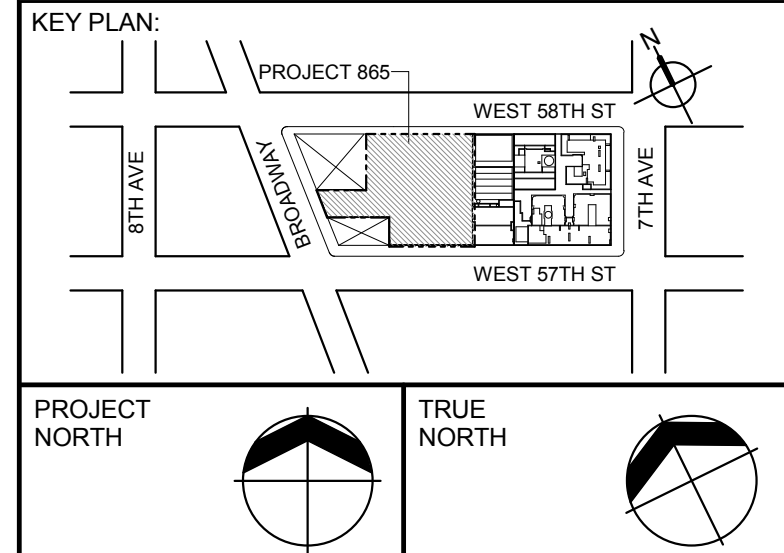
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	FIRE EXTINGUISHER CABINET	Ⓢ	SMOKE DETECTOR
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	Ⓢ	SMOKE / CARBON MONOXIDE DETECTOR
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	STANDPIPE	Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
⬆	ILLUMINATED EXIT SIGN	⬆	SPRINKLER RISER	Ⓢ	WALL MOUNTED EMERGENCY LIGHT
		⬆	SIAMESE CONNECTION	90	DOOR RATING (MINUTES)

PANTRY FOR PREP ONLY. NO STOVE OR OPEN FLAME. BURNERS NOT FOR COMMERCIAL FOOD PREPARATIONS.



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	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:

8TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No:	1216-00
DRAWN: Author	REV:
CHECK: Checker	
SCALE: 1/8" = 1'-0"	
DWG No:	
A-043.00	

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 9TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
POOL MECHANICAL EQUIPMENT ROOM	F-2 (300)	1,306 SF	300 SF	5
EMR	F-2 (300)	207 SF	300 SF	1
MECHANICAL	F-2 (300)	987 SF	300 SF	4
MECHANICAL	F-2 (300)	121 SF	300 SF	1
Grand total				11

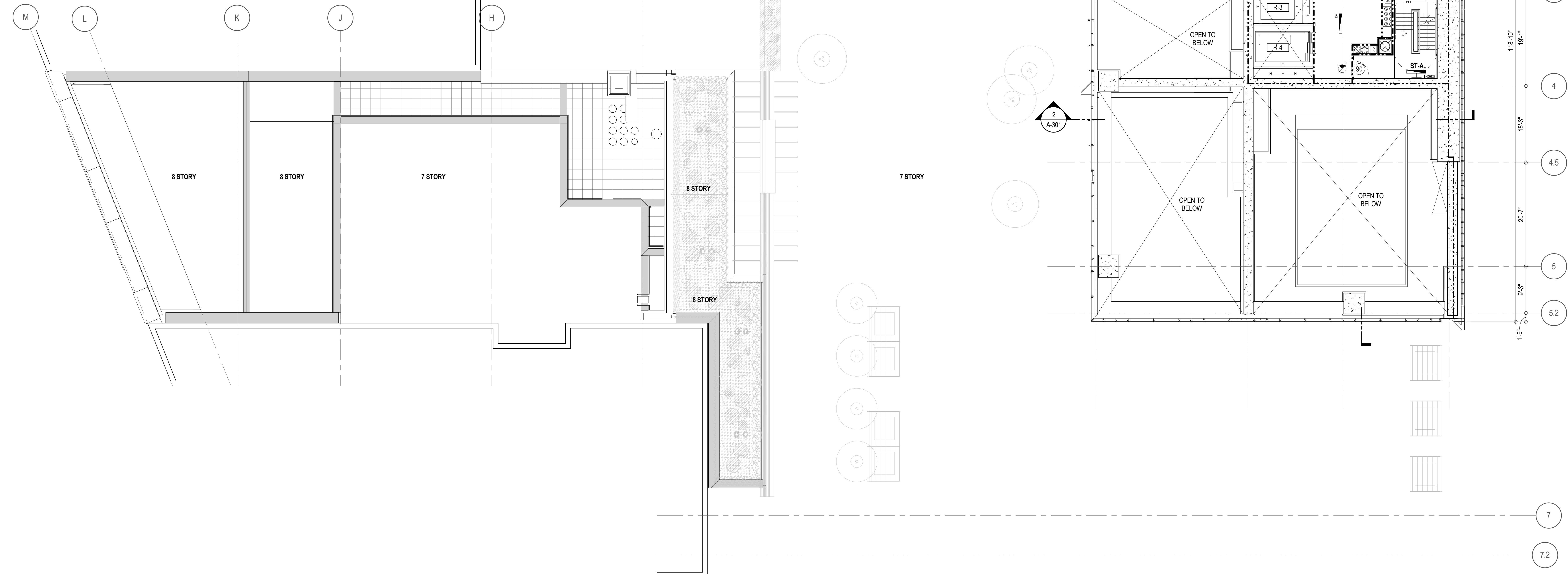
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (11)
STAIR - A	44"	0.3	146	6
STAIR - B	44"	0.3	146	5

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (11)
STAIR - A - DOOR	34"	0.2	170	6
STAIR - B - DOOR	34"	0.2	170	5

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.58"	38	76.20"
STAIR - B	9.5"	7.58"	38	84.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



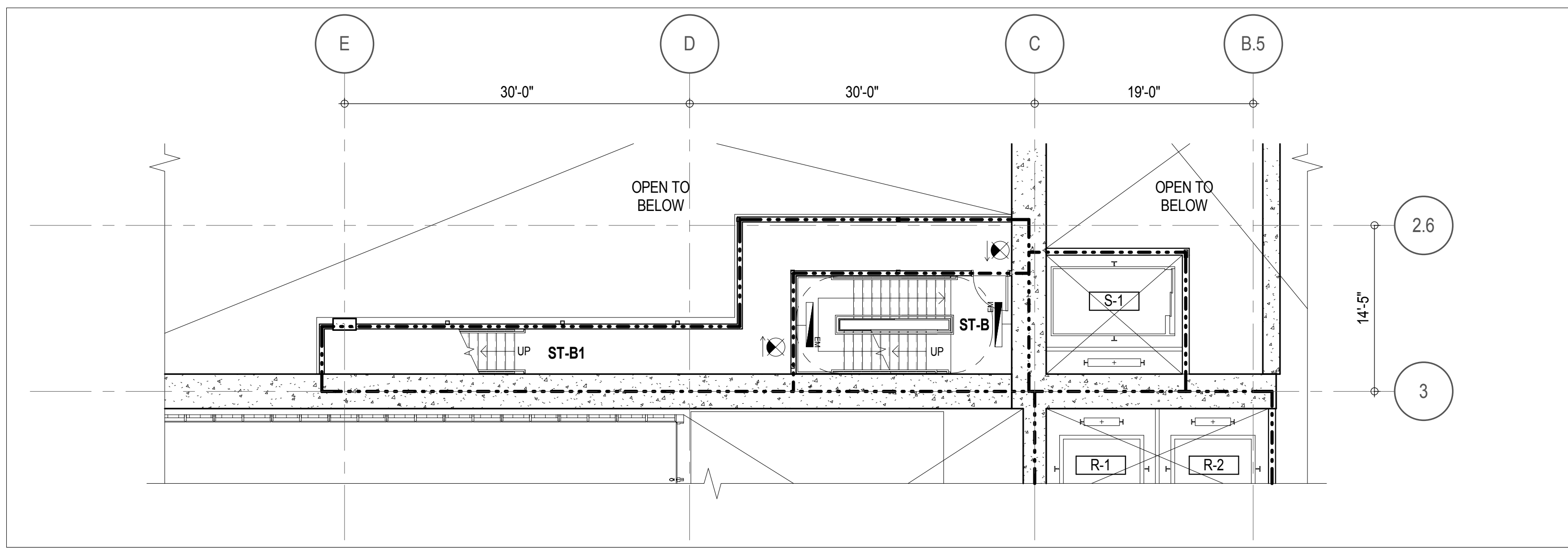
EGRESS AND FIRE RATING LEGEND

- ONE HOUR RATED PARTITION
- TWO HOUR RATED PARTITION
- THREE HOUR RATED PARTITION
- FOUR HOUR RATED PARTITION
- NON RATED SMOKE SEPARATION

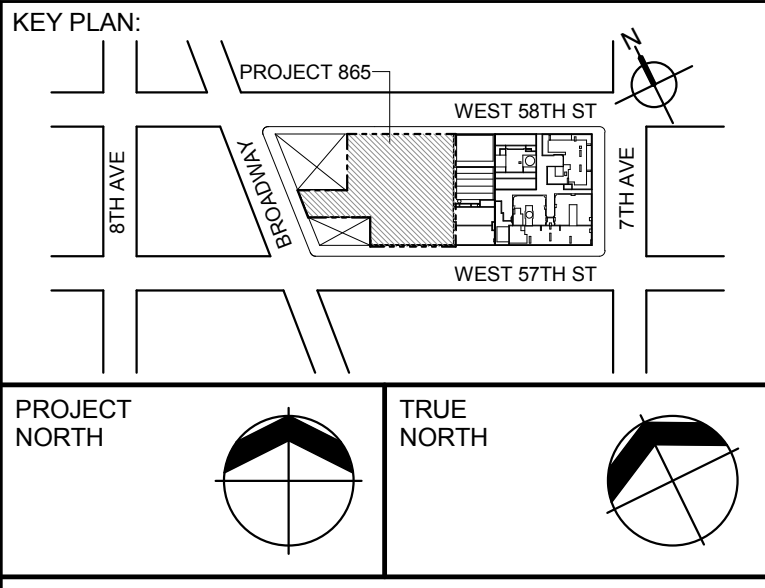
- COMMON TRAVEL DISTANCE
- DEAD END
- MAXIMUM TRAVEL DISTANCE
- MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

- ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- ILLUMINATED EXIT SIGN
- FEC FIRE EXTINGUISHER CABINET
- SPRINKLER HEAD (REFER TO FP DRAWINGS)
- STANDPIPE
- SPRINKLER RISER
- SIAMESE CONNECTION
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- CEILING MOUNTED EMERGENCY LIGHT
- WALL MOUNTED EMERGENCY LIGHT
- DOOR RATING (MINUTES)



8TH FLOOR INTERMEDIATE STAIR TRANSFER FLOOR



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0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
9TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
	SCALE: 1/8" = 1'-0"	
DWG No:		
	A-044.00	

DOB PAGE No: 83 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 10TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
WADING POOL	A-3	104 SF	50 SF	3
POOL		863 SF	50 SF	18
POOL DECK		1,829 SF	15 SF	122
A-3				143
EXERCISE ROOM	R-2	3,009 SF	50 SF	61
COUPLES TREATMENT ROOM	R-2	535 SF	50 SF	11
R-2				72
STORAGE	S-1	126 SF	300 SF	1
S-1				1
Grand total				216

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292) *	TOTAL (216)
STAIR - A	44"	0.3	146	108
STAIR - B	44"	0.3	146 *	108

* STAIR B & STAIR B1 MERGE TOGETHER @ 8TH FLOOR INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (146)

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340) *	DOOR LOAD TOTAL (216)
STAIR - A - DOOR	34"	0.2	170	108
STAIR - B - DOOR	34"	0.2	170 *	108
STAIR - B1 - DOOR	34"	0.2	170 *	0

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	53.76"
STAIR - B	9.5"	7.68"	25	115.20"
STAIR- B1	9.5"	7.61"	41	106.54"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-1	200'	100'	20'

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
POOL / POOL DECK	A-3	72	72								
EXERCISE / COUPLES TREATMENT ROOMS	R-2	34	34								
TOTALS		106	106	2	3	1	1	2	3	3	2















* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

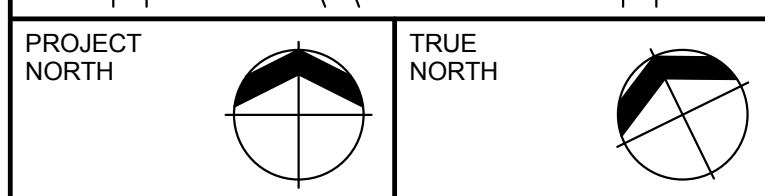
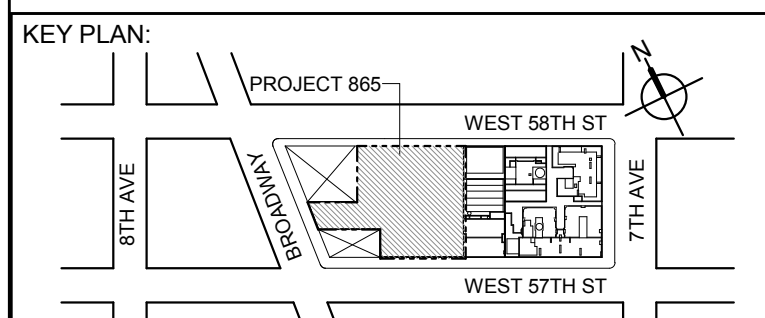
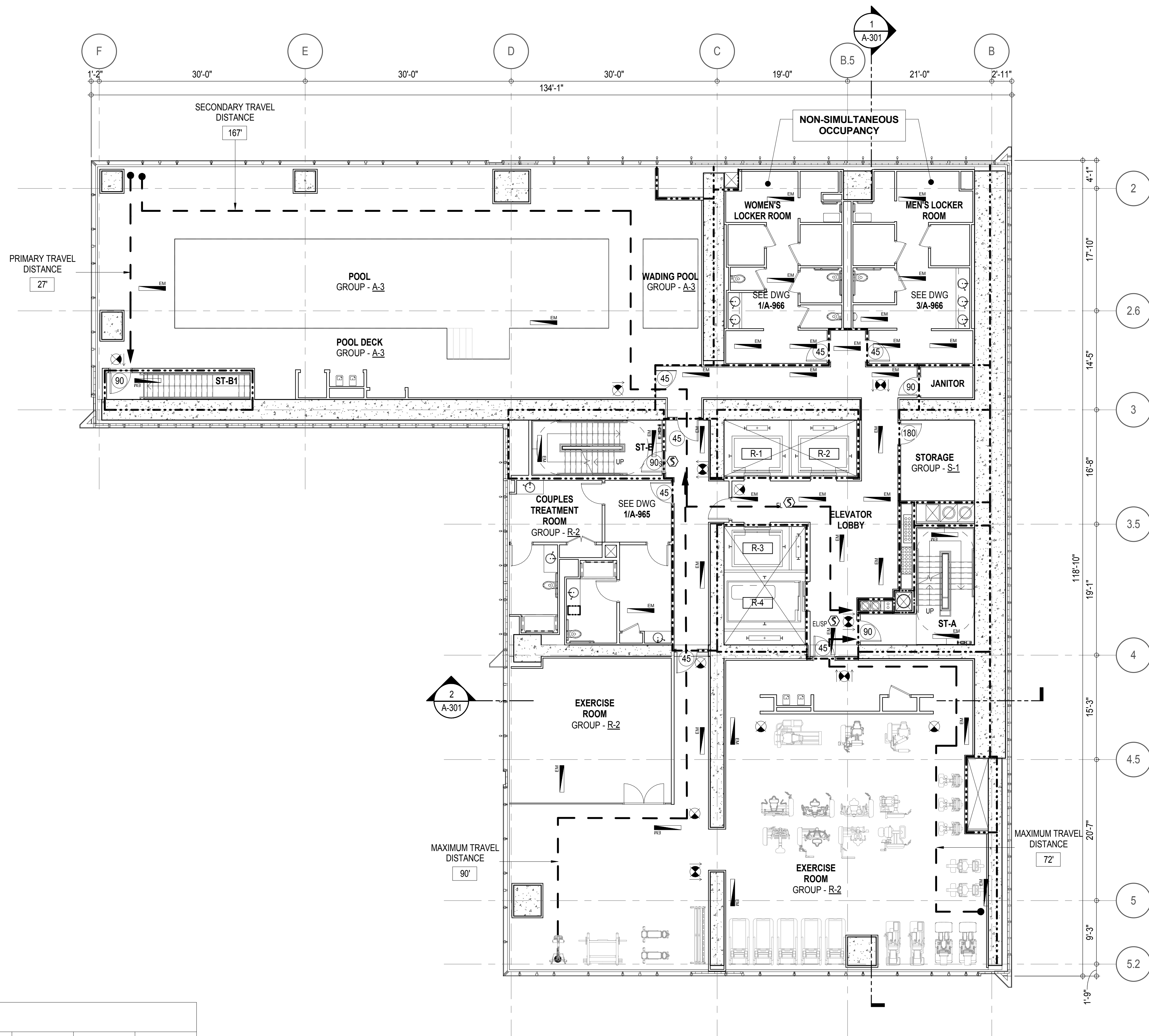
* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
 DRINKING FOUNTAINS (1 PER 1,000 P.): 1 REQUIRED, 4 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

EGRESS AND FIRE RATING LEGEND

— — — — —	ONE HOUR RATED PARTITION	— — — — —	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	• • • • •	DEAD END
• • • • •	THREE HOUR RATED PARTITION	— — — — —	MAXIMUM TRAVEL DISTANCE
— — — — —	FOUR HOUR RATED PARTITION	— — — — —	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
— — — — —	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FEC FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO PP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
			SIAMESE CONNECTION		DOOR RATING (MINUTES)



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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

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New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10055
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15



DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL

CONSULTANT



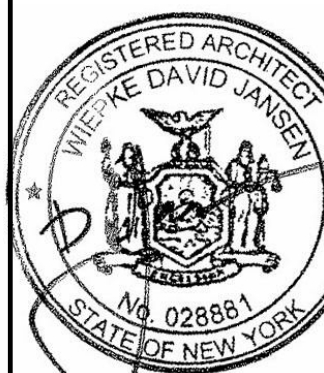
PROJECT

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

10TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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PROJECT No:	1216-00
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DRAWN: Author	REV:
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CHK:	Checker
------	---------

SCALE: 1/8" = 1'-0"

DWG No:

DOB PAGE No: 83 of 500	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

NO OCCUPANCY USE.

EXIT STAIR SUMMARY - BC TABLE 1005.1

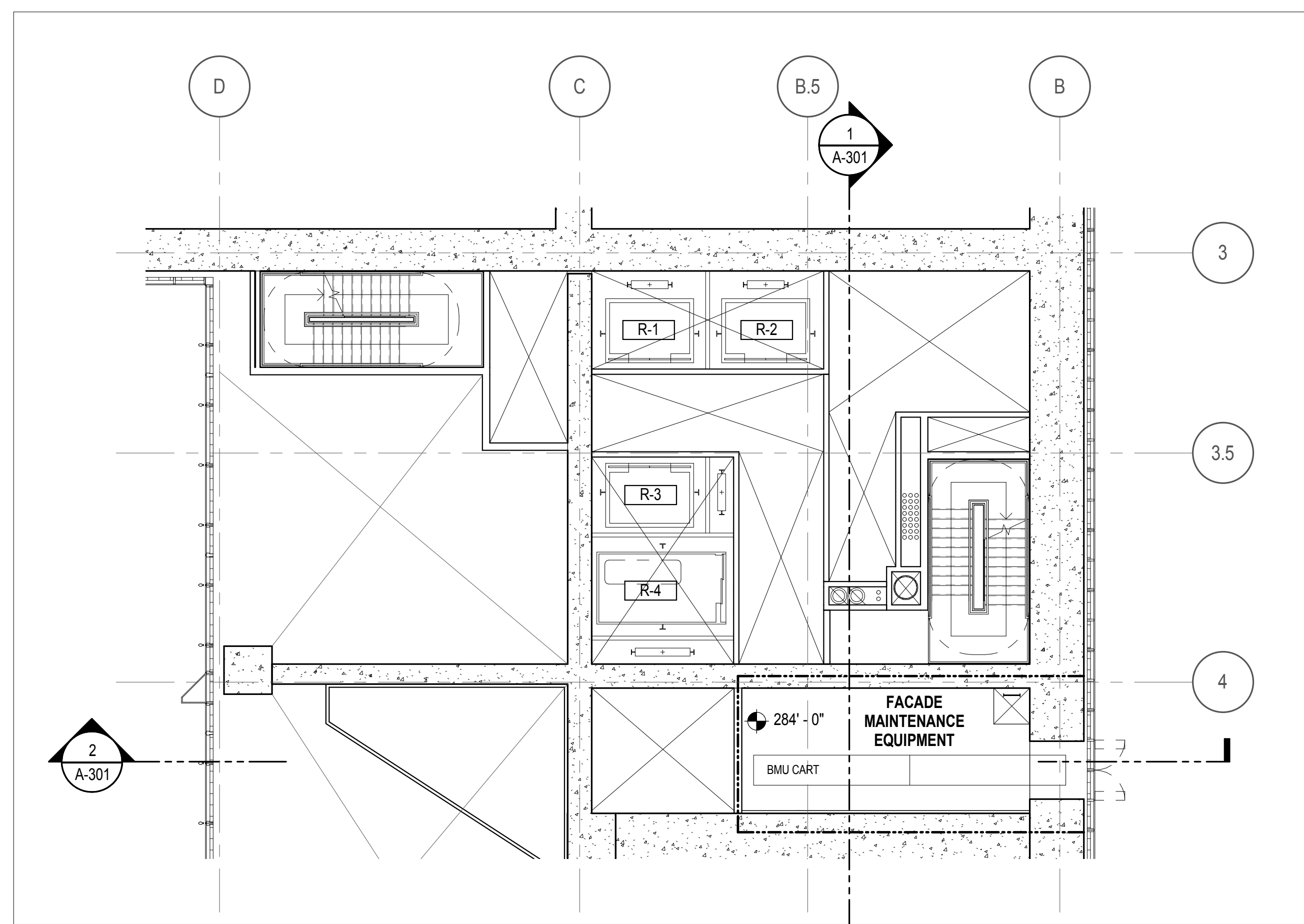
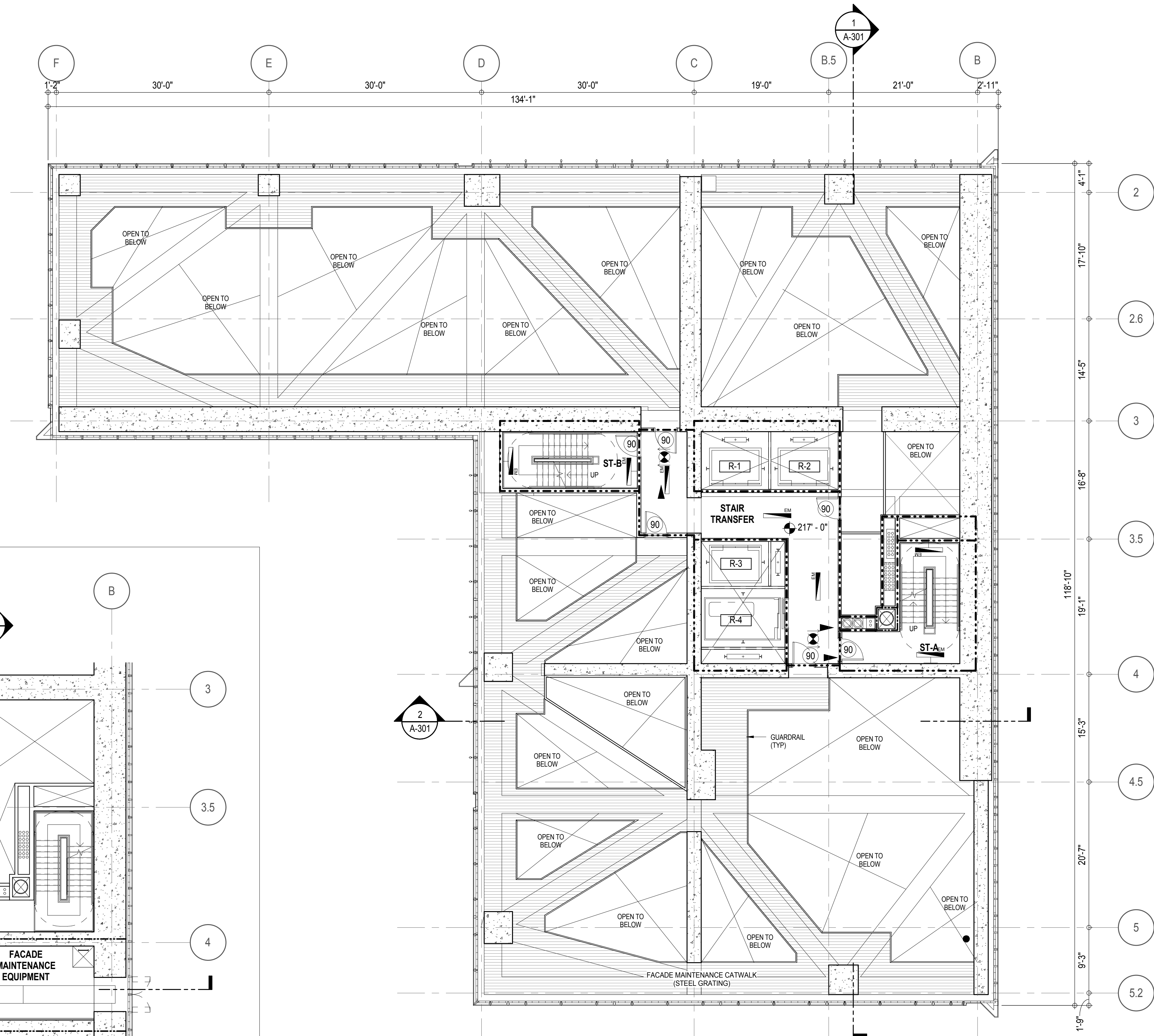
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (0)
STAIR - A	44"	0.3	146	0
STAIR - B	44"	0.3	146	0

EXIT DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (0)
STAIR - A - DOOR	34"	0.2	170	0
STAIR - B - DOOR	34"	0.2	170	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.73"	59	77.29"
STAIR - B	9.5"	7.73"	59	77.29"

2 10TH INTERMEDIATE 3 BMU FLOOR
A-301
1/8" = 1'-0"1 10TH FLOOR INTERMEDIATE 1 AND 2
A-301
1/8" = 1'-0"

INTERMEDIATE 1: 1/8" = 1'-0"

INTERMEDIATE 2: 1/8" = 1'-0"

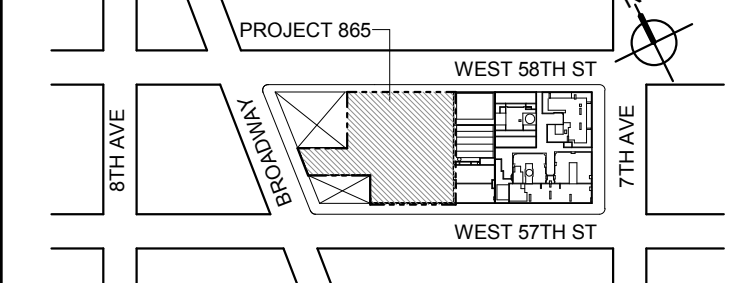
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

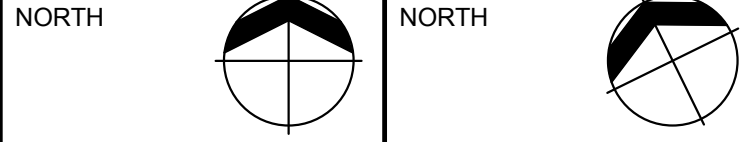
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

10TH INTERMEDIATE, 1, 2, AND
BMU PLAN
BUILDING CODE NOTES (STAIR
TRANSFER)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-046.00

DOB PAGE No: 84 of 930

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 11TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	9,256 SF	300 SF	31
MECHANICAL	F-2	126 SF	300 SF	1
Grand total				32

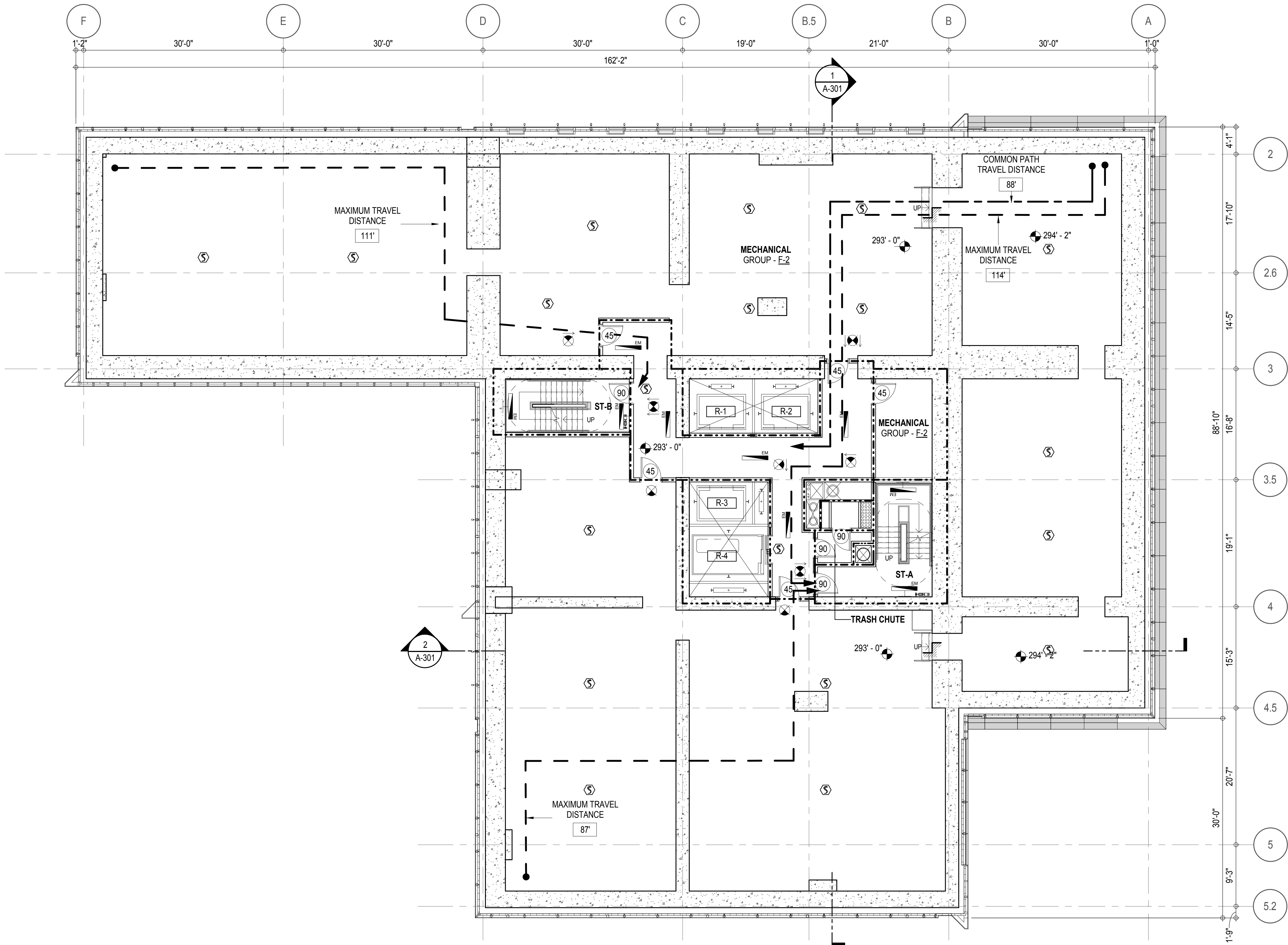
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (32)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	16

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (32)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	16

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.73"	59	77.29"
STAIR - B	9.5"	7.73"	59	77.29"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

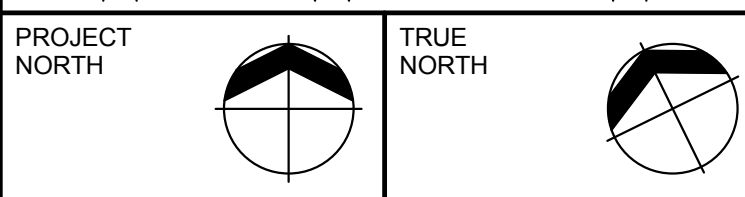
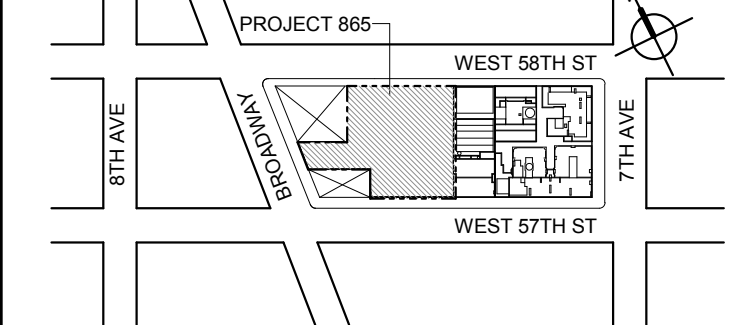
- ONE HOUR RATED PARTITION
- TWO HOUR RATED PARTITION
- THREE HOUR RATED PARTITION
- FOUR HOUR RATED PARTITION
- NON RATED SMOKE SEPARATION

- COMMON TRAVEL DISTANCE
- DEAD END
- MAXIMUM TRAVEL DISTANCE
- MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

- ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- ILLUMINATED EXIT SIGN
- FEC FIRE EXTINGUISHER CABINET
- SPRINKLER HEAD (REFER TO FP DRAWINGS)
- STANDPIPE
- SPRINKLER RISER
- SIAMESE CONNECTION
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- CEILING MOUNTED EMERGENCY LIGHT
- WALL MOUNTED EMERGENCY LIGHT
- DOOR RATING (MINUTES)

KEY PLAN:



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

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111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
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	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

11TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-047.00

DOB PAGE No: 66 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 12TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RESIDENTIAL STORAGE	R-2	204 SF	200 SF	2
SUITE A	R-2	2,388 SF	200 SF	12
SUITE B	R-2	2,370 SF	200 SF	12
Grand total				26

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (26)
STAIR - A	44"	0.3	146	13
STAIR - B	44"	0.3	146	13

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (26)
STAIR - A - DOOR	34"	0.2	170	13
STAIR - B - DOOR	34"	0.2	170	13

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	37	61.41"
STAIR - B	9.5"	7.68"	37	138.16"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	50'

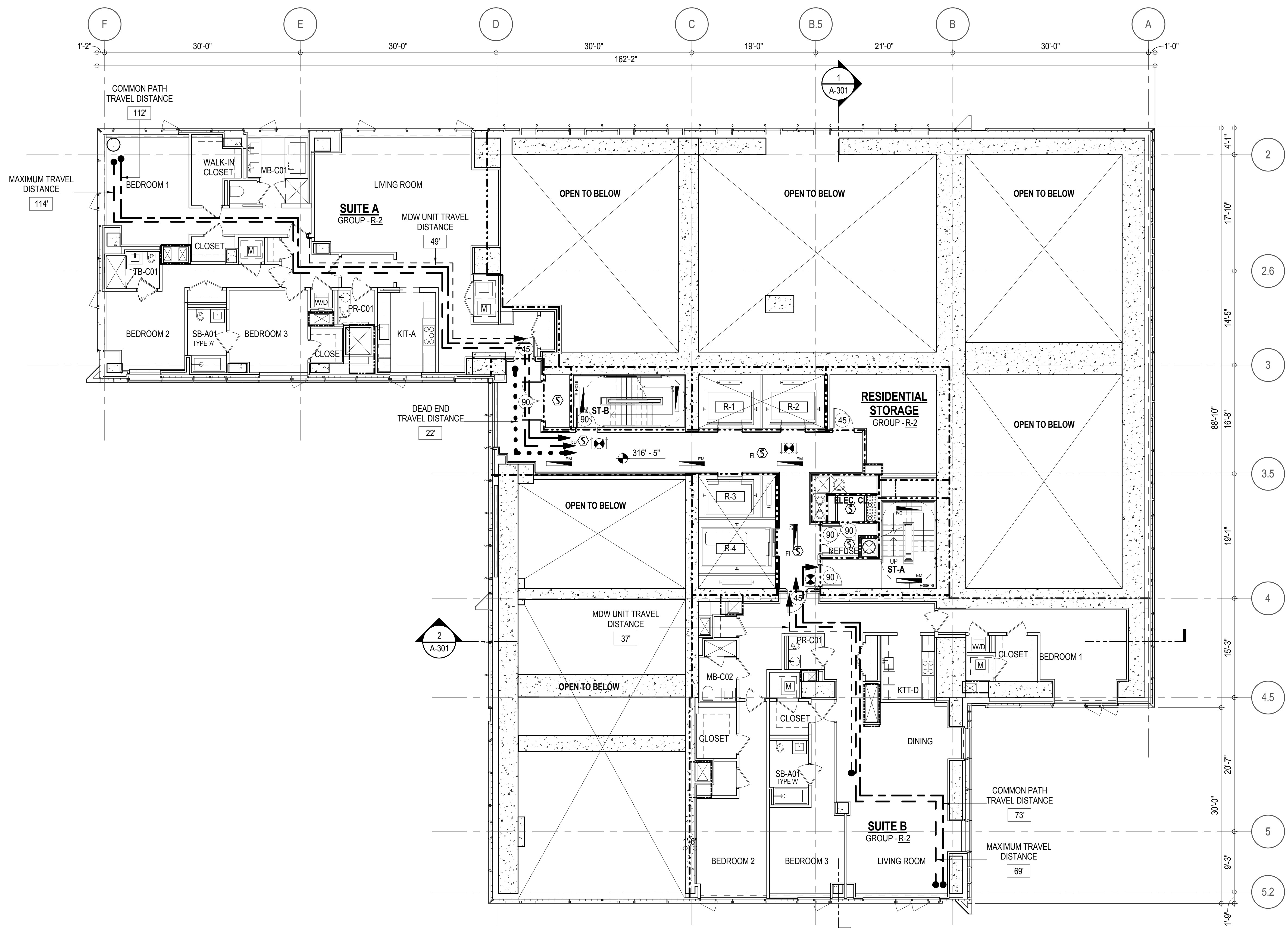
LIGHT & AIR CALCULATION 12TH FLOOR									
LIGHT REQUIREMENT <BC-1205>						AIR REQUIREMENT <BC-1203>			
Room Name	Floor Area	REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	PROVIDED			
						REQ'D % of Air	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 1	216 SF	10%	4.0	134.72 SF	62.29%	5%	2	24.64 SF	11.39%
BEDROOM 2	148 SF	10%	3.0	101.04 SF	68.04%	5%	1	12.32 SF	8.30%
BEDROOM 3	150 SF	10%	1.5	50.52 SF	33.59%	5%	1	12.32 SF	8.19%
KIT-A	113 SF	10%	1.0	33.68 SF	29.82%	5%	1	12.32 SF	10.91%
LIVING ROOM	451 SF	10%	4.0	134.72 SF	29.87%	5%	2	24.64 SF	5.46%
SUITE B									
BEDROOM 1	262 SF	10%	6.0	202.08 SF	77.00%	5%	2	24.64 SF	9.39%
BEDROOM 2	159 SF	10%	2.0	67.36 SF	42.40%	5%	1	12.32 SF	7.75%
BEDROOM 3	152 SF	10%	1.0	33.68 SF	22.17%	5%	1	12.32 SF	8.11%
DINING	64 SF	10%	3.0	101.04 SF	158.32%	5%	1	12.32 SF	19.30%
KTT-D	79 SF	N / A				N / A			
LIVING ROOM	207 SF	10%	2.5	84.20 SF	40.76%	5%	1	12.32 SF	5.96%

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C02	ADAPTABLE	9/A-973
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	11/AI-979

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KTT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
----	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬡	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬡	ILLUMINATED EXIT SIGN

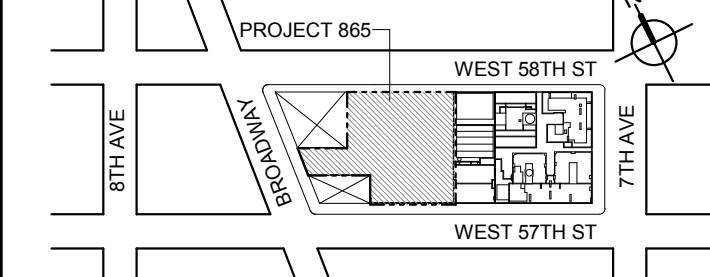
●	FIRE EXTINGUISHER CABINET
●	SPRINKLER HEAD (REFER TO FP DRAWINGS)
●	SPRINKLER RISER
⌵	SIAMESE CONNECTION

⊙	SMOKE DETECTOR
⊙	SMOKE / CARBON MONOXIDE DETECTOR
⊙	CEILING MOUNTED EMERGENCY LIGHT
⊙	WALL MOUNTED EMERGENCY LIGHT
⊙	DOOR RATING (MINUTES)

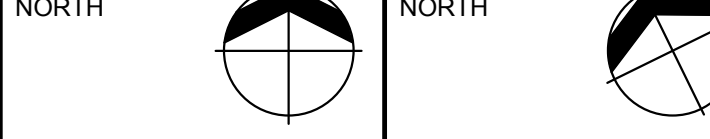
SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
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	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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CONSULTANT:



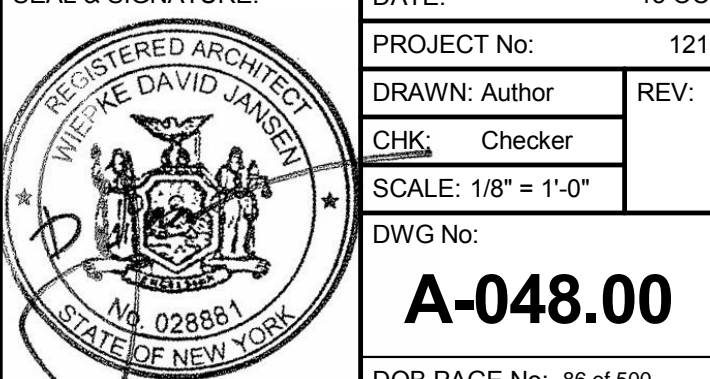
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

12TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1A)

SEAL & SIGNATURE:



DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-048.00

DOB PAGE No: 68 of 690

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 13TH - 19TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,397 SF	200 SF	12
SUITE B	R-2	2,533 SF	200 SF	13
SUITE C	R-2	2,403 SF	200 SF	13
SUITE D	R-2	1,851 SF	200 SF	10
SUITE E	R-2	545 SF	200 SF	3
SUITE F	R-2	2,027 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.47"	19	59.79"
STAIR - B	9.5"	7.47"	19	74.74"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 13TH - 19TH FLOOR

		LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)*	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	PROVIDED Natural Ventilating Openings # of Operable Windows*	Area of Ventilating Openings	% of Natural Air
Room Name	Floor Area								
SUITE A									
BEDROOM 1	216 SF	10%	4.0	134.72 SF	62.29%	5%	2	24.64 SF	11.39%
BEDROOM 2	148 SF	10%	3.0	101.04 SF	68.04%	5%	1	12.32 SF	8.30%
BEDROOM 3	150 SF	10%	1.5	50.52 SF	33.59%	5%	1	12.32 SF	8.19%
KIT-A	113 SF	10%	1.0	33.68 SF	29.82%	5%	1	12.32 SF	10.91%
LIVING ROOM	451 SF	10%	4.0	134.72 SF	29.87%	5%	2	24.64 SF	5.46%
SUITE B									
BEDROOM 1	192 SF	10%	2.0	67.36 SF	35.17%	5%	1	12.32 SF	6.43%
BEDROOM 2	152 SF	10%	2.0	67.36 SF	44.31%	5%	1	12.32 SF	8.10%
BEDROOM 3	166 SF	10%	2.0	67.36 SF	40.47%	5%	1	12.32 SF	7.40%
KIT-B	627 SF	10%	4.0	134.72 SF	21.49%	5%	3	36.96 SF	5.89%
SUITE C									
BEDROOM 1	151 SF	10%	2.0	67.36 SF	44.54%	5%	1	12.32 SF	8.15%
BEDROOM 2	155 SF	10%	2.0	67.36 SF	43.59%	5%	1	12.32 SF	7.97%
BEDROOM 3	211 SF	10%	3.0	101.04 SF	47.99%	5%	1	12.32 SF	5.85%
KIT-C	583 SF	10%	6.0	202.08 SF	34.64%	5%	3	36.96 SF	6.34%
SUITE D									
BEDROOM 1	207 SF	10%	2.5	84.20 SF	40.76%	5%	1	12.32 SF	5.96%
BEDROOM 2	152 SF	10%	1.0	33.68 SF	22.17%	5%	1	12.32 SF	8.11%
KIT-D	79 SF	N/A				N/A			
LIVING ROOM	335 SF	10%	6.0	202.08 SF	60.40%	5%	2	24.64 SF	7.36%
SUITE E									
KIT-E	47 SF	N/A				N/A			
LIVING ROOM	159 SF	10%	2.0	67.36 SF	42.40%	5%	1	12.32 SF	7.75%
SUITE F									
BEDROOM 1	158 SF	10%	1.5	50.52 SF	32.06%	5%	1	12.32 SF	7.82%
BEDROOM 2	201 SF	10%	3.0	101.04 SF	50.16%	5%	1	12.32 SF	6.12%
KIT-F	137 SF	10%	2.0	67.36 SF	49.15%	5%	2	24.64 SF	17.98%
LIVING ROOM	481 SF	10%	8.0	269.44 SF	55.99%	5%	2	24.64 SF	5.12%

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

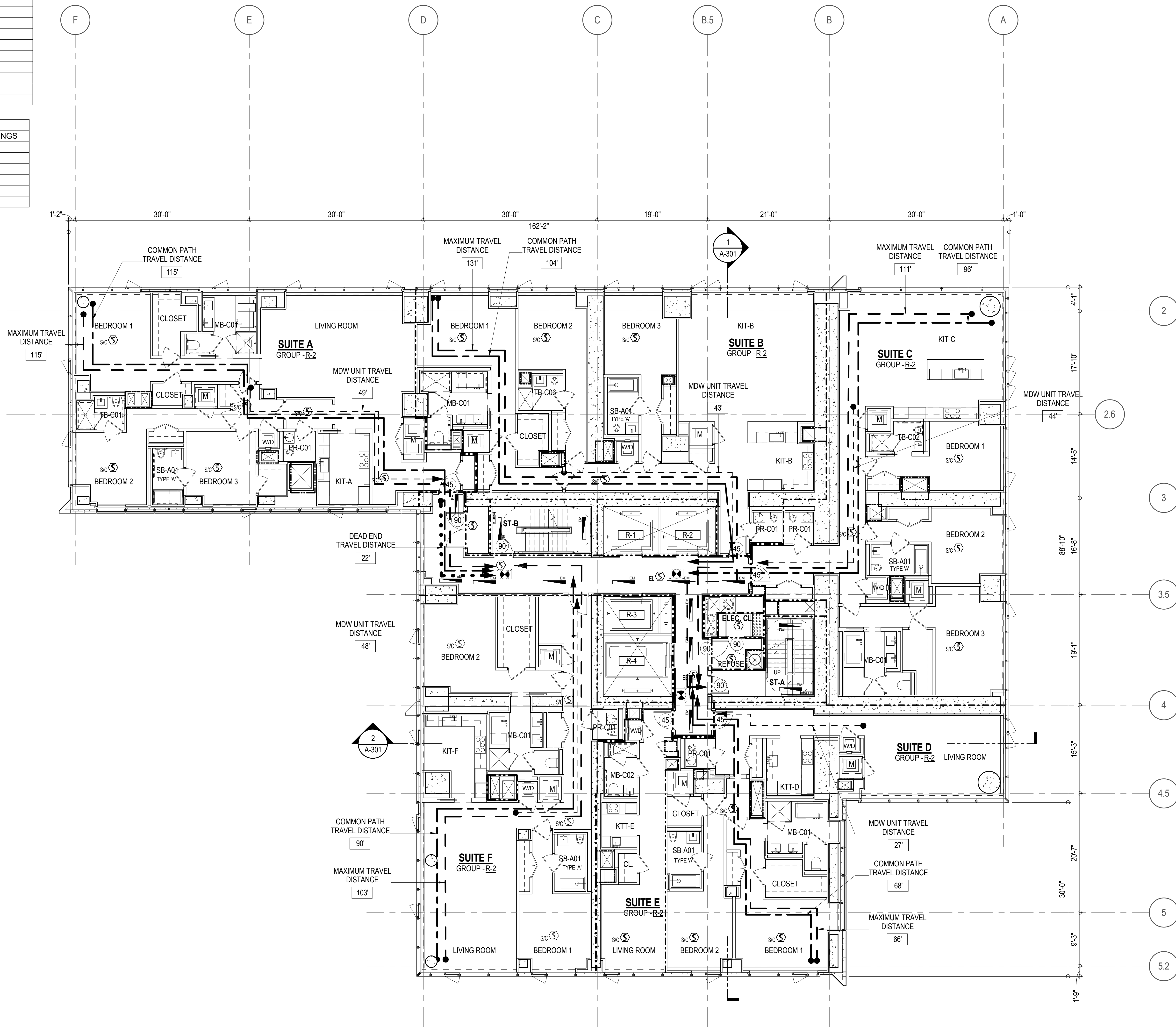
**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C02	ADAPTABLE	9/A-973
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-979
TB-C02	ADAPTABLE	6/A-979
TB-C06	ADAPTABLE	11/A-980

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B	5/A-950
KIT-C	1/A-951
KIT-F	4/A-952
KIT-D	7/A-951
KIT-E	1/A-952



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
---	TWO HOUR RATED PARTITION
---	THREE HOUR RATED PARTITION
---	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN

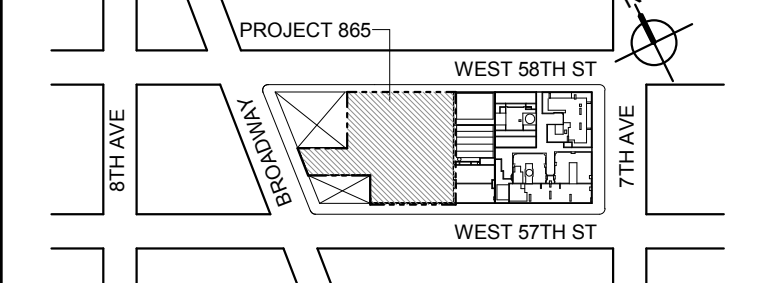
⬤	FIRE EXTINGUISHER CABINET
⬤	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬤	STANDPIPE
⬤	SPRINKLER RISER
⬤	SIAMESE CONNECTION

⬤	SMOKE DETECTOR
⬤	SMOKE / CARBON MONOXIDE DETECTOR
⬤	CEILING MOUNTED EMERGENCY LIGHT
⬤	WALL MOUNTED EMERGENCY LIGHT
⬤	DOOR RATING (MINUTES)

SYMBOLS LEGEND

⬤	REVERSIBLE DOOR SWING
⬤	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
⬤	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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ARCHITECT OF RECORD: Base Building Shell & Core
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MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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100 Church Street
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TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

13TH - 19TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1A)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-049.00

DOB PAGE No: 87 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 20TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,398 SF	200 SF	12
SUITE B	R-2	7,224 SF	200 SF	37
Grand total				49

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (49)
STAIR - A	44"	0.3	146	24
STAIR - B	44"	0.3	146	25

EXIT DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (49)
STAIR - A - DOOR	34"	0.2	170	24
STAIR - B - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR 1	36"
SUITE B DOOR 2	36"

MULTI DWELLING LAW
SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
50'

LIGHT & AIR CALCULATION 20TH FLOOR

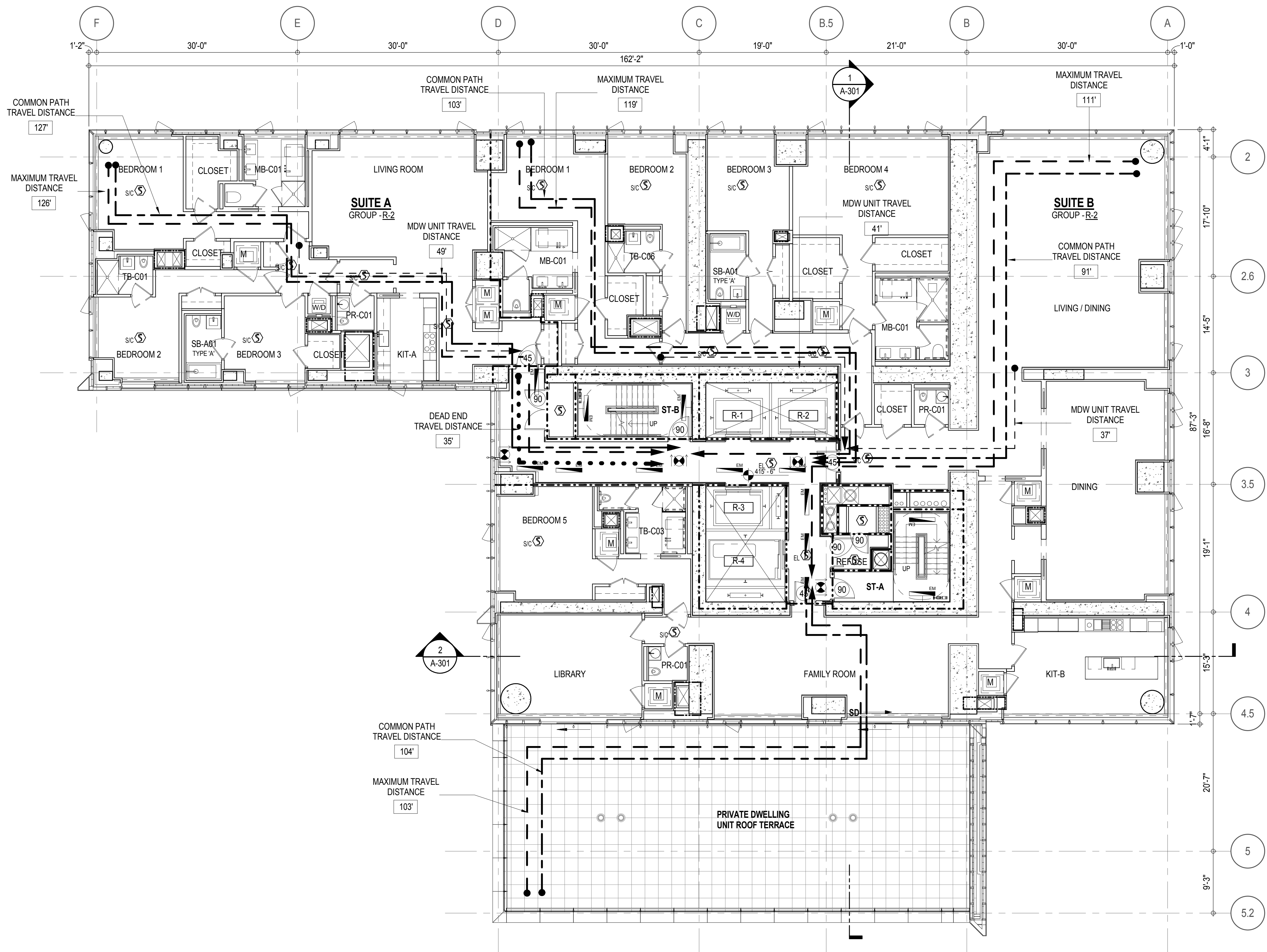
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>				
		PROVIDED Natural Light				PROVIDED Natural Ventilating Openings				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows	Area of Ventilating Openings	% of Natural Air
SUITE A										
BEDROOM 1	216 SF	10%	4.0	134.72 SF	62.29%	5%	0.00 SF	2	24.64 SF	11.39%
BEDROOM 2	149 SF	10%	3.0	101.04 SF	67.81%	5%	0.00 SF	1	12.32 SF	8.27%
BEDROOM 3	150 SF	10%	1.5	50.52 SF	33.59%	5%	0.00 SF	1	12.32 SF	8.19%
KIT-A	113 SF	10%	1.0	33.68 SF	29.82%	5%	0.00 SF	1	12.32 SF	10.91%
LIVING ROOM	451 SF	10%	4.0	134.72 SF	29.87%	5%	0.00 SF	2	24.64 SF	5.46%
SUITE B										
BEDROOM 1	192 SF	10%	2.0	67.36 SF	35.17%	5%	0.00 SF	1	12.32 SF	6.43%
BEDROOM 2	153 SF	10%	2.0	67.36 SF	43.98%	5%	0.00 SF	1	12.32 SF	8.04%
BEDROOM 3	165 SF	10%	2.0	67.36 SF	40.84%	5%	0.00 SF	1	12.32 SF	7.47%
BEDROOM 4	337 SF	10%	4.0	134.72 SF	39.95%	5%	0.00 SF	2	24.64 SF	7.31%
BEDROOM 5	233 SF	10%	3.0	101.04 SF	43.30%	5%	0.00 SF	1	12.32 SF	5.28%
DINING	571 SF	10%	5.0	168.40 SF	29.48%	5%	0.00 SF	3	36.96 SF	6.47%
FAMILY ROOM	509 SF	10%	6.0	202.08 SF	39.71%	5%	39.73 SF	1	52.05 SF	10.23%
KIT-B	343 SF	10%	6.0	202.08 SF	58.96%	5%	0.00 SF	2	24.64 SF	7.19%
LIBRARY	323 SF	10%	5.0	168.40 SF	52.07%	5%	39.73 SF	2	64.37 SF	19.90%
LIVING / DINING	952 SF	10%	8.0	269.44 SF	28.30%	5%	0.00 SF	4	49.28 SF	5.18%

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-979
TB-C03	ADAPTABLE	11/A-979
TB-C06	ADAPTABLE	11/A-980

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B	5/A-950



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
- . - . - . -	THREE HOUR RATED PARTITION
- - - - -	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
- - - - -	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

EXIT SIGN	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
EXIT SIGN	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
EXIT SIGN	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
EXIT SIGN	ILLUMINATED EXIT SIGN

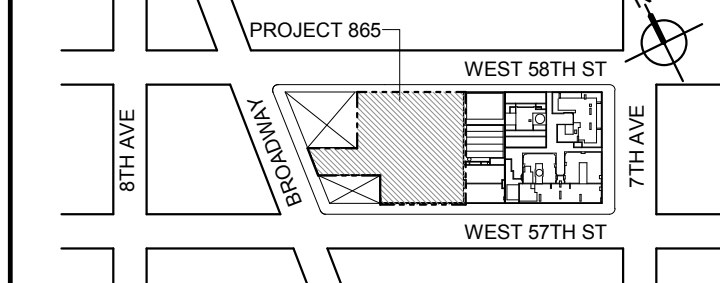
FEC	FIRE EXTINGUISHER CABINET
SPRINKLER HEAD	SPRINKLER HEAD (REFER TO FP DRAWINGS)
STANDPIPE	STANDPIPE
SPRINKLER RISER	SPRINKLER RISER
SIAMSE CONNECTION	SIAMSE CONNECTION

SD	SMOKE DETECTOR
SC	SMOKE / CARBON MONOXIDE DETECTOR
EL	CEILING MOUNTED EMERGENCY LIGHT
EL	WALL MOUNTED EMERGENCY LIGHT
90	DOOR RATING (MINUTES)

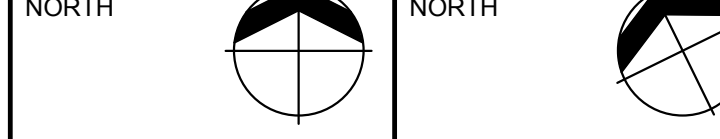
SYMBOLS LEGEND

REVERSIBLE DOOR SWING	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
4011 WASHINGTON ST. W., 3rd Floor
TORONTO, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
4011 WASHINGTON ST. W., 3rd Floor
TORONTO, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10011-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

20TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1C SIMPLEX)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-050.00

DOB PAGE No: 88 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 21ST - 26TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,318 SF	200 SF	12
SUITE B	R-2	2,353 SF	200 SF	12
SUITE C	R-2	3,114 SF	200 SF	16
SUITE D	R-2	1,416 SF	200 SF	8
Grand total				48

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
TOTAL (292)			146	24
STAIR - A	44"	0.3	146	24
STAIR - B	44"	0.3	146	24

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
TOTAL (340)			170	24
STAIR - A - DOOR	34"	0.2	170	24
STAIR - B - DOOR	34"	0.2	170	24

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.60"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
SUITE A DOOR	36"	50'
SUITE B DOOR	36"	
SUITE C DOOR	36"	
SUITE D DOOR	36"	

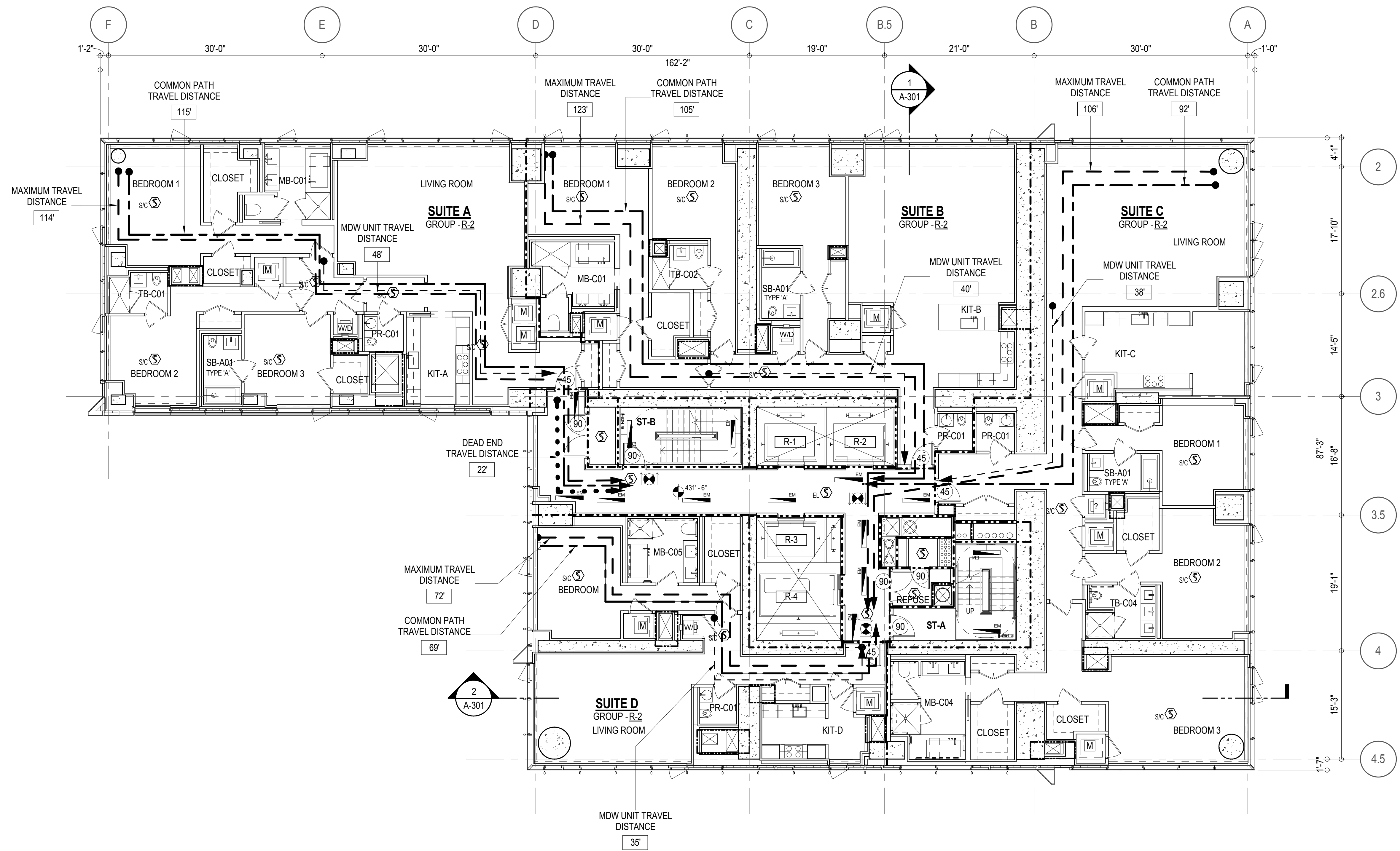
LIGHT & AIR CALCULATION 21ST - 26TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)	PROVIDED		REQ'D % of Air	PROVIDED		
				Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	% of Natural Air	
SUITE A									
BEDROOM 1	216 SF	10%	4.0	134.72 SF	62.29%	5%	2	24.64 SF	11.39%
BEDROOM 2	148 SF	10%	3.0	101.04 SF	68.04%	5%	1	12.32 SF	8.30%
BEDROOM 3	150 SF	10%	1.5	50.52 SF	33.59%	5%	1	12.32 SF	8.19%
KIT-A	113 SF	10%	1.0	33.68 SF	29.82%	5%	1	12.32 SF	10.91%
LIVING ROOM	451 SF	10%	4.0	134.72 SF	29.87%	5%	2	24.64 SF	5.46%
SUITE B									
BEDROOM 1	192 SF	10%	2.0	67.36 SF	35.17%	5%	1	12.32 SF	6.43%
BEDROOM 2	154 SF	10%	2.0	67.36 SF	43.74%	5%	1	12.32 SF	8.00%
BEDROOM 3	165 SF	10%	2.0	67.36 SF	40.86%	5%	1	12.32 SF	7.47%
KIT-B	631 SF	10%	4.0	134.72 SF	21.34%	5%	3	36.96 SF	5.86%
SUITE C									
BEDROOM 1	161 SF	10%	2.0	67.36 SF	41.77%	5%	1	12.32 SF	7.64%
BEDROOM 2	212 SF	10%	3.0	101.04 SF	47.61%	5%	1	12.32 SF	5.81%
BEDROOM 3	292 SF	10%	5.0	168.40 SF	57.65%	5%	2	24.64 SF	8.44%
KIT-C	236 SF	10%	3.0	101.04 SF	42.76%	5%	1	12.32 SF	5.21%
LIVING ROOM	630 SF	10%	6.0	202.08 SF	32.07%	5%	3	36.96 SF	5.87%
SUITE D									
BEDROOM	189 SF	10%	3.0	101.04 SF	53.32%	5%	1	12.32 SF	6.50%
KIT-D	107 SF	10%	3.0	101.04 SF	94.09%	5%	1	12.32 SF	11.47%
LIVING ROOM	331 SF	10%	5.0	168.40 SF	50.91%	5%	2	24.64 SF	7.45%

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C04	ADAPTABLE	9/A-974
MB-C05	ADAPTABLE	1/A-975
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-979
TB-C02	ADAPTABLE	6/A-979
TB-C04	ADAPTABLE	11/A-980

KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B	5/A-950
KIT-C	1/A-953
KIT-D	4/A-953



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

-----	COMMON TRAVEL DISTANCE
-----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

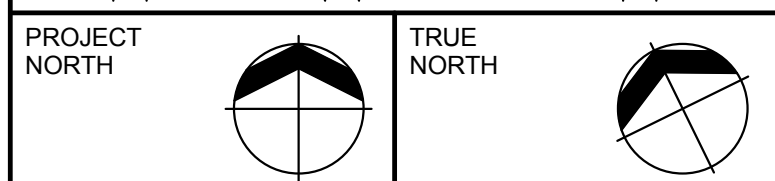
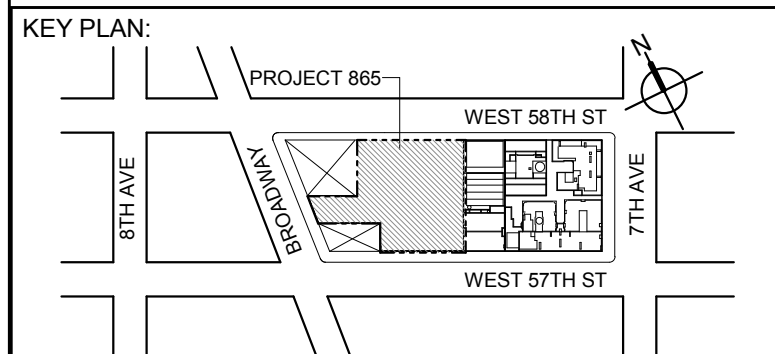
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
ILLUMINATED EXIT SIGN

FEC FIRE EXTINGUISHER CABINET
SPRINKLER HEAD (REFER TO FP DRAWINGS)
SPRINKLER RISER
SIAMESE CONNECTION

SMOKE DETECTOR
SMOKE / CARBON MONOXIDE DETECTOR
CEILING MOUNTED EMERGENCY LIGHT
WALL MOUNTED EMERGENCY LIGHT
DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT



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21 Fern Plaza - 380 West 37th Street, 8th Floor
New York, NY 10001-2727
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100 Church Street
New York, NY 10007
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AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
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TEL: 212 274 9488 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

21ST - 26TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1C)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-051.00

DOB PAGE No: 88 of 930

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 27TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	8,484 SF	300 SF	29
Grand total				29

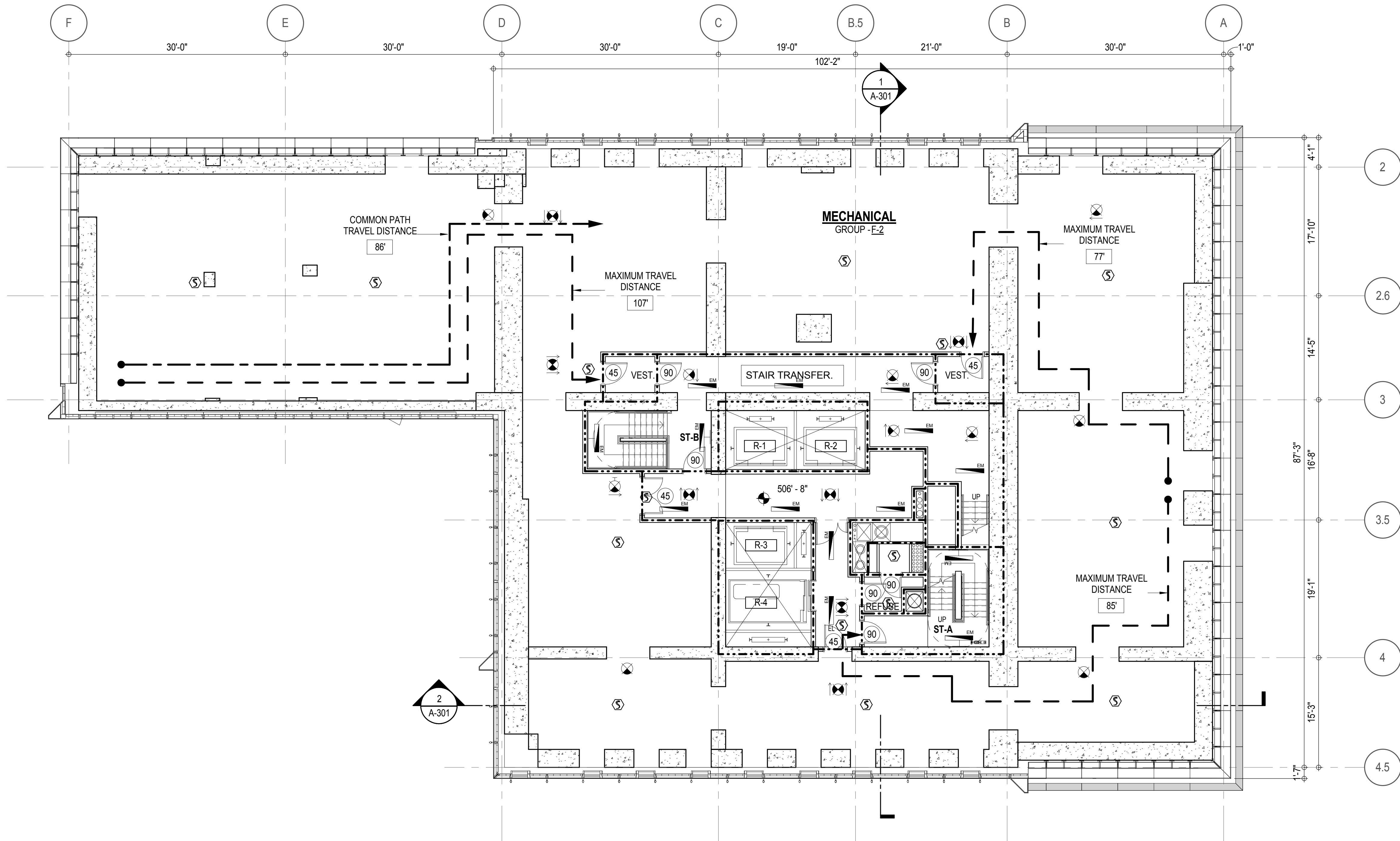
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (29)
STAIR - A	44"	0.3	146	14
STAIR - B	44"	0.3	146	15

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (29)
STAIR - A - DOOR	34"	0.2	170	14
STAIR - B - DOOR	34"	0.2	170	15

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

- ONE HOUR RATED PARTITION
- TWO HOUR RATED PARTITION
- THREE HOUR RATED PARTITION
- FOUR HOUR RATED PARTITION
- NON RATED SMOKE SEPARATION

- COMMON TRAVEL DISTANCE
- DEAD END
- MAXIMUM TRAVEL DISTANCE
- MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

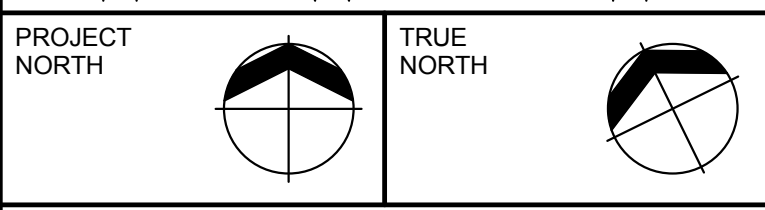
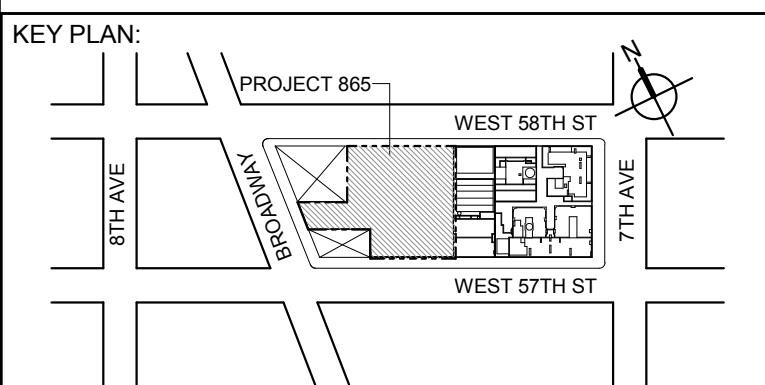
- ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
- ILLUMINATED EXIT SIGN

- FEC FIRE EXTINGUISHER CABINET
- SPRINKLER HEAD (REFER TO FP DRAWINGS)
- STANDPIPE
- SPRINKLER RISER
- SIAMESE CONNECTION

- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- CEILING MOUNTED EMERGENCY LIGHT
- WALL MOUNTED EMERGENCY LIGHT
- DOOR RATING (MINUTES)

SYMBOLS LEGEND

- REVERSIBLE DOOR SWING
- STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
- MECHANICAL UNIT



DEVELOPER:
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No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
27TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
	SCALE: 1/8" = 1'-0"	
DWG No:		
	A-052.00	

DOB EMPLOYEE STAMP: DOB PAGE No: 98 of 990 DOB B-SCAN:

OCCUPANT LOADS SUMMARY 28TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	7,676 SF	200 SF	39
Grand total				39

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C06	ADAPTABLE	6/A-975
MB-C07	ADAPTABLE	1/A-976
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C05	ADAPTABLE	6/A-980

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	9/A-953

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (39)
STAIR - A	44"	0.3	146	19
STAIR - B	44"	0.3	146	20

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (39)
STAIR - A - DOOR	34"	0.2	170	19
STAIR - B - DOOR	34"	0.2	170	20

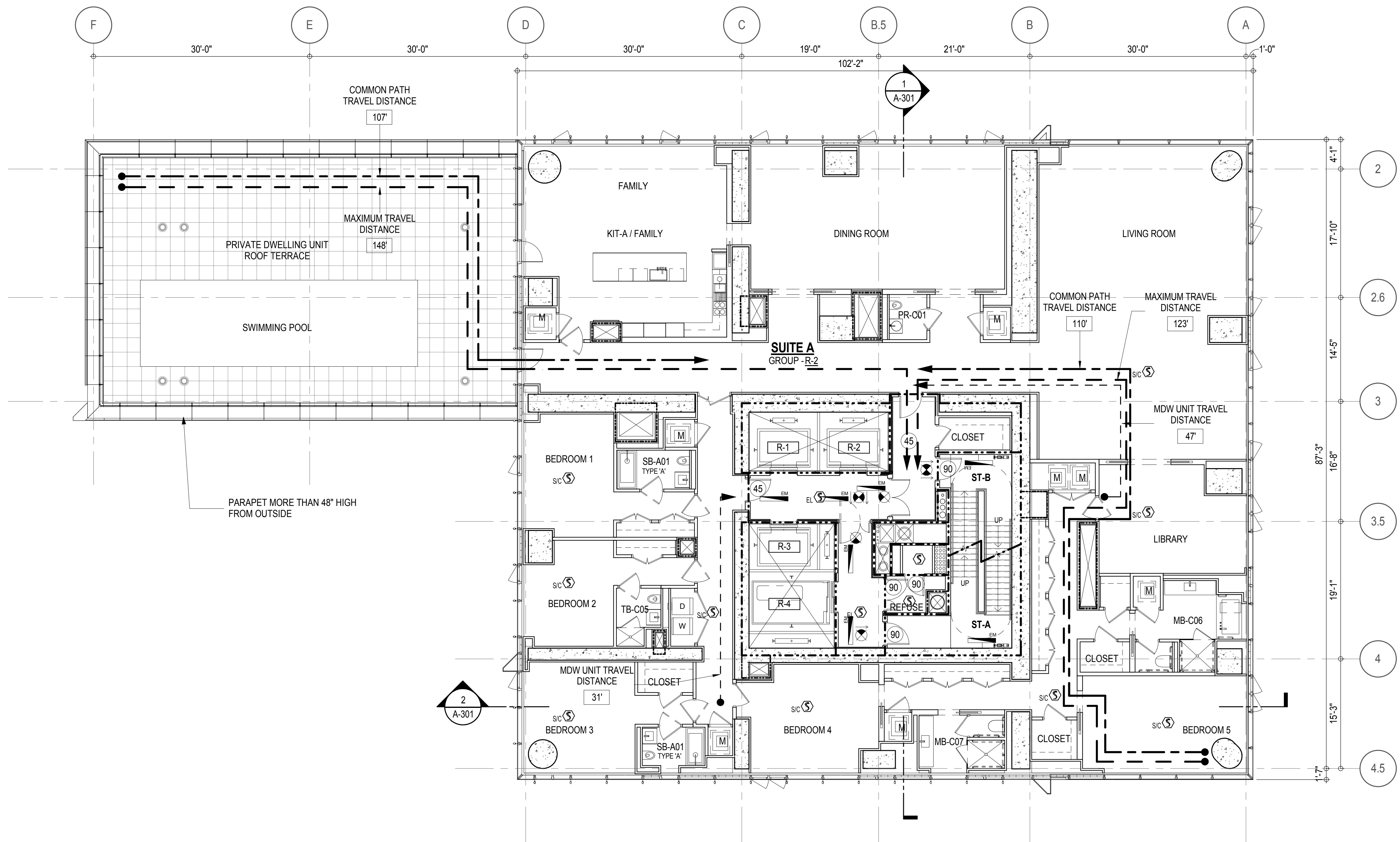
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.58"	38	144.00"
STAIR - B	9.5"	7.58"	38	144.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	

LIGHT & AIR CALCULATION 28TH FLOOR											
LIGHT REQUIREMENT <BC-1205>						AIR REQUIREMENT <BC-1203>					
Room Name	Floor Area	REQ'D % of Light	PROVIDED				REQ'D % of Air	PROVIDED			
			# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	Door Opening Area		# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
SUITE A											
BEDROOM 1	209 SF	10%	3.0	101.04 SF	48.30%	5%	0.00 SF	1	12.32 SF	5.89%	
BEDROOM 2	169 SF	10%	2.0	67.36 SF	39.75%	5%	0.00 SF	1	12.32 SF	7.27%	
BEDROOM 3	230 SF	10%	4.5	151.56 SF	65.87%	5%	0.00 SF	1	12.32 SF	5.35%	
BEDROOM 4	253 SF	10%	3.0	101.04 SF	39.98%	5%	0.00 SF	2	24.64 SF	9.75%	
BEDROOM 5	298 SF	10%	5.0	168.40 SF	56.49%	5%	0.00 SF	2	24.64 SF	8.27%	
DINING ROOM	685 SF	10%	6.0	202.08 SF	29.52%	5%	0.00 SF	3	36.96 SF	5.40%	
KIT-A / FAMILY	670 SF	10%	7.0	235.76 SF	35.20%	5%	23.50 SF	2	48.14 SF	7.19%	
LIBRARY	289 SF	10%	2.0	67.36 SF	23.34%	5%	0.00 SF	2	24.64 SF	8.54%	
LIVING ROOM	1,221 SF	10%	10.0	336.80 SF	27.59%	5%	0.00 SF	5	61.60 SF	5.05%	

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

-----	COMMON TRAVEL DISTANCE
-----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

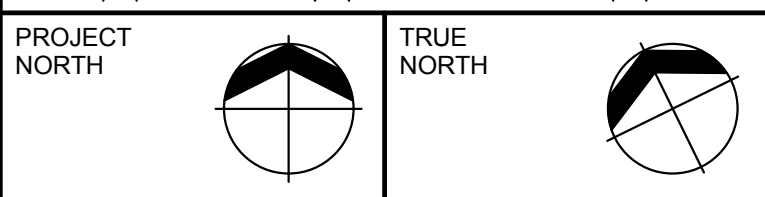
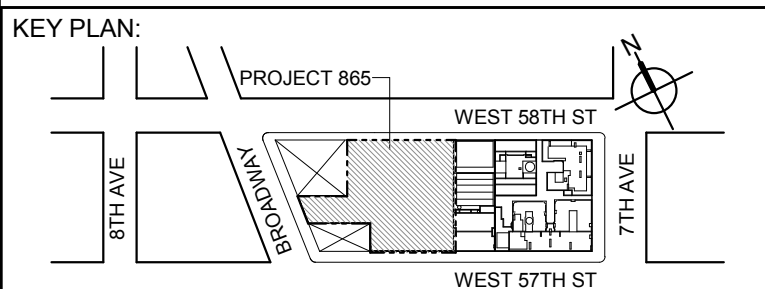
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN

●	FEC FIRE EXTINGUISHER CABINET
●	SPRINKLER HEAD (REFER TO FP DRAWINGS)
●	SPRINKLER RISER
●	SIAMESE CONNECTION

☼	SMOKE DETECTOR
☼	SMOKE / CARBON MONOXIDE DETECTOR
☼	CEILING MOUNTED EMERGENCY LIGHT
☼	WALL MOUNTED EMERGENCY LIGHT
90	DOOR RATING (MINUTES)

SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
WD	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



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LANDMARK/PRESERVATION CONSULTANT:
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No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
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4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

28TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 2 SIMPLEX)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-053.00

DOB PAGE No: 91 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 29TH - 45TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	3,046 SF	200 SF	16
SUITE B	R-2	1,381 SF	200 SF	7
SUITE C	R-2	3,224 SF	200 SF	17
Grand total				40

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (40)
STAIR - A	44"	0.3	146	20
STAIR - B	44"	0.3	146	20

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (40)
STAIR - A - DOOR	34"	0.2	170	20
STAIR - B - DOOR	34"	0.2	170	20

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.47"	19	142.00"
STAIR - B	9.5"	7.47"	19	142.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	

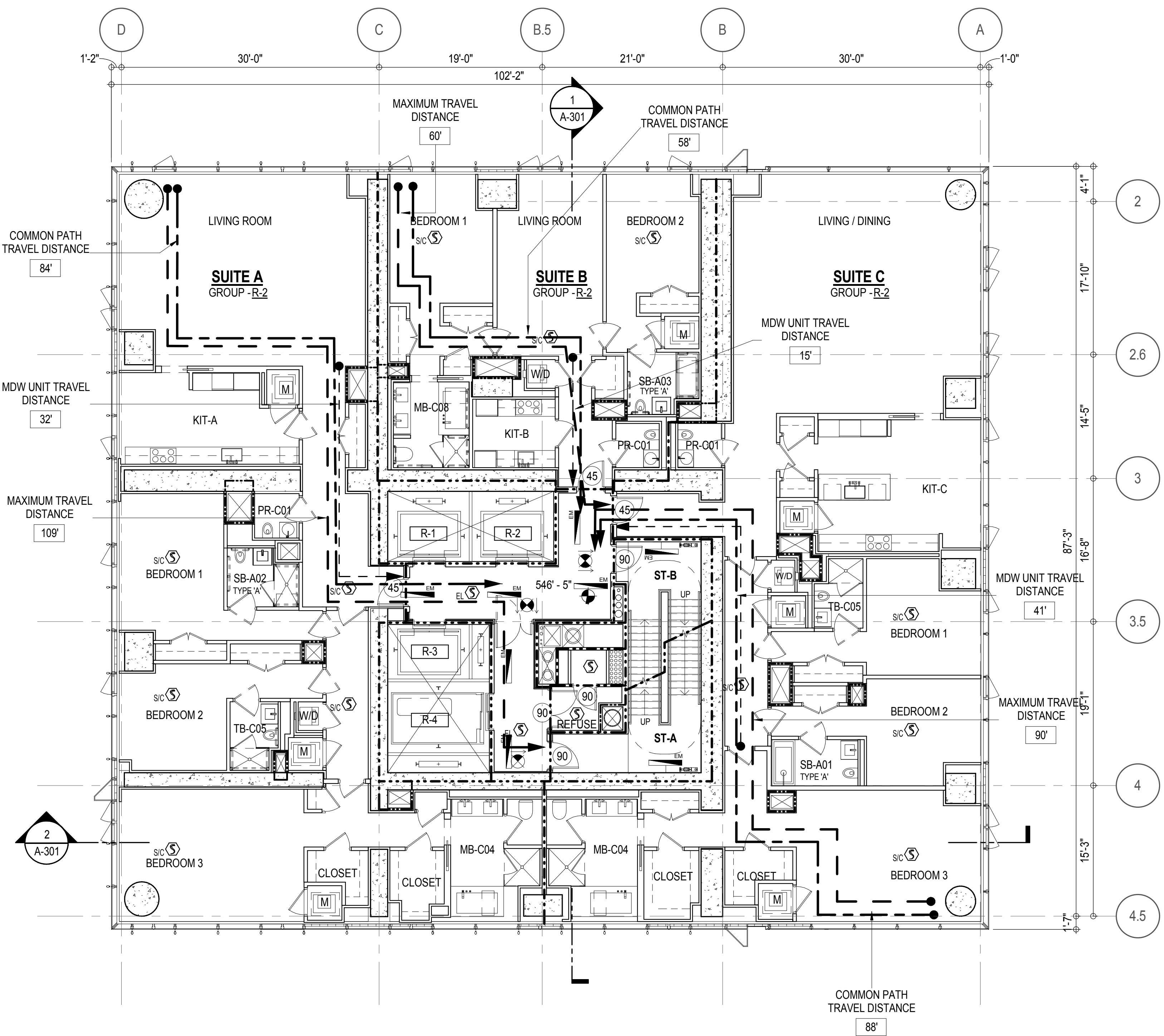
LIGHT & AIR CALCULATION 29TH - 45TH FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>					AIR REQUIREMENT <BC-1203>				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED		REQ'D % of Air	PROVIDED				
				Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
SUITE A											
BEDROOM 1	205 SF	10%	3.0	101.04 SF	49.23%	5%	1	12.32 SF	6.00%		
BEDROOM 2	151 SF	10%	2.0	67.36 SF	44.74%	5%	1	12.32 SF	8.18%		
BEDROOM 3	325 SF	10%	6.0	202.08 SF	62.25%	5%	2	24.64 SF	7.59%		
KIT-A	204 SF	10%	2.0	67.36 SF	33.03%	5%	1	12.32 SF	6.04%		
LIVING ROOM	611 SF	10%	8.0	269.44 SF	44.09%	5%	3	36.96 SF	6.05%		
SUITE B											
BEDROOM 1	173 SF	10%	2.0	67.36 SF	38.91%	5%	1	12.32 SF	7.12%		
BEDROOM 2	153 SF	10%	2.0	67.36 SF	44.01%	5%	1	12.32 SF	8.05%		
KIT-B	75 SF	10%				5%					
LIVING ROOM	251 SF	10%	2.0	67.36 SF	26.79%	5%	2	24.64 SF	9.80%		
SUITE C											
BEDROOM 1	166 SF	10%	2.0	67.36 SF	40.68%	5%	1	12.32 SF	7.44%		
BEDROOM 2	156 SF	10%	2.0	67.36 SF	43.05%	5%	1	12.32 SF	7.87%		
BEDROOM 3	316 SF	10%	5.0	168.40 SF	53.36%	5%	2	24.64 SF	7.81%		
KIT-C	293 SF	10%	2.5	84.20 SF	28.73%	5%	3	36.96 SF	12.61%		
LIVING / DINING	773 SF	10%	7.0	235.76 SF	30.48%	5%	4	49.28 SF	6.37%		

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C04	ADAPTABLE	9/A-974
MB-C04	ADAPTABLE	9/A-974
MB-C08	ADAPTABLE	6/A-976
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A02	A	6/AI-916
SB-A03	A	11/A-970
TB-C05	ADAPTABLE	6/A-980
TB-C05	ADAPTABLE	6/A-980

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-954
KIT-B	4/A-954
KIT-C	1/A-955



EGRESS AND FIRE RATING LEGEND

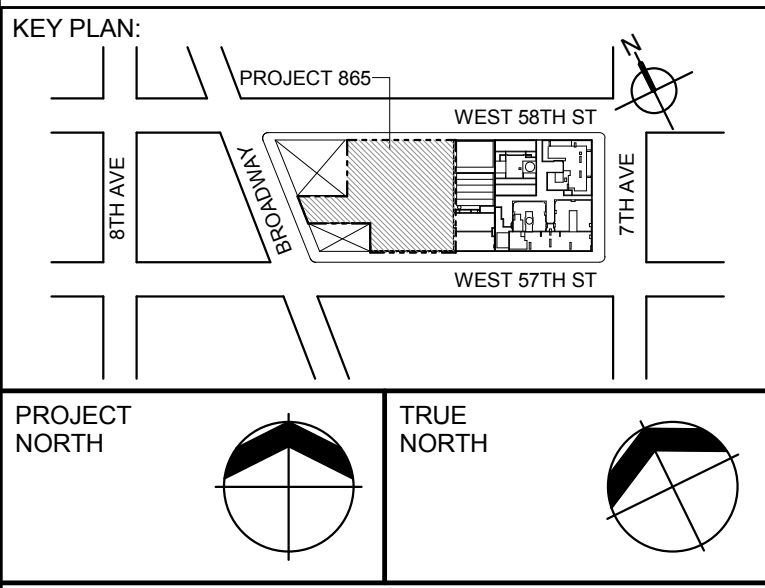
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT



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21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
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AJLP Consulting
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 18th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

29TH - 45TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 2)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
DWG No:	SCALE: 1/8" = 1'-0"	
	DOB PAGE No: 92 of 930	
	A-054.00	

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 46TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	7,042 SF	300 SF	24
Grand total				24

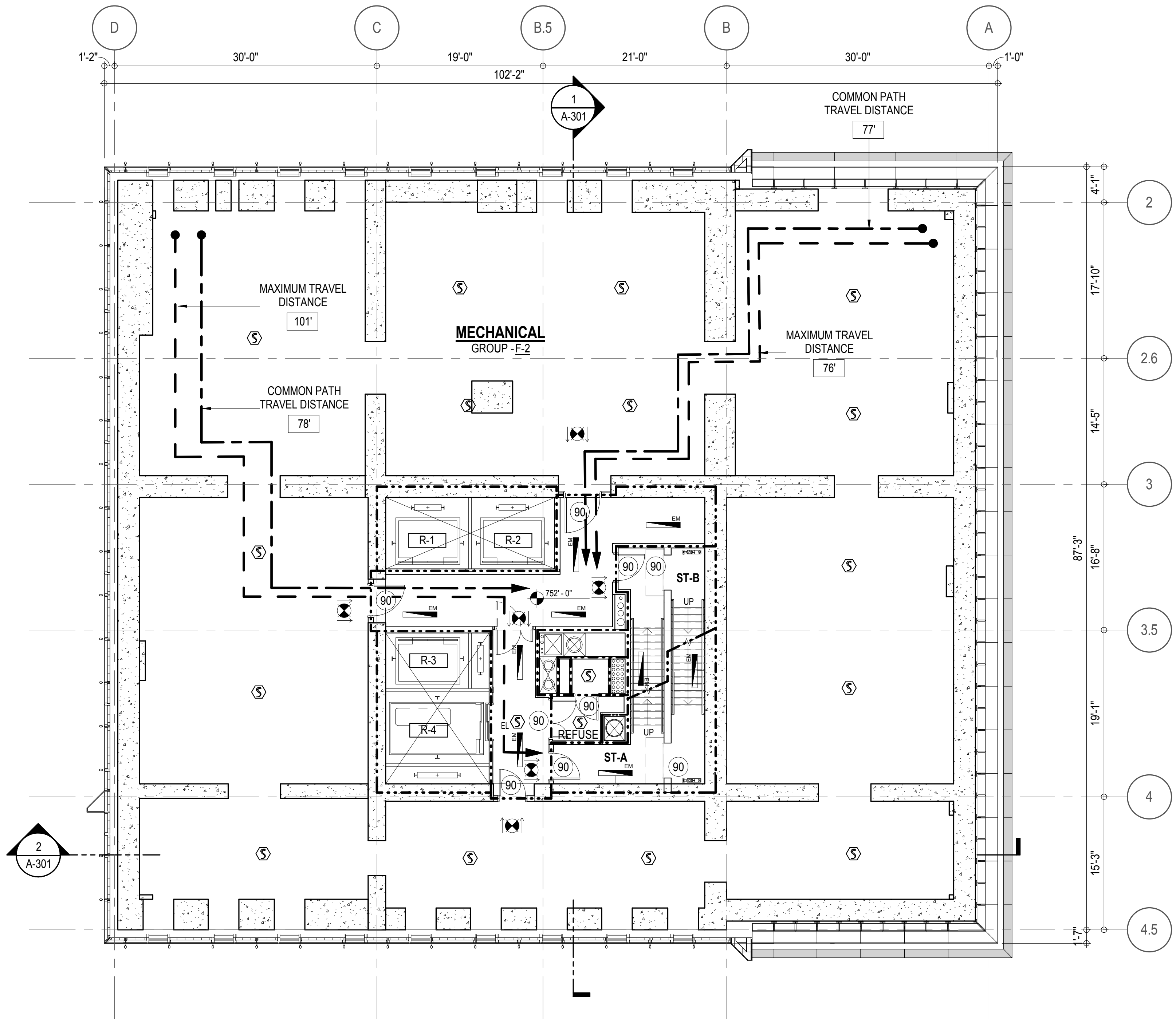
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (24)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (24)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	99.84"
STAIR - B	9.5"	7.68"	25	99.84"

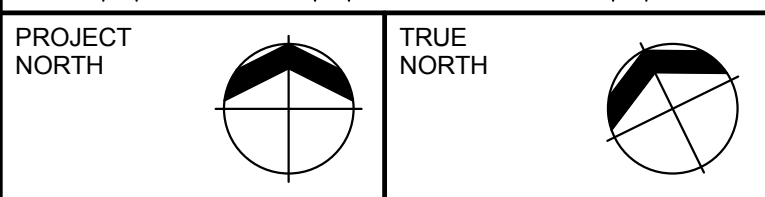
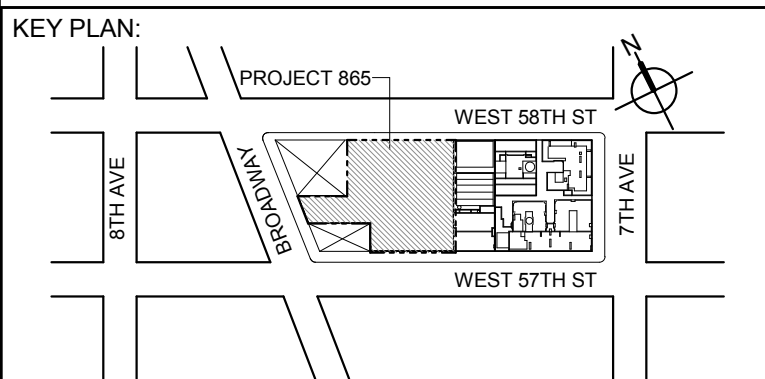
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN		SPRINKLER RISER
			SIAMESE CONNECTION
			SMOKE DETECTOR
			SMOKE / CARBON MONOXIDE DETECTOR
			CEILING MOUNTED EMERGENCY LIGHT
			WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)



DEVELOPER:
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1	CD PROGRESS ISSUE 1	15 OCT 14
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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

46TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-055.00

DOB PAGE No: 93 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 4TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,946 SF	200 SF	15
SUITE B	R-2	3,986 SF	200 SF	20
Grand total				35

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C08	ADAPTABLE	6/A-976
MB-C08	ADAPTABLE	6/A-976
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A03	A	11/A-970
SB-C02	ADAPTABLE	10/A-971
TB-C05	ADAPTABLE	6/A-980
TB-C06	ADAPTABLE	11/A-980

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	10/A-955
KIT-B	1/A-956

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (35)
STAIR - A	44"	0.3	146	18
STAIR - B	44"	0.3	146	17

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (35)
STAIR - A - DOOR	34"	0.2	170	18
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.58"	38	144.00"
STAIR - B	9.5"	7.58"	38	144.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

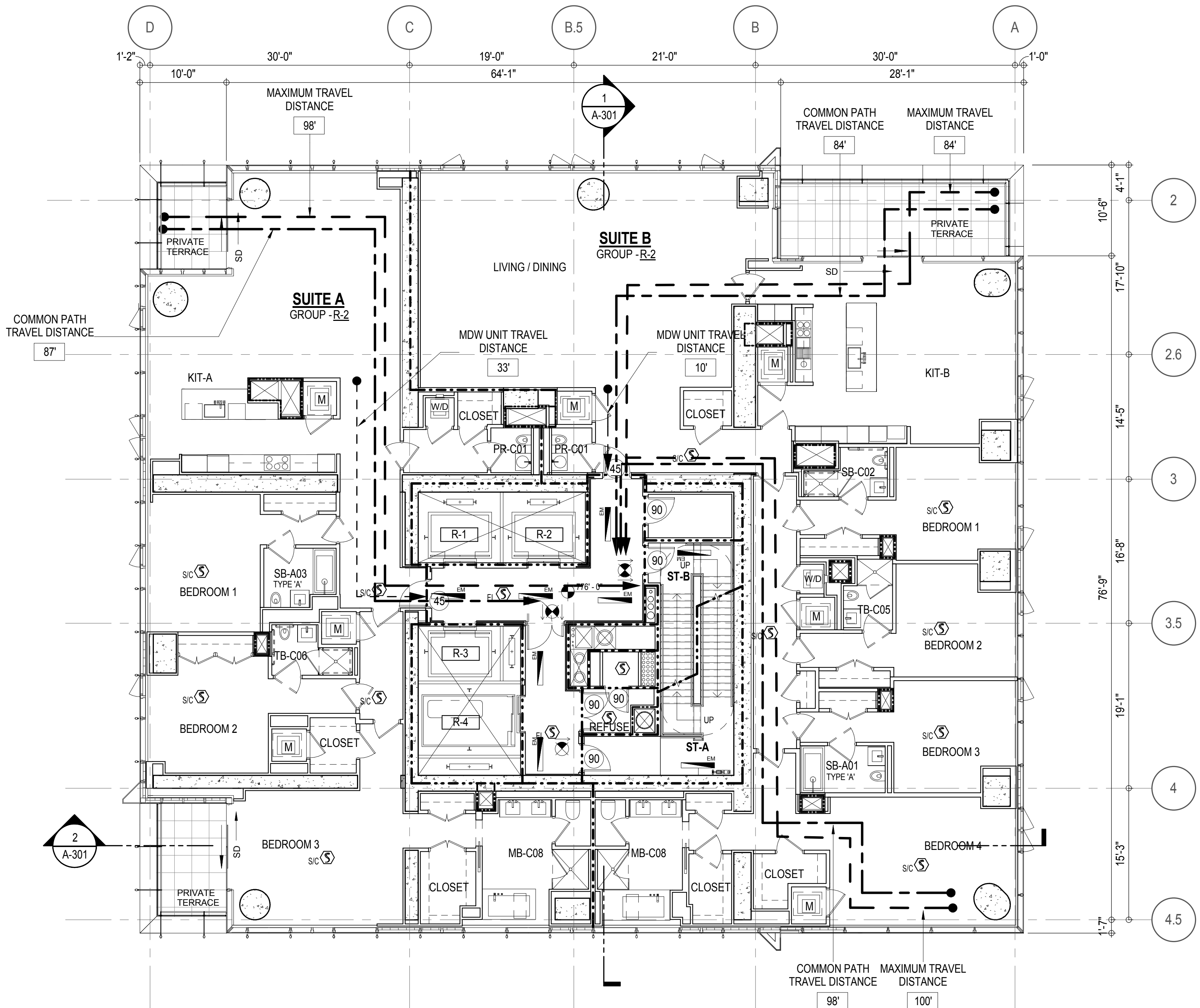
SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'















LIGHT & AIR CALCULATION 4TH FLOOR										
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light		REQ'D % of Air	Door Opening Area	PROVIDED Natural Ventilating Openings		
				Area of Vision Glass	% of Natural Light			# of Operable Windows*	Ventilating Openings	% of Natural Air
SUITE A										
BEDROOM 1	209 SF	10%	3.0	112.14 SF	53.69%	5%	0.00 SF	1	14.18 SF	6.79%
BEDROOM 2	179 SF	10%	2.0	74.76 SF	41.66%	5%	0.00 SF	1	14.18 SF	7.90%
BEDROOM 3	296 SF	10%	5.0	186.90 SF	63.11%	5%	37.73 SF	0	37.73 SF	12.74%
KIT-A	743 SF	10%	9.5	355.11 SF	47.77%	5%	29.86 SF	3	72.40 SF	9.74%
SUITE B										
BEDROOM 1	169 SF	10%	2.0	74.76 SF	44.12%	5%	0.00 SF	1	14.18 SF	8.37%
BEDROOM 2	173 SF	10%	2.0	74.76 SF	43.22%	5%	0.00 SF	1	14.18 SF	8.20%
BEDROOM 3	167 SF	10%	2.0	74.76 SF	44.74%	5%	0.00 SF	1	14.18 SF	8.49%
BEDROOM 4	314 SF	10%	5.0	186.90 SF	59.60%	5%	0.00 SF	2	28.36 SF	9.04%
KIT-B	502 SF	10%	6.0	224.28 SF	44.71%	5%	25.59 SF	2	53.95 SF	10.75%
LIVING / DINING	911 SF	10%	7.0	261.66 SF	28.74%	5%	0.00 SF	4	56.72 SF	6.23%

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

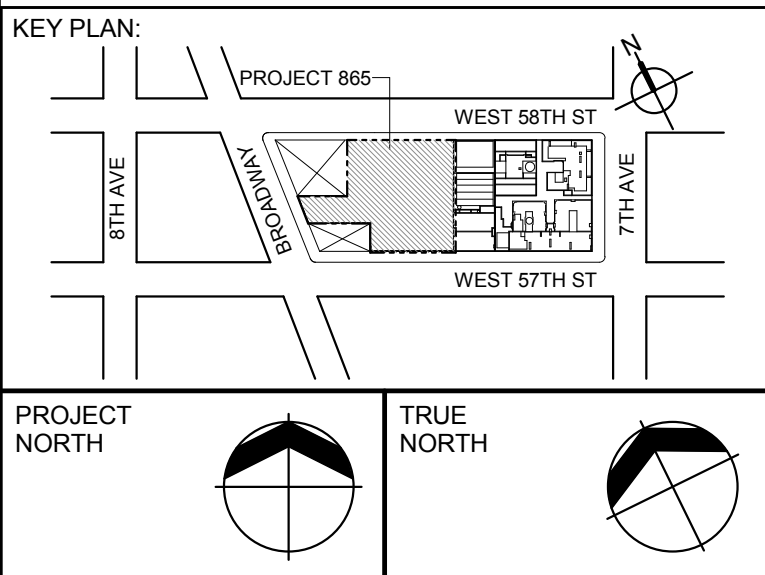
**AREA OF NATURAL LIGHT SOURCES: 37.38 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	• • • • •	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	NON RATED SMOKE SEPARATION		WITHIN DWELLING UNIT

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN		SPRINKLER RISER
			SIAMESE CONNECTION
			SMOKE DETECTOR
			SMOKE / CARBON MONOXIDE DETECTOR
			CEILING MOUNTED EMERGENCY LIGHT
			WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND	
☒	REVERSIBLE DOOR SWING
☒	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
☒	MECHANICAL UNIT



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	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
47TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 3)

SEAL & SIGNATURE: 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHK: Checker SCALE: 1/8" = 1'-0" DWG No: A-056.00
-----------------------	---

DOB EMPLOYEE STAMP: DOB PAGE No: 94 of 950 DOB B-SCAN:

OCCUPANT LOADS SUMMARY 48TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,945 SF	200 SF	15
SUITE B	R-2	3,986 SF	200 SF	20
Grand Total				35

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (35)
STAIR - A	44"	0.3	146	17
STAIR - B	44"	0.3	146	18

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (35)
STAIR - A - DOOR	34"	0.2	170	17
STAIR - B - DOOR	34"	0.2	170	18

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.7"	20	138.60"
STAIR - B	9.5"	7.7"	20	138.60"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	

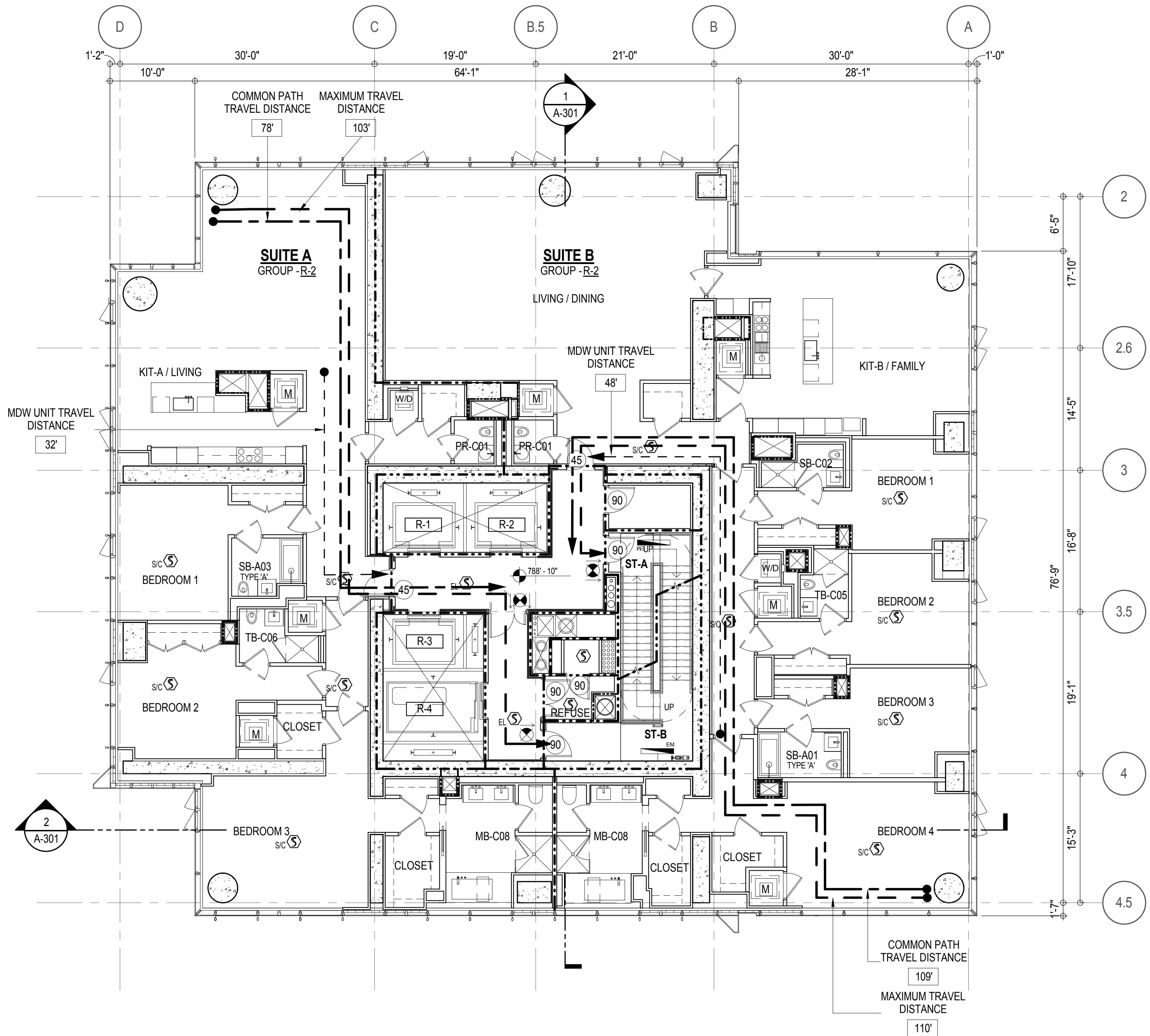
LIGHT & AIR CALCULATION 48TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ)**	PROVIDED Natural Light		REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings	
				Area of Vision Glass	% of Natural Light			Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 1	209 SF	10%	3.0	112.14 SF	53.69%	5%	1	14.18 SF	6.79%
BEDROOM 2	179 SF	10%	2.0	74.76 SF	41.66%	5%	1	14.18 SF	7.90%
BEDROOM 3	296 SF	10%	5.0	186.90 SF	63.11%	5%	2	28.36 SF	9.58%
KIT-A / LIVING	743 SF	10%	9.0	336.42 SF	45.25%	5%	3	42.54 SF	5.72%
SUITE B									
BEDROOM 1	169 SF	10%	2.0	74.76 SF	44.12%	5%	1	14.18 SF	8.37%
BEDROOM 2	173 SF	10%	2.0	74.76 SF	43.22%	5%	1	14.18 SF	8.20%
BEDROOM 3	171 SF	10%	2.0	74.76 SF	43.60%	5%	1	14.18 SF	8.27%
BEDROOM 4	309 SF	10%	5.0	186.90 SF	60.40%	5%	2	28.36 SF	9.17%
KIT-B / FAMILY	505 SF	10%	6.0	224.28 SF	44.43%	5%	2	28.36 SF	5.62%
LIVING / DINING	928 SF	10%	7.0	261.66 SF	28.18%	5%	4	56.72 SF	6.11%

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 37.38 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C08	ADAPTABLE	6/A-976
MB-C08	ADAPTABLE	6/A-976
PR-C01	ADAPTABLE	1/A-982
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
SB-A03	A	11/A-970
SB-C02	ADAPTABLE	10/A-971
TB-C05	ADAPTABLE	6/A-980
TB-C06	ADAPTABLE	11/A-980

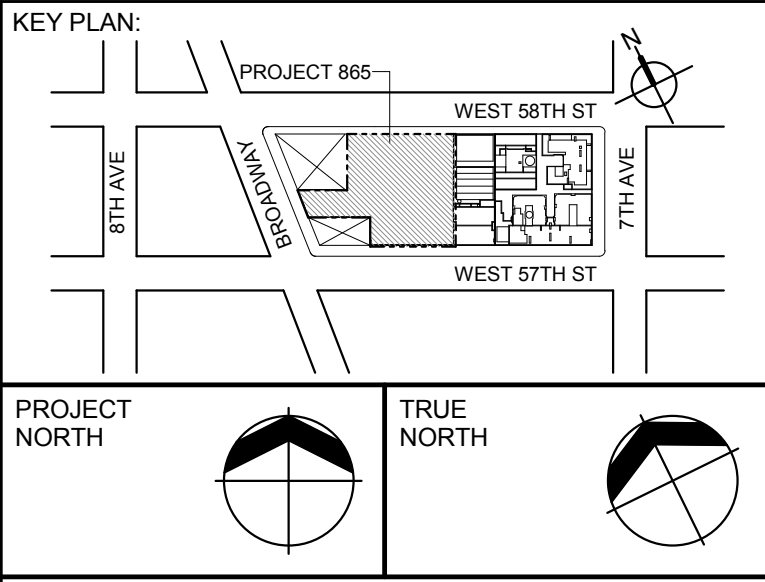
KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / LIVING	10/A-955
KIT-B / FAMILY	1/A-956



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER RISER
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SIAMESE CONNECTION

SYMBOLS LEGEND	
	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)
	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT



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111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

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MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
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LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

48TH - 66TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 3)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

SCALE: 1/8" = 1'-0"

DWG No:

A-057.00

DOB PAGE No: 68 of 690

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 6TH INTERMEDIATE FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	4,471 SF	300 SF	15
Grand total				15

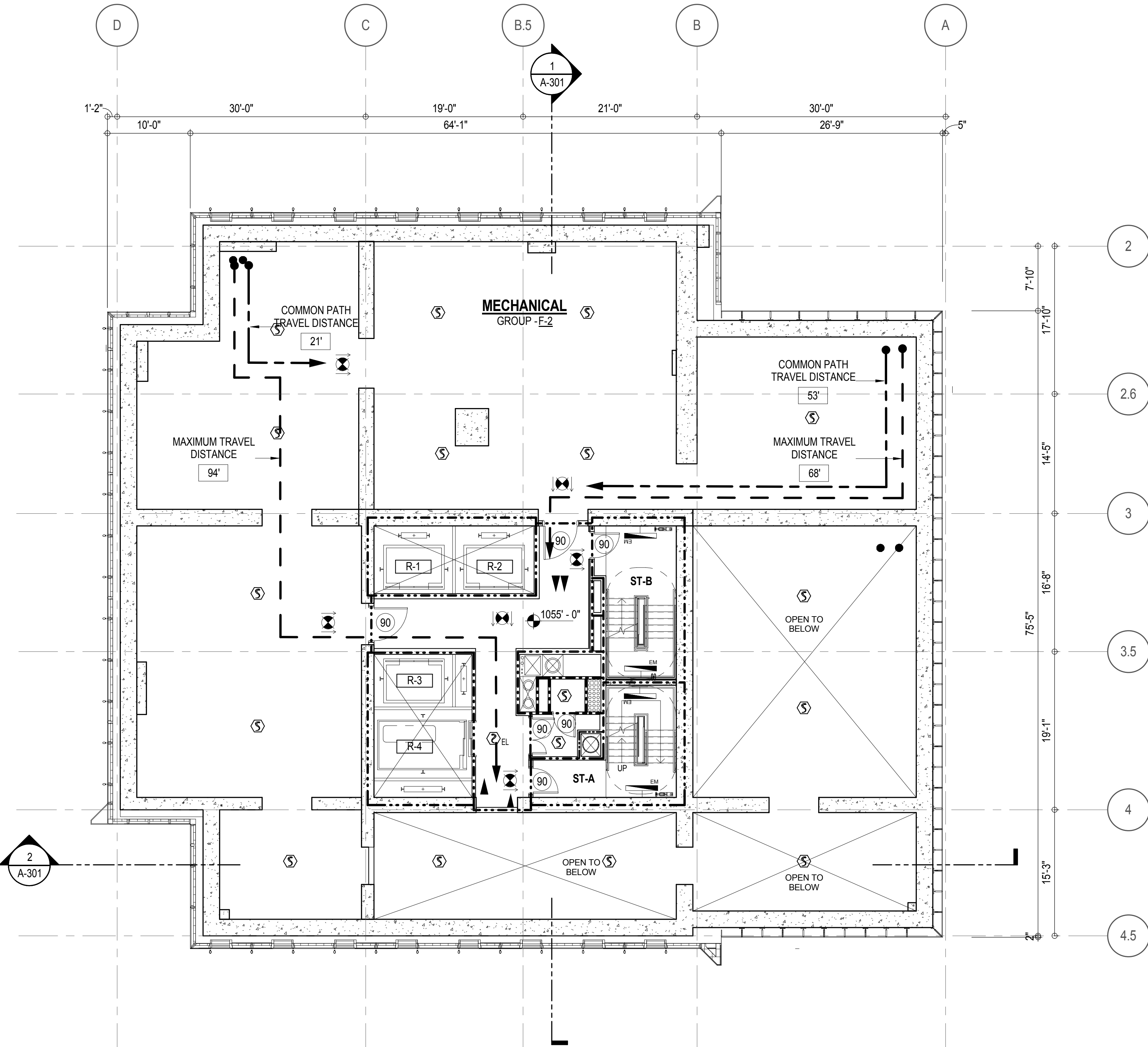
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (15)
STAIR - A	44"	0.3	146	7
STAIR - B	44"	0.3	146	8

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (15)
STAIR - A - DOOR	34"	0.2	170	7
STAIR - B - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.67"	30	92.00"
STAIR - B	9.5"	7.67"	30	92.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



7

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
- . - . - .	THREE HOUR RATED PARTITION
-	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN

	FIRE EXTINGUISHER CABINET
	SPRINKLER (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION

	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

67TH INTERMEDIATE FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-059.00

DOB PAGE No: 97 of 990

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 68TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLEX)	R-2	6,789 SF	200 SF	34
Grand total				34

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-982
PR-C02	ADAPTABLE	6/A-982
SB-A01	A	1/A-970
TB-C05	ADAPTABLE	6/A-960

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	9/A-956

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (34)
STAIR - A	44"	0.3	146	17
STAIR - B	44"	0.3	146	17

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (34)
STAIR - A - DOOR	34"	0.2	170	17
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.7"	20	61.60"
STAIR - B	9.5"	7.7"	20	53.90"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	36"
SUITE A DOOR 2	36"
SUITE A DOOR 3	36"

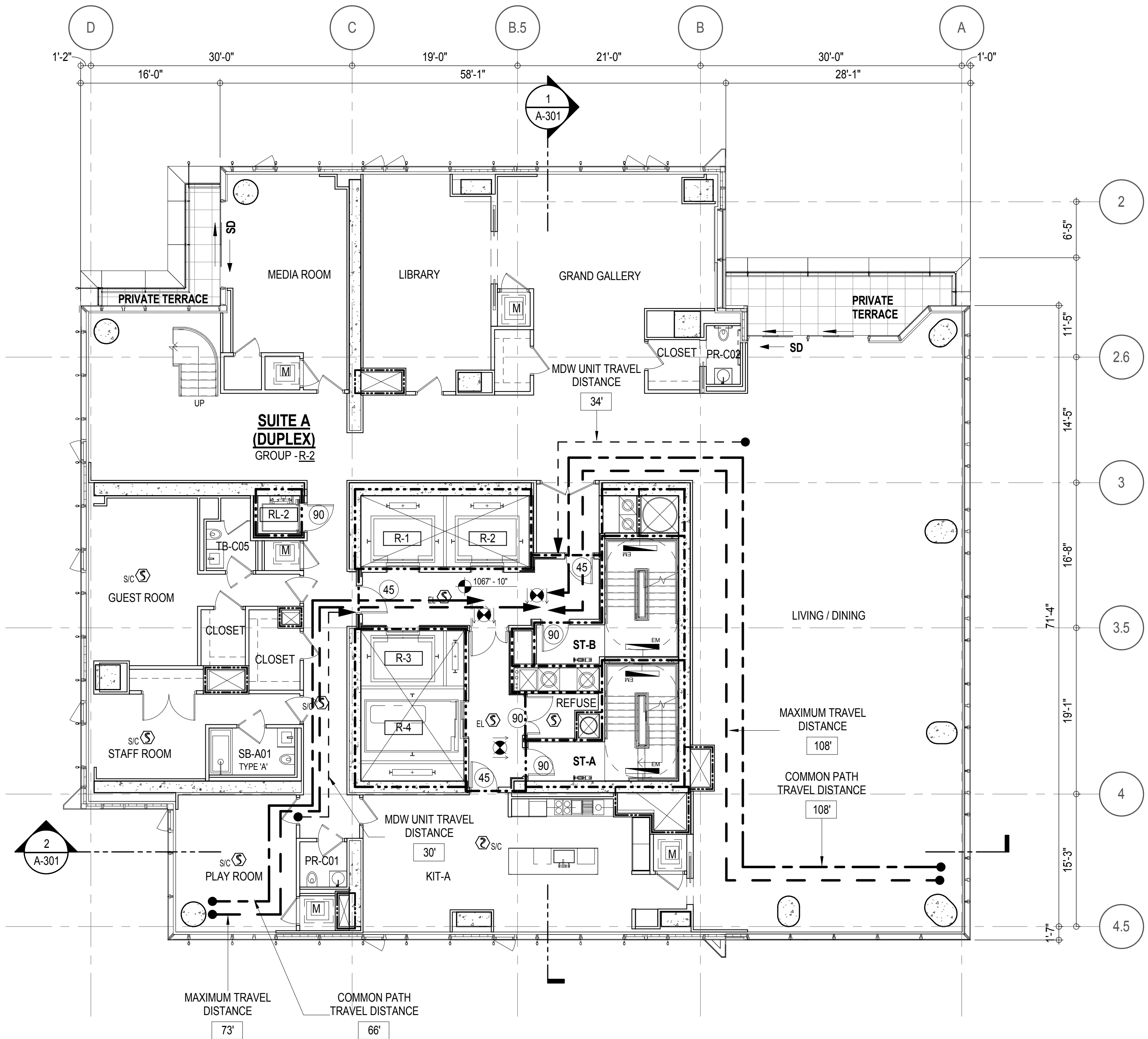
MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	
50'	

LIGHT & AIR CALCULATION 68TH FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>					
		PROVIDED Natural Light				PROVIDED Natural Ventilating Openings					
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
DUPLEX LOWER											
GRAND GALLERY	435 SF	10%	3.0	101.04 SF	23.21%	5%	0.00 SF	2	0	28.36 SF	6.52%
GUEST ROOM	237 SF	10%	3.0	101.04 SF	42.63%	5%	0.00 SF	1	0	14.18 SF	5.98%
KIT-A	509 SF	10%	5.0	168.40 SF	33.07%	5%	0.00 SF	2	0	28.36 SF	5.57%
LIBRARY	321 SF	10%	2.0	67.36 SF	20.96%	5%	0.00 SF	2	0	28.36 SF	8.82%
LIVING / DINING	2,043 SF	10%	20.0	673.60 SF	32.98%	5%	51.84 SF	0	7	184.63 SF	9.04%
MEDIA ROOM	269 SF	10%	4.0	134.72 SF	50.05%	5%	37.73 SF	1	0	51.91 SF	19.29%
PLAY ROOM	215 SF	10%	4.0	134.72 SF	62.79%	5%	0.00 SF	1	0	14.18 SF	6.61%
STAFF ROOM	136 SF	10%	2.0	67.36 SF	49.71%	5%	0.00 SF	1	0	14.18 SF	10.48%

*AREA OF VENTILATING OPENINGS @ UPPER LEVEL IN DOUBLE HEIGHT SPACE: 18.97 SF (SEE 68TH FLOOR)

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
----	TWO HOUR RATED PARTITION	----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

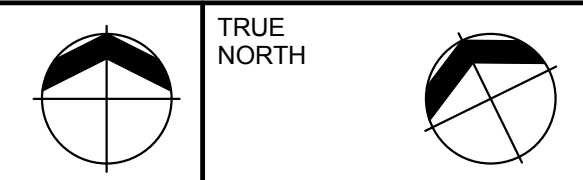
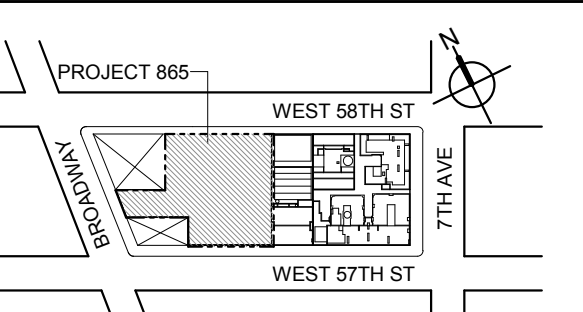
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬆	ILLUMINATED EXIT SIGN

●	FEC FIRE EXTINGUISHER CABINET
●	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬆	STANDPIPE
⬆	SPRINKLER RISER
⬆	SIAMESE CONNECTION

Ⓢ	SMOKE DETECTOR
Ⓢ	SMOKE / CARBON MONOXIDE DETECTOR
Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
Ⓢ	WALL MOUNTED EMERGENCY LIGHT
90	DOOR RATING (MINUTES)

SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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TEL: 312 920 1888 FAX: 312 920 1775

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MEP ENGINEERS:
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No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
68TH FLOOR PLAN
BUILDING CODE NOTES
(DUPLEX-A-LOWER)

SEAL & SIGNATURE: PROJECT No: 1216-00 DATE: 15 OCT 14

DRAWN: Author CHECK: Checker REV: SCALE: 1/8" = 1'-0"

DWG No: **A-060.00**

DOB PAGE No: 98 of 930

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 69TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLEX)	R-2	4,268 SF	200 SF	22
Grand total				22

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (22)
STAIR - A	44"	0.3	146	11
STAIR - B	44"	0.3	146	11

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (22)
STAIR - A - DOOR	34"	0.2	170	11
STAIR - B - DOOR	34"	0.2	170	11

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	53.76"
STAIR - B	9.5"	7.68"	25	53.76"
STAIR UNIT INTERIOR	10.5"	7.68"	25	53.76"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

MULTI DWELLING LAW

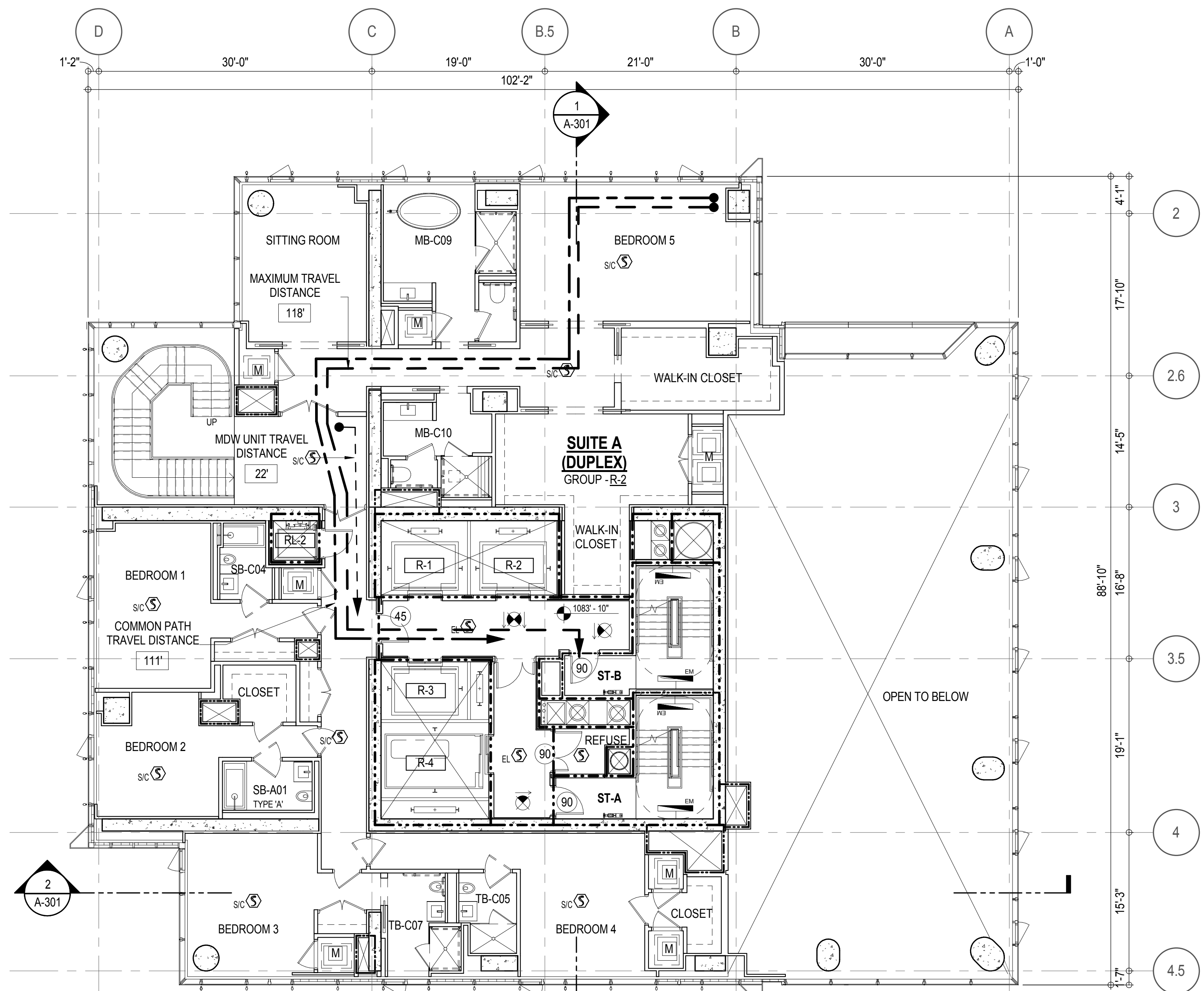
SUITE EXIT DOOR SUMMARY		SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	

LIGHT & AIR CALCULATION 69TH FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>					
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	PROVIDED				
							Natural Ventilating Openings				
						# of Operable Windows*	Area of Ventilating Openings	% of Natural Air			
DUPLEX UPPER											
BEDROOM 1	228 SF	10%	3.0	101.04 SF	44.28%	5%	1	14.18 SF	6.21%		
BEDROOM 2	164 SF	10%	2.0	67.36 SF	41.08%	5%	1	14.18 SF	8.65%		
BEDROOM 3	222 SF	10%	4.0	134.72 SF	60.78%	5%	1	14.18 SF	6.40%		
BEDROOM 4	220 SF	10%	3.0	101.04 SF	45.82%	5%	1	14.18 SF	6.43%		
BEDROOM 5	379 SF	10%	4.0	134.72 SF	35.55%	5%	2	28.36 SF	7.48%		
SITTING ROOM	236 SF	10%	4.0	134.72 SF	57.17%	5%	1	14.18 SF	6.02%		

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	6/A-977
SB-A01	A	1/A-970
SB-C04	ADAPTABLE	6/A-972
TB-C05	ADAPTABLE	6/A-980
TB-C07	ADAPTABLE	1/A-981



EGRESS AND FIRE RATING LEGEND

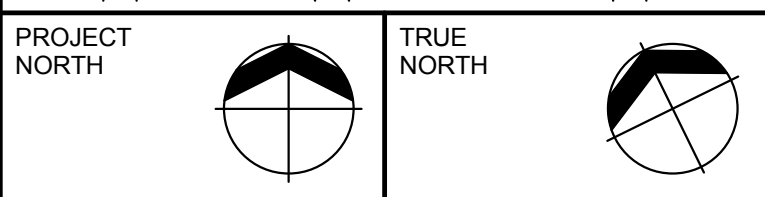
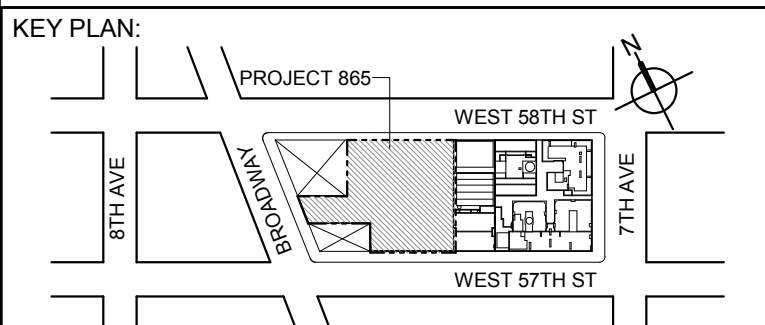
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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DESIGN ARCHITECT: Base Building Shell & Core
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ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
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MEP ENGINEERS:
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

69TH FLOOR PLAN
BUILDING CODE NOTES
(DUPLEX-A-UPPER)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-061.00

DOB PAGE No: 99 of 990

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 70TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	6,448 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C11	ADAPTABLE	1/AI-925
PR-C02	ADAPTABLE	6/AI-930
SB-A03	A	11/AI-916
SB-C03	ADAPTABLE	1/AI-916
SB-C03	ADAPTABLE	1/AI-916
TB-C06	ADAPTABLE	11/AI-928

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	9/AI-707

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	53.76"
STAIR - B	9.5"	7.68"	25	53.76"

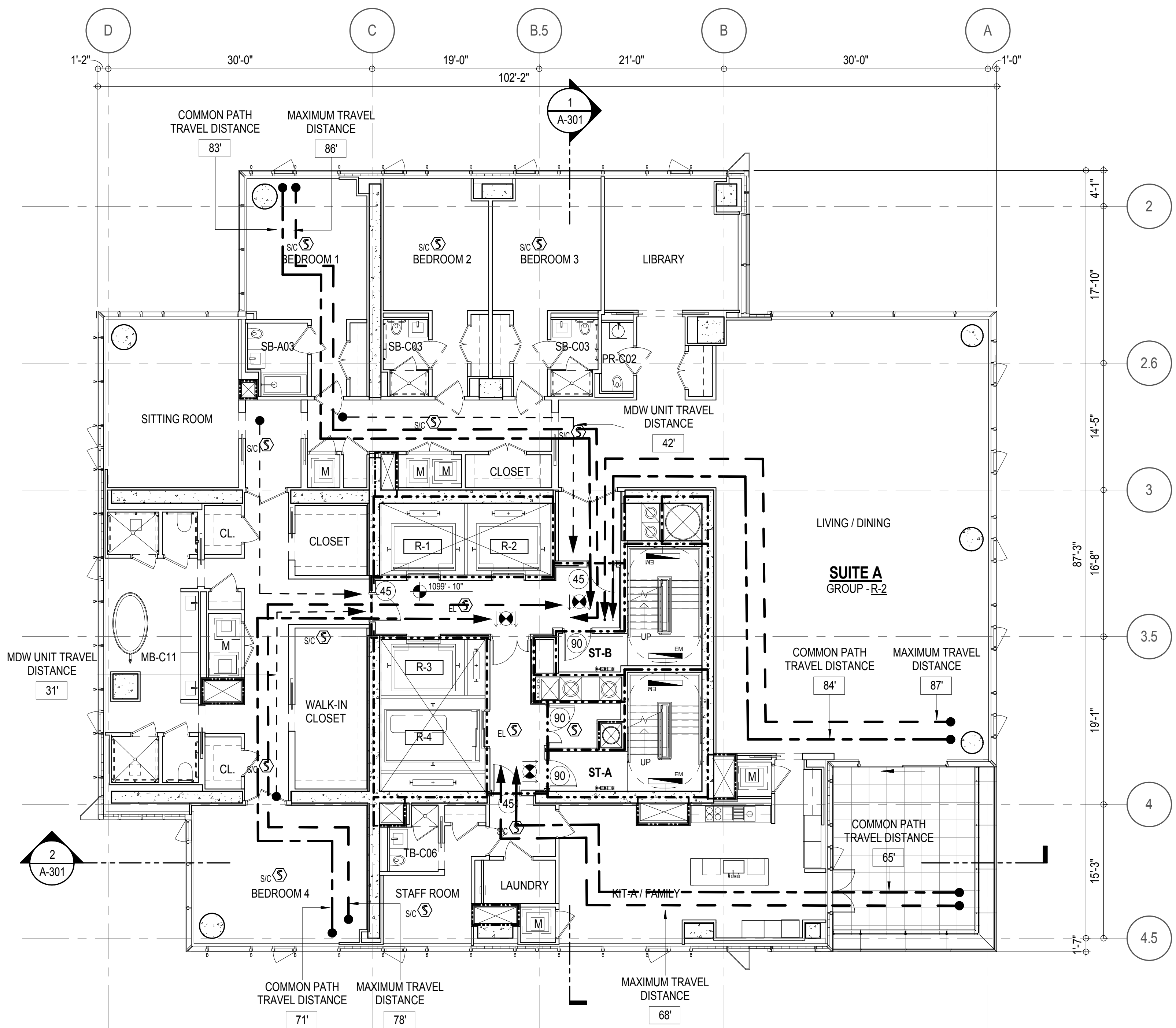
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	36"
SUITE A DOOR 2	36"
SUITE A DOOR 3	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT	
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	
	50'

LIGHT & AIR CALCULATION 70TH FLOOR										
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A										
BEDROOM 1	212 SF	10%	3.0	112.14 SF	52.91%	5%	0.00 SF	1	14.18 SF	6.69%
BEDROOM 2	179 SF	10%	2.0	74.76 SF	41.79%	5%	0.00 SF	1	14.18 SF	7.93%
BEDROOM 3	181 SF	10%	2.0	74.76 SF	41.22%	5%	0.00 SF	1	14.18 SF	7.82%
BEDROOM 4	306 SF	10%	5.0	186.90 SF	61.03%	5%	0.00 SF	2	28.36 SF	9.26%
KIT-A / FAMILY	458 SF	10%	3.0	112.14 SF	24.51%	5%	0.00 SF	2	28.36 SF	6.20%
LIBRARY	182 SF	10%	3.0	112.14 SF	61.58%	5%	0.00 SF	1	14.18 SF	7.79%
LIVING / DINING	1,535 SF	10%	14.0	523.32 SF	34.09%	5%	39.73 SF	5	110.63 SF	7.21%
SITTING ROOM	287 SF	10%	4.5	168.21 SF	58.55%	5%	0.00 SF	2	28.36 SF	9.87%
STAFF ROOM	80 SF	10%	2.0	74.76 SF	93.69%	5%	0.00 SF	1	14.18 SF	17.77%

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 37.38 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

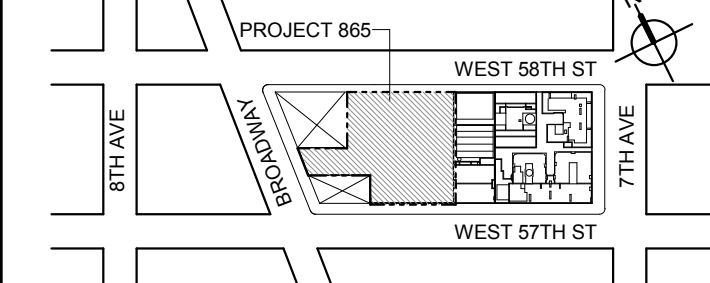
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
		DOOR RATING (MINUTES)

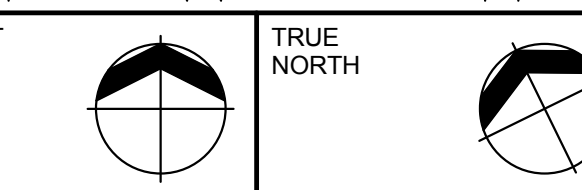
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

70TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 4)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-062.00

DOB PAGE No: 108 of 590

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 71ST FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	6,447 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C11	ADAPTABLE	1/A-978
PR-C02	ADAPTABLE	6/A-982
SB-A03	A	11/A-970
SB-C03	ADAPTABLE	1/A-972
SB-C03	ADAPTABLE	1/A-972
TB-C06	ADAPTABLE	11/A-980

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	1/A-957

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.7"	20	61.60"
STAIR - B	9.5"	7.7"	20	61.60"

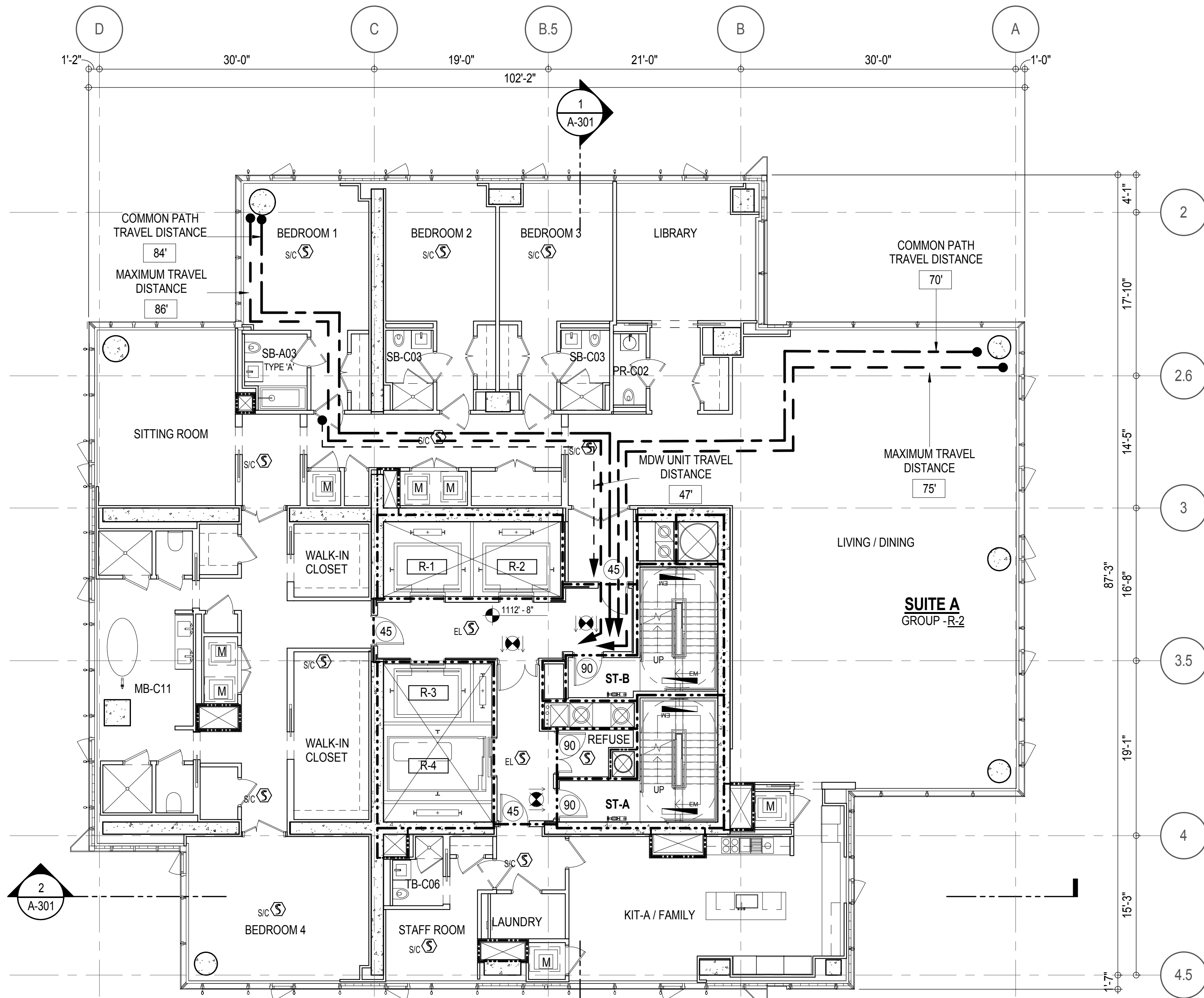
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	

LIGHT & AIR CALCULATION 71ST FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 1	213 SF	10%	4.0	134.72 SF	63.25%	5%	1	14.18 SF	6.66%
BEDROOM 2	179 SF	10%	2.0	67.36 SF	37.68%	5%	1	14.18 SF	7.93%
BEDROOM 3	181 SF	10%	2.0	67.36 SF	37.14%	5%	1	14.18 SF	7.82%
BEDROOM 4	308 SF	10%	5.0	168.40 SF	54.67%	5%	2	28.36 SF	9.21%
KIT-A / FAMILY	458 SF	10%	4.0	134.72 SF	29.44%	5%	2	28.36 SF	6.20%
LIBRARY	216 SF	10%	2.0	67.36 SF	31.19%	5%	1	14.18 SF	6.57%
LIVING / DINING	1,535 SF	10%	14.5	488.36 SF	31.81%	5%	6	85.08 SF	5.54%
SITTING ROOM	287 SF	10%	5.5	185.24 SF	64.47%	5%	2	28.36 SF	9.87%
STAFF ROOM	80 SF	10%	2.0	67.36 SF	84.42%	5%	1	14.18 SF	17.77%

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND	
-----	ONE HOUR RATED PARTITION
-----	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

-----	COMMON TRAVEL DISTANCE
-----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

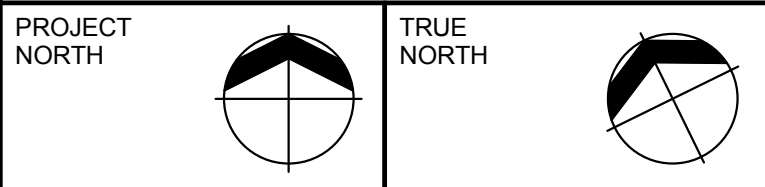
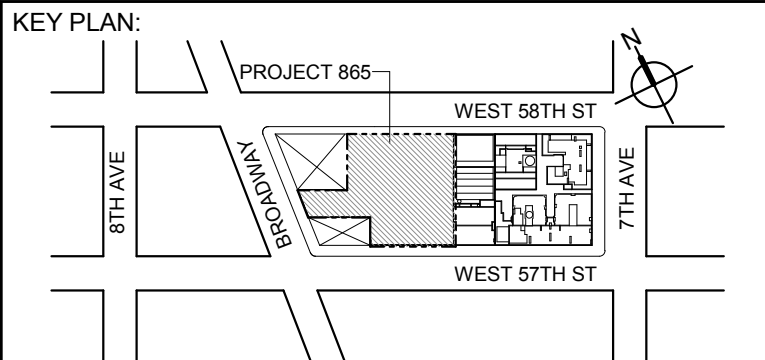
⬮	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬮	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬮	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬮	ILLUMINATED EXIT SIGN

●	FEC FIRE EXTINGUISHER CABINET
●	SPRINKLER HEAD (REFER TO FP DRAWINGS)
●	STANDPIPE
●	SPRINKLER RISER
⚙	SIAMESE CONNECTION

Ⓢ	SMOKE DETECTOR
Ⓢ	SMOKE / CARBON MONOXIDE DETECTOR
Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
Ⓢ	WALL MOUNTED EMERGENCY LIGHT
90	DOOR RATING (MINUTES)

SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
WID	STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

71ST -88TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 4)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-063.00

DOB PAGE No: 101 of 500

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 89TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2 (200)	6,465 SF	200 SF	33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-982
SB-A01	A	1/A-970
TB-C08	ADAPTABLE	6/A-981

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-955

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

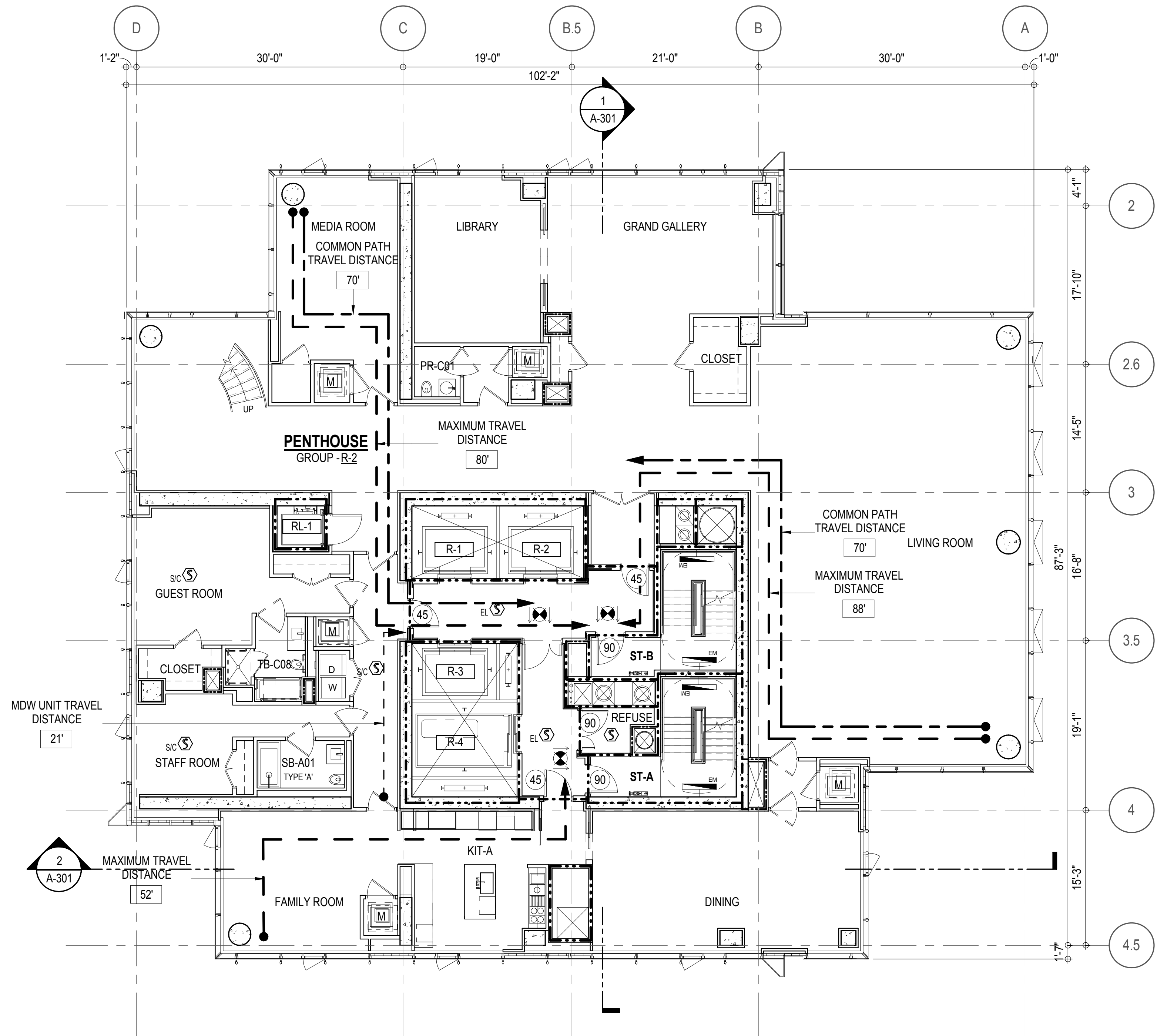
SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1 SUITE A DOOR 2 SUITE A DOOR 3	36" 36" 36"	

LIGHT & AIR CALCULATION 89TH FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>					AIR REQUIREMENT <BC-1203>				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	PROVIDED				
							Natural Ventilating Openings				
							# of Operable Windows*	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
PENTHOUSE L1											
DINING	474 SF	10%	6.0	202.08 SF	42.66%	5%	2	0	28.36 SF	5.99%	
FAMILY ROOM	285 SF	10%	5.0	168.40 SF	59.03%	5%	2	0	28.36 SF	9.94%	
GRAND GALLERY	522 SF	10%	5.0	168.40 SF	32.23%	5%	2	0	28.36 SF	7.43%	
GUEST ROOM	201 SF	10%	3.0	101.04 SF	50.28%	5%	1	0	14.18 SF	5.06%	
KIT-A	235 SF	10%	2.0	67.36 SF	28.65%	5%	1	0	14.18 SF	6.03%	
LIBRARY	261 SF	10%	2.0	67.36 SF	25.81%	5%	1	0	14.18 SF	5.43%	
LIVING ROOM	1,533 SF	10%	15.0	505.20 SF	32.95%	5%	0	5	94.80 SF	6.18%	
MEDIA ROOM	275 SF	10%	4.0	134.72 SF	48.96%	5%	1	0	14.18 SF	5.15%	
STAFF ROOM	123 SF	10%	2.0	67.36 SF	54.65%	5%	1	0	14.18 SF	11.50%	

*AREA OF VENTILATING OPENINGS IN LIVING ROOM: 18.96 SF

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND

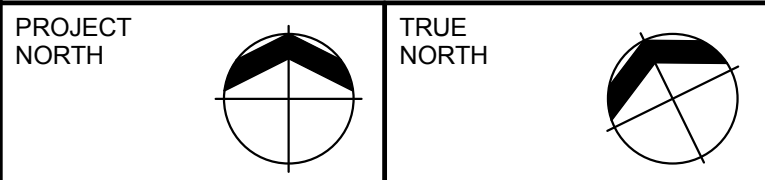
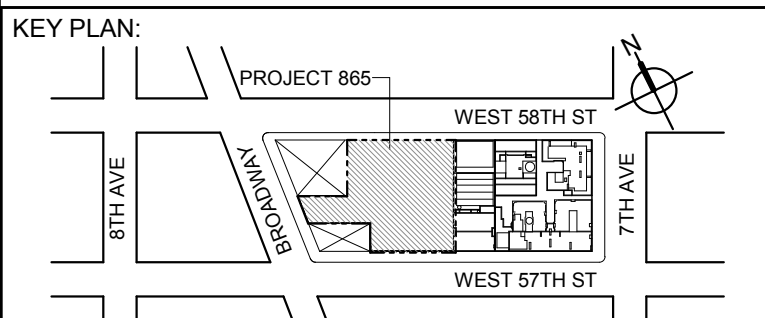
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	FIRE EXTINGUISHER CABINET	Ⓢ	SMOKE DETECTOR
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	ⓈⓈ	SMOKE /CARBON MONOXIDE DETECTOR
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	STANDPIPE	Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	●	SPRINKLER RISER	Ⓢ	WALL MOUNTED EMERGENCY LIGHT
⬇	ILLUMINATED EXIT SIGN	●	SIAMESE CONNECTION	90	DOOR RATING (MINUTES)

SYMBOLS LEGEND

↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
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LANDMARK/PRESERVATION CONSULTANT:
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No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

89TH FLOOR PLAN

BUILDING CODE NOTES

(PENTHOUSE L1)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-064.00

DOB PAGE No: 103 of 590

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 90TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2	4,659 SF	200 SF	25
Grand total				25

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	6/A-977
SB-A01	A	1/A-970
SB-C04	ADAPTABLE	6/A-972
TB-C01	ADAPTABLE	1/A-979
TB-C01	ADAPTABLE	1/A-979

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (25)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	13

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (25)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	13

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

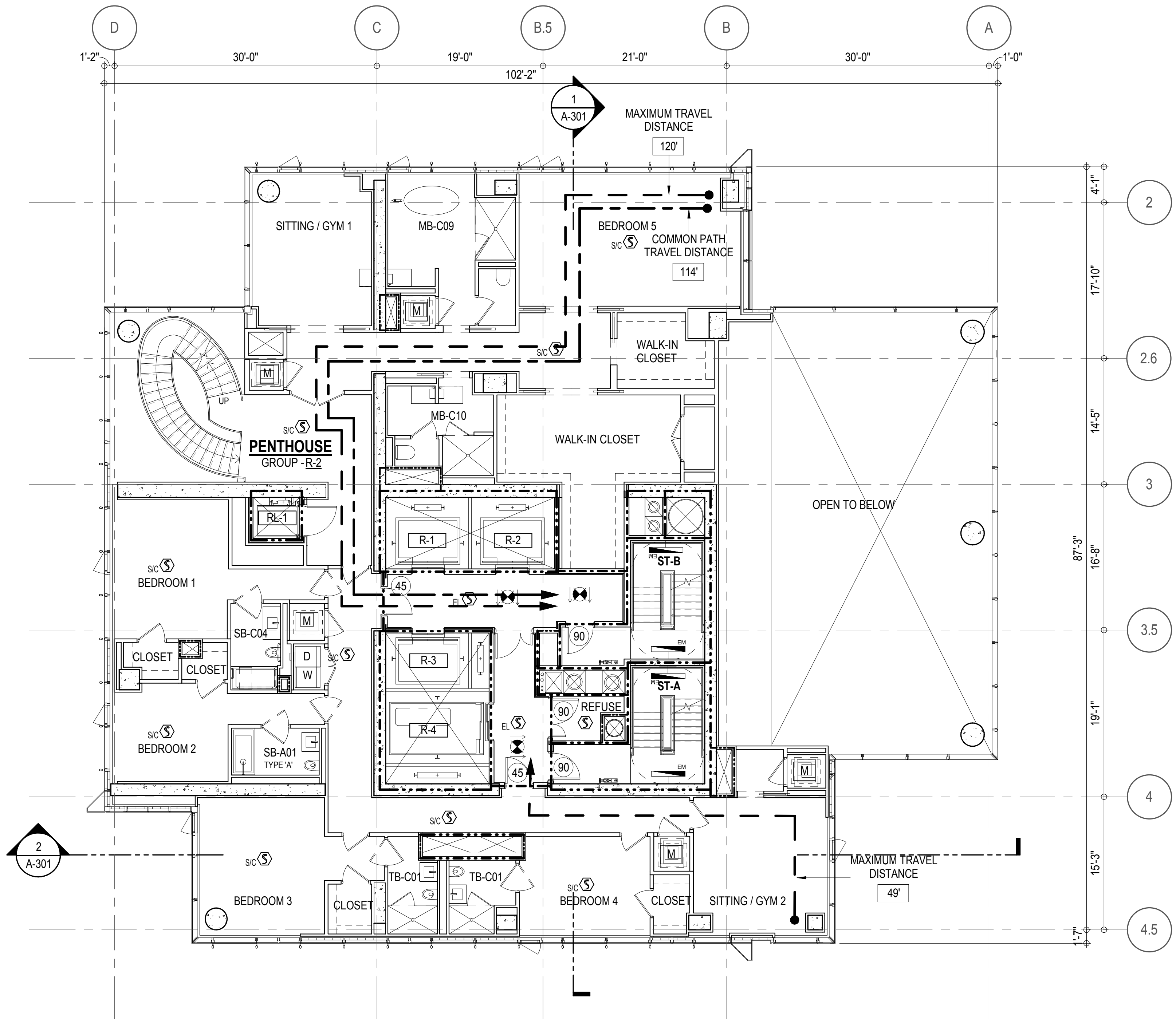
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	36"	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	
		50'










LIGHT & AIR CALCULATION 90TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>					AIR REQUIREMENT <BC-1203>		
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED		REQ'D % of Air	PROVIDED		
				Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	% of Natural Air	
PENTHOUSE L2									
BEDROOM 1	213 SF	10%	3.0	101.04 SF	47.51%	5%	1	14.18 SF	6.67%
BEDROOM 2	146 SF	10%	2.0	67.36 SF	46.08%	5%	1	14.18 SF	9.70%
BEDROOM 3	221 SF	10%	4.0	134.72 SF	60.83%	5%	1	14.18 SF	6.40%
BEDROOM 4	170 SF	10%	3.0	101.04 SF	59.36%	5%	1	14.18 SF	8.33%
BEDROOM 5	379 SF	10%	5.0	168.40 SF	44.39%	5%	2	28.36 SF	7.48%
SITTING / GYM 1	233 SF	10%	4.0	134.72 SF	57.78%	5%	1	14.18 SF	6.08%
SITTING / GYM 2	235 SF	10%	4.0	134.72 SF	57.35%	5%	1	14.18 SF	6.04%

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

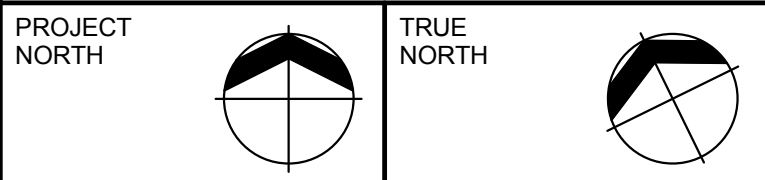
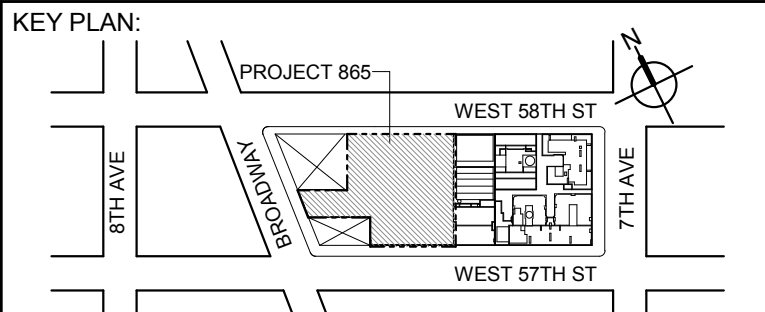
**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	• • • • •	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND	
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN
	FEC FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION

SYMBOLS LEGEND	
↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
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No.	DESCRIPTION:	DATE:
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1	CD PROGRESS ISSUE 1	15 OCT 14
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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

90TH FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L2)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-065.00

DOB PAGE No: 103 of 590

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 91ST FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MEP	F-2	2,730 SF	300 SF	10
PENTHOUSE	R-2	2,343 SF	200 SF	12
Grand total				22

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-982

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (22)
STAIR - A	44"	0.3	146	11
STAIR - B	44"	0.3	146	11

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (22)
STAIR - A - DOOR	34"	0.2	170	11
STAIR - B - DOOR	34"	0.2	170	11

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
F-2	250'	100'	50'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
		50'

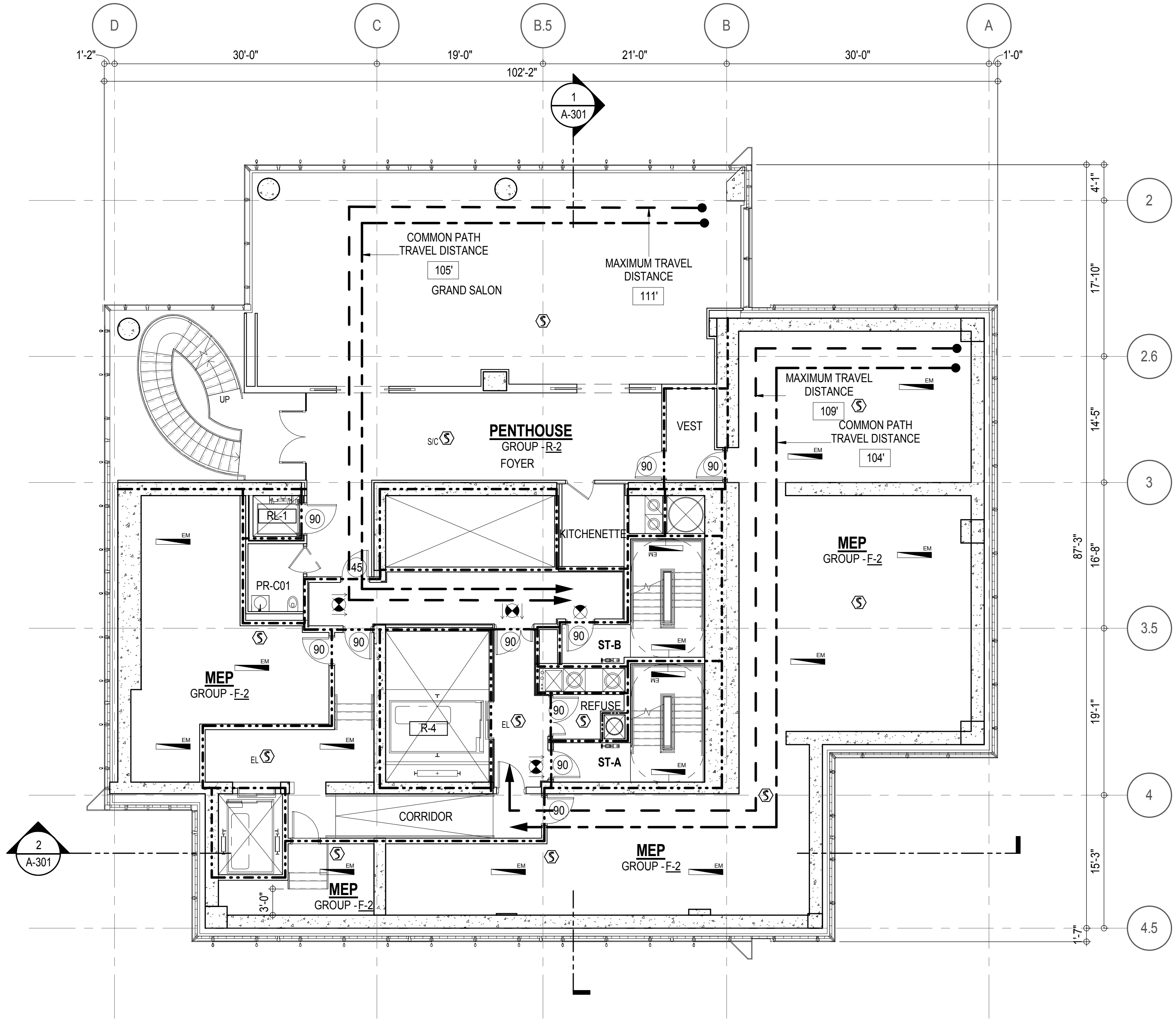
LIGHT & AIR CALCULATION 91ST FLOOR										
Room Name	Floor Area	LIGHT REQUIREMENT -BC-1205>				AIR REQUIREMENT -BC-1203>				
		PROVIDED Natural Light				PROVIDED Natural Ventilating Openings				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
PENTHOUSE L3										
GRAND SALON	1,314 SF	10%	14.5	488.36 SF	37.15%	5%	0	4	75.88 SF	5.77%
KITCHENETTE	68 SF	N / A				N / A				

*AREA OF VENTILATING OPENINGS @ UPPER LEVEL IN DOUBLE HEIGHT SPACE: 18.97 SF (SEE 91ST FLOOR)

*AREA OF VENTILATING OPENING / UNIT: 12.32 SF

**AREA OF NATURAL LIGHT SOURCES: 33.88 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

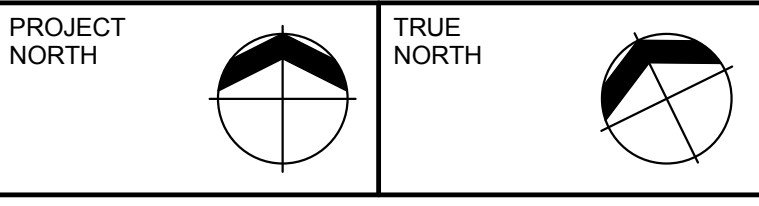
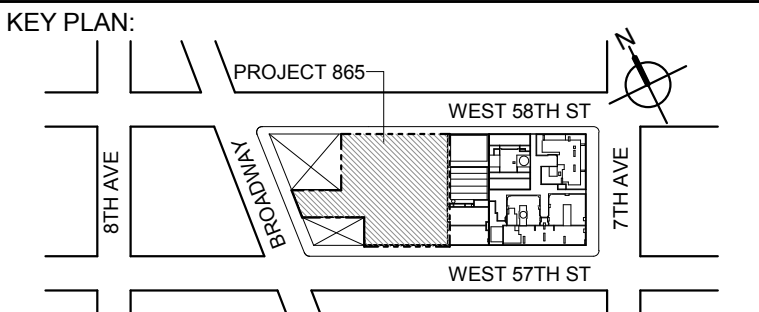
* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
----	TWO HOUR RATED PARTITION	----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FEC FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN		SPRINKLER RISER
			SIAMESE CONNECTION
			SMOKE DETECTOR
			SMOKE (CARBON MONOXIDE) DETECTOR
			CEILING MOUNTED EMERGENCY LIGHT
			WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND	
	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT



DEVELOPER:
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	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

91ST FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L3/MECHANICAL)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

SCALE: 1/8" = 1'-0"

DWG No: A-066.00

DOB PAGE No: 104 of 590

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 92ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MEP	F-2	1,654 SF	300 SF	6
TERRACE STORAGE	R-2	56 SF	300 SF	1
KITCHEN	R-2	126 SF	30 SF	5
PENTHOUSE	R-2	1,056 SF	30 SF	36
Grand total				48

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-982

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (48)
STAIR - A	44"	0.3	146	24
STAIR - B	44"	0.3	146	24

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (48)
STAIR - A - DOOR	34"	0.2	170	24
STAIR - B - DOOR	34"	0.2	170	24

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.71"	28	51.69"
STAIR - B	9.5"	7.71"	28	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
F-2	250'	100'	50'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (N)
SUITE A DOOR 1	36"
SUITE A DOOR 2	36"

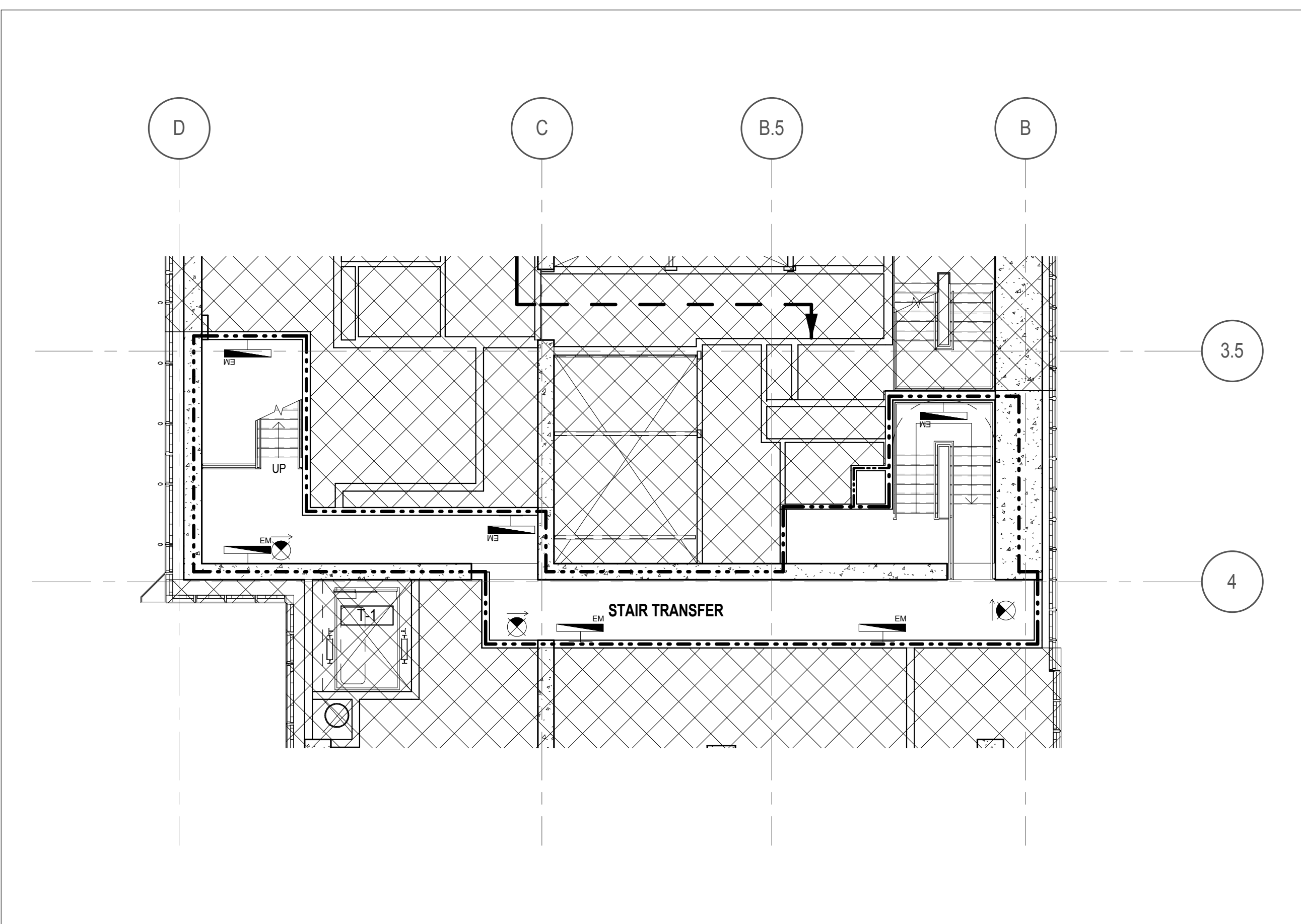
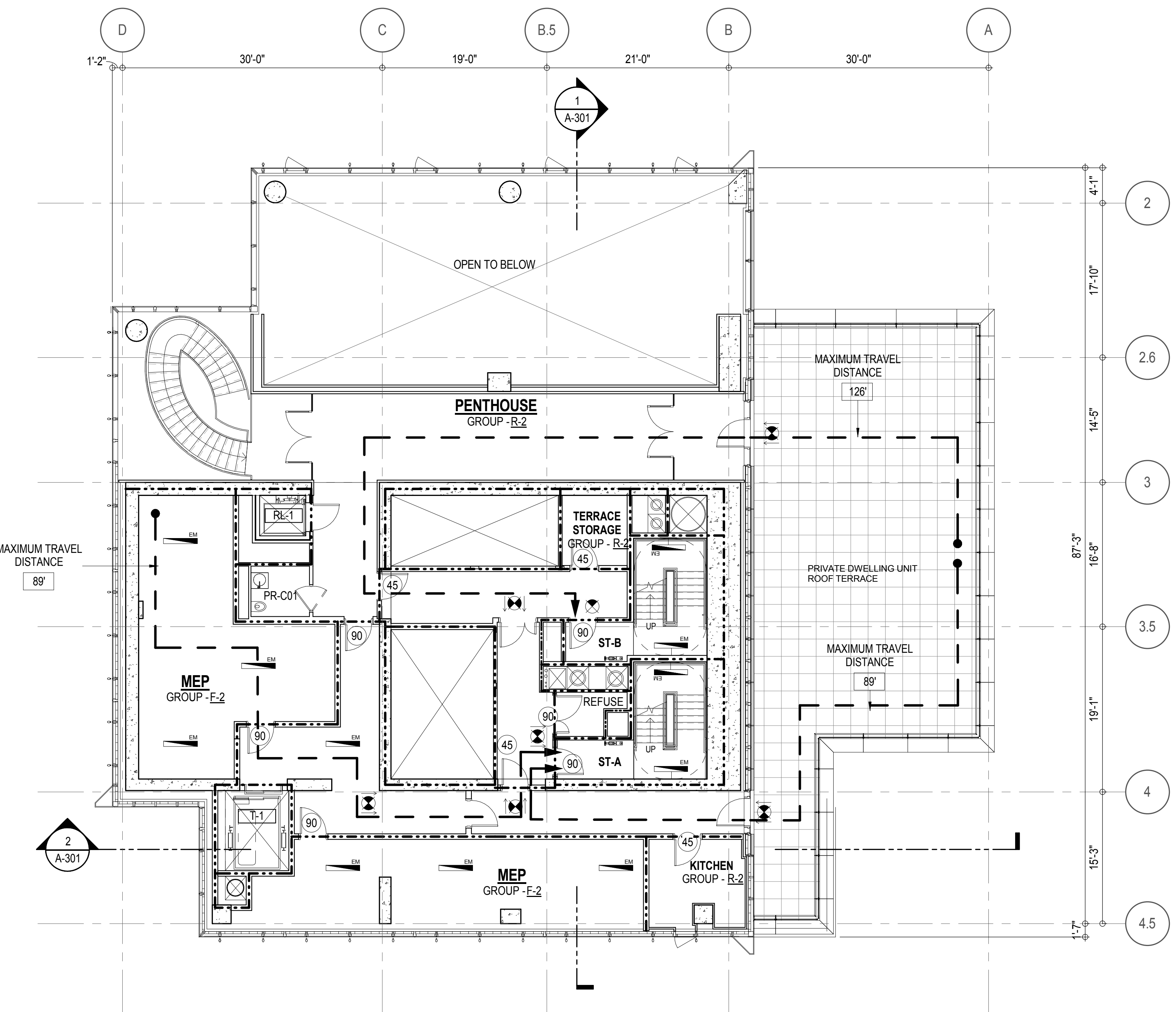
MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	
50'	

LIGHT & AIR CALCULATION 92ND FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>			AIR REQUIREMENT <BC-1203>				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings	% of Natural Air	
PENTHOUSE L4									
KITCHEN	116 SF	10%	2.0	67.36 SF	58.29%	5%	1	14.18 SF	12.27%

*AREA OF VENTILATING OPENING / UNIT: 14.18 SF

**AREA OF NATURAL LIGHT SOURCES: 33.68 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

* F-2 IS ACCESSORY TO RESIDENTIAL R-2

3 92ND FLOOR INTERMEDIATE
A-301
1/8" = 1'-0"1 92ND FLOOR
A-301
1/8" = 1'-0"

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

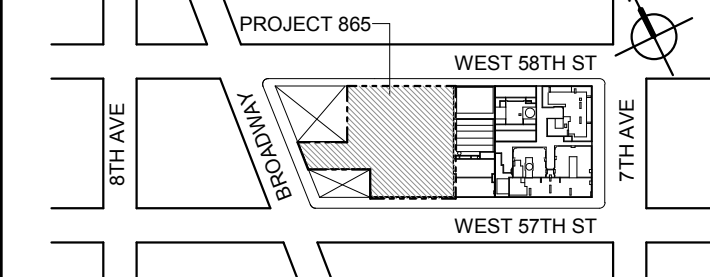
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH

TRUE NORTH

DEVELOPER

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
2	D.O.B. SUBMISSION	05 DEC 14
1	CD PROGRESS ISSUE 1	15 OCT 14
4	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

**92ND AND 92ND INTERMEDIATE
FLOOR PLANS
BUILDING CODE NOTES
(PENTHOUSE L4/MECHANICAL)**

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV:

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-067.00

DOB PAGE No: 108 of 590

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 93RD FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	2,851 SF	300 SF	10
EMR	F-2	878 SF	300 SF	3
CONTROLLER / TRANSFORMER ROOM	F-2	284 SF	300 SF	1
Grand total				14

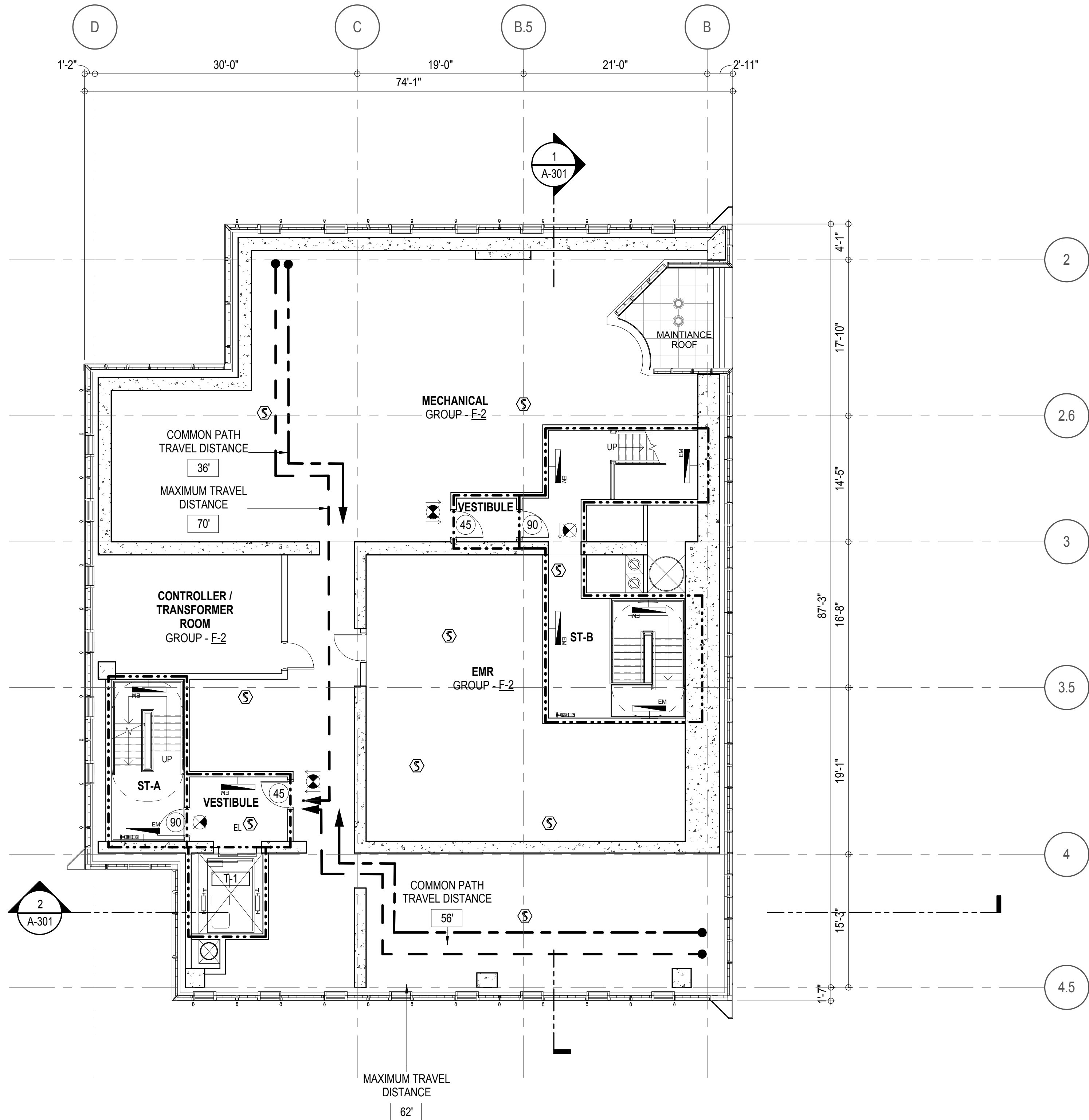
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (14)
STAIR - A	44"	0.3	146	7
STAIR - B	44"	0.3	146	7

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (14)
STAIR - A - DOOR	34"	0.2	170	7
STAIR - B - DOOR	34"	0.2	170	7

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	59.73"
STAIR - B	9.5"	7.45"	29	54.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN		SPRINKLER RISER
			SIAMESE CONNECTION

	SMOKE DETECTOR		SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT		WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)		

KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

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3	CD PROGRESS ISSUE 2	19 DEC 14
	D.O.B. SUBMISSION	27 APR 15

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

93RD FLOOR PLAN
BUILDING CODE NOTES (EMR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
DWG No:	SCALE: 1/8" = 1'-0"	
	A-068.00	
DOB EMPLOYEE STAMP:	DOB PAGE No: 108 of 590	DOB B-SCAN:

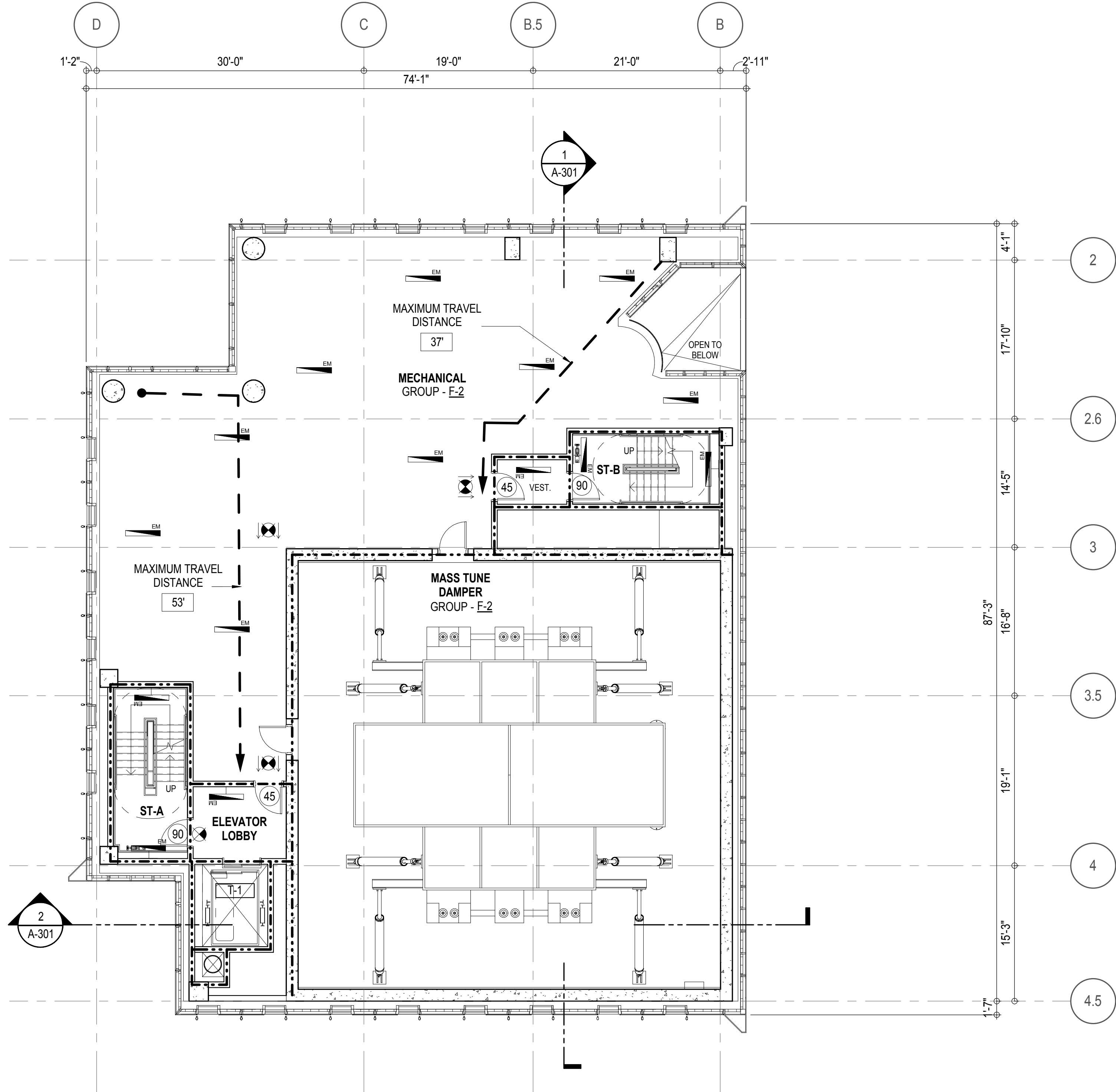
OCCUPANT LOADS SUMMARY 94TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2 (300)	2,296 SF	300 SF	8
MASS TUNE DAMPER	F-2 (300)	2,282 SF	300 SF	8
				16

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (16)
STAIR - A	44"	0.3	146	8
STAIR - B	44"	0.3	146	8

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (16)
STAIR - A - DOOR	34"	0.2	170	8
STAIR - B - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	53.76"
STAIR - B	9.5"	7.68"	25	53.76"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



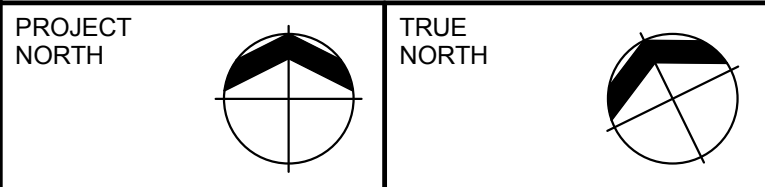
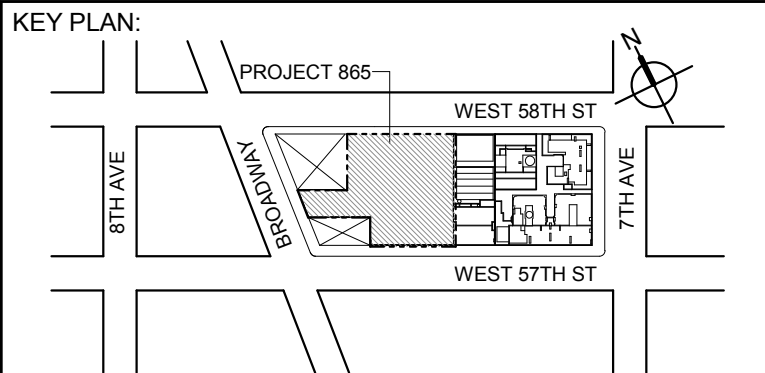
EGRESS AND FIRE RATING LEGEND

----	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
.....	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

----	COMMON TRAVEL DISTANCE
.....	DEAD END
----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
			SIAMESE CONNECTION		DOOR RATING (MINUTES)



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CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
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DOB SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
94TH FLOOR PLAN
BUILDING CODE NOTES (DAMPER)

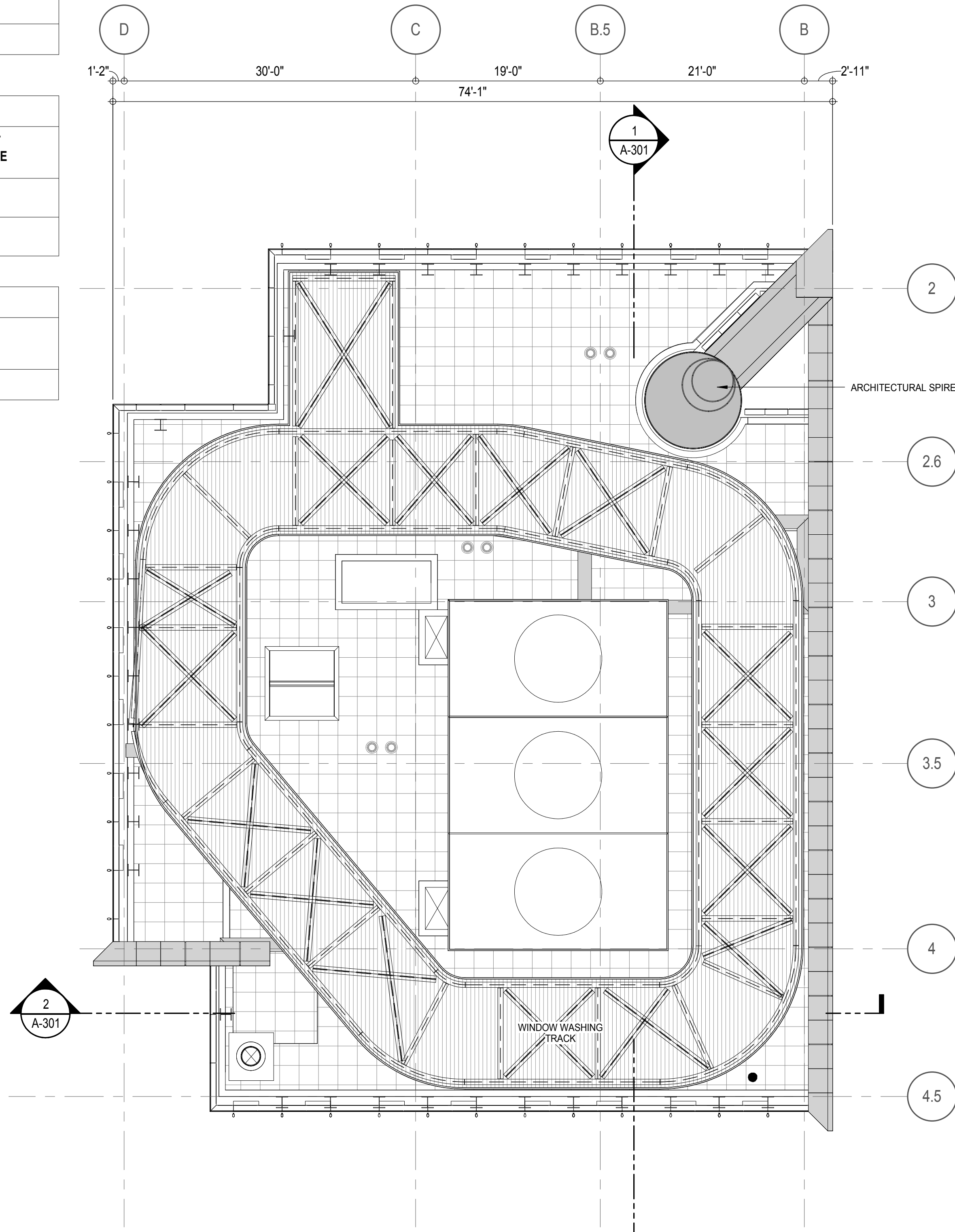
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	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
	SCALE: 1/8" = 1'-0"	
DWG No:	A-069.00	
DOB EMPLOYEE STAMP:	DOB PAGE No: 107 of 590	DOB B-SCAN:

EXIT STAIR SUMMARY - BC TABLE 1005.1				
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			TOTAL (292)	TOTAL (17)
STAIR - A	44"	0.3	146	8
STAIR - B	44"	0.3	146	9

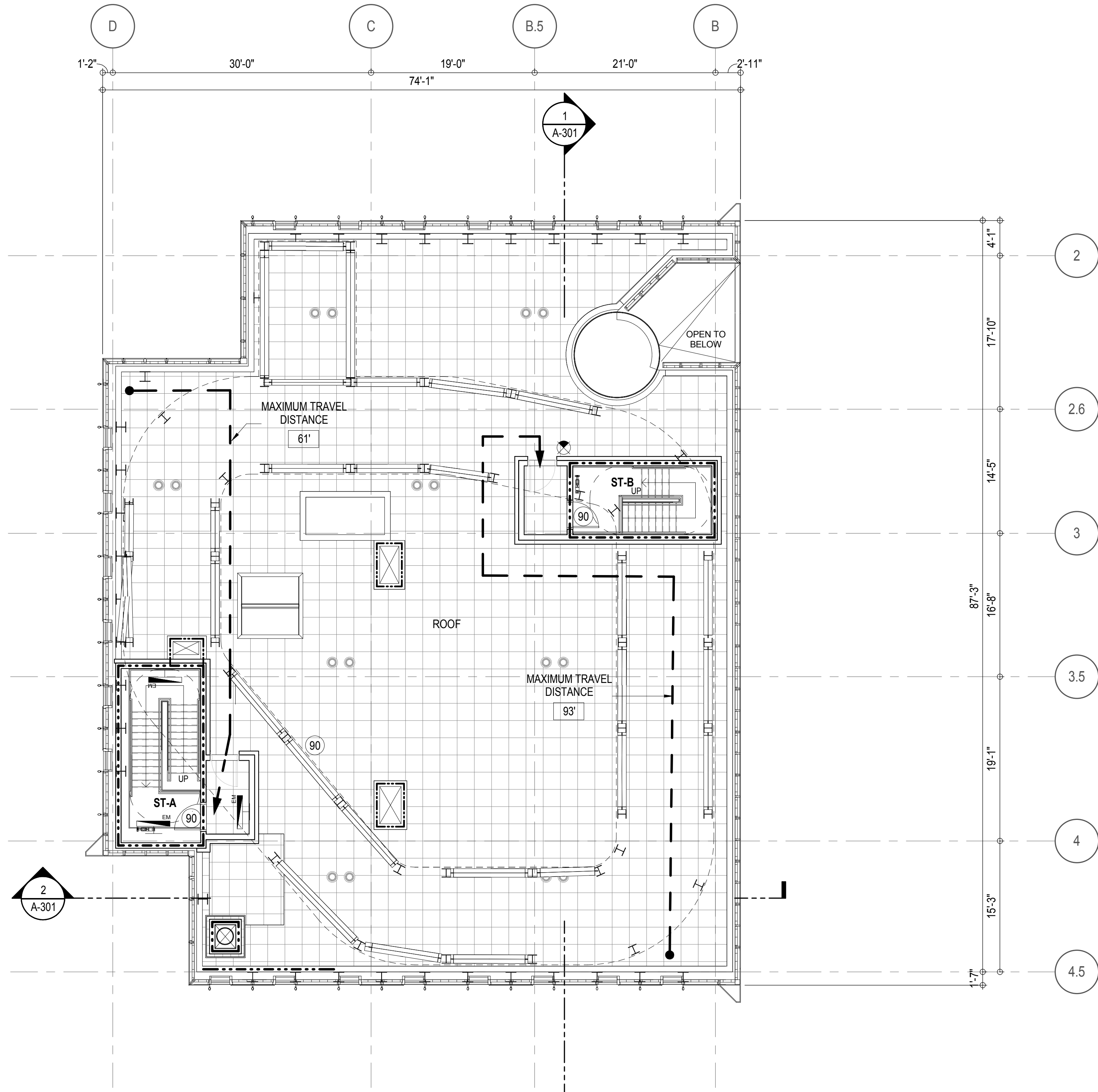
EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (17)
STAIR - A - DOOR	34"	0.2	170	8
STAIR - B - DOOR	34"	0.2	170	9

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.65"	68	98.80"
STAIR - B	9.5"	7.65"	68	107.06"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



2 ROOF TOP STRUCTURES PLAN
A-301
1/8" = 1'-0"



1 96TH FLOOR ROOF PLAN
A-301
1/8" = 1'-0"

EGRESS AND FIRE RATING LEGEND	
---	ONE HOUR RATED PARTITION
----	TWO HOUR RATED PARTITION
-----	THREE HOUR RATED PARTITION
-----	FOUR HOUR RATED PARTITION
-----	NON RATED SMOKE SEPARATION

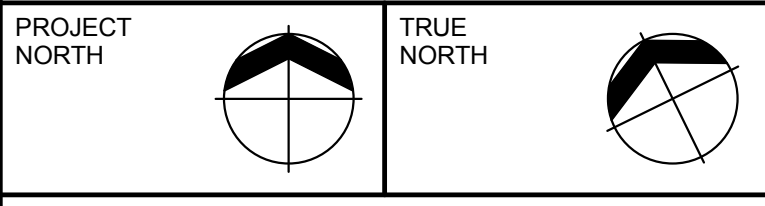
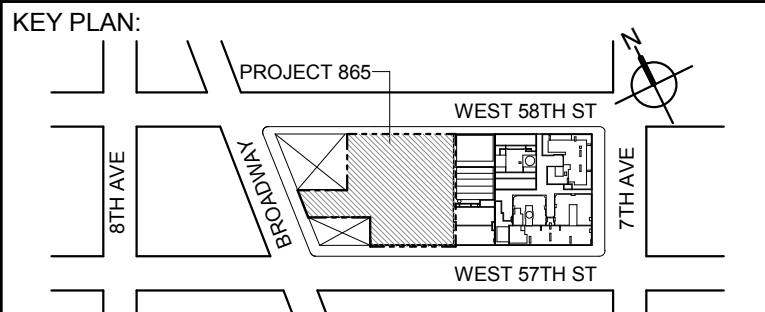
---	COMMON TRAVEL DISTANCE
----	DEAD END
-----	MAXIMUM TRAVEL DISTANCE
-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN

	FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION

	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



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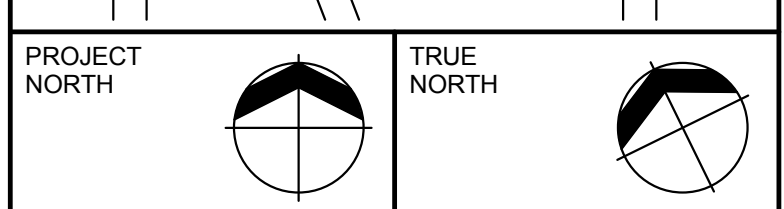
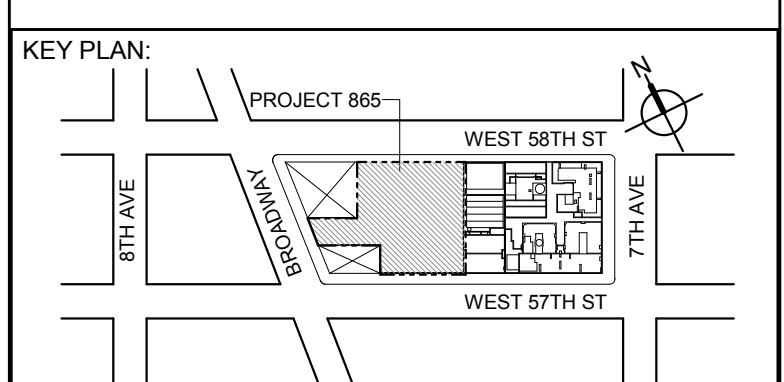
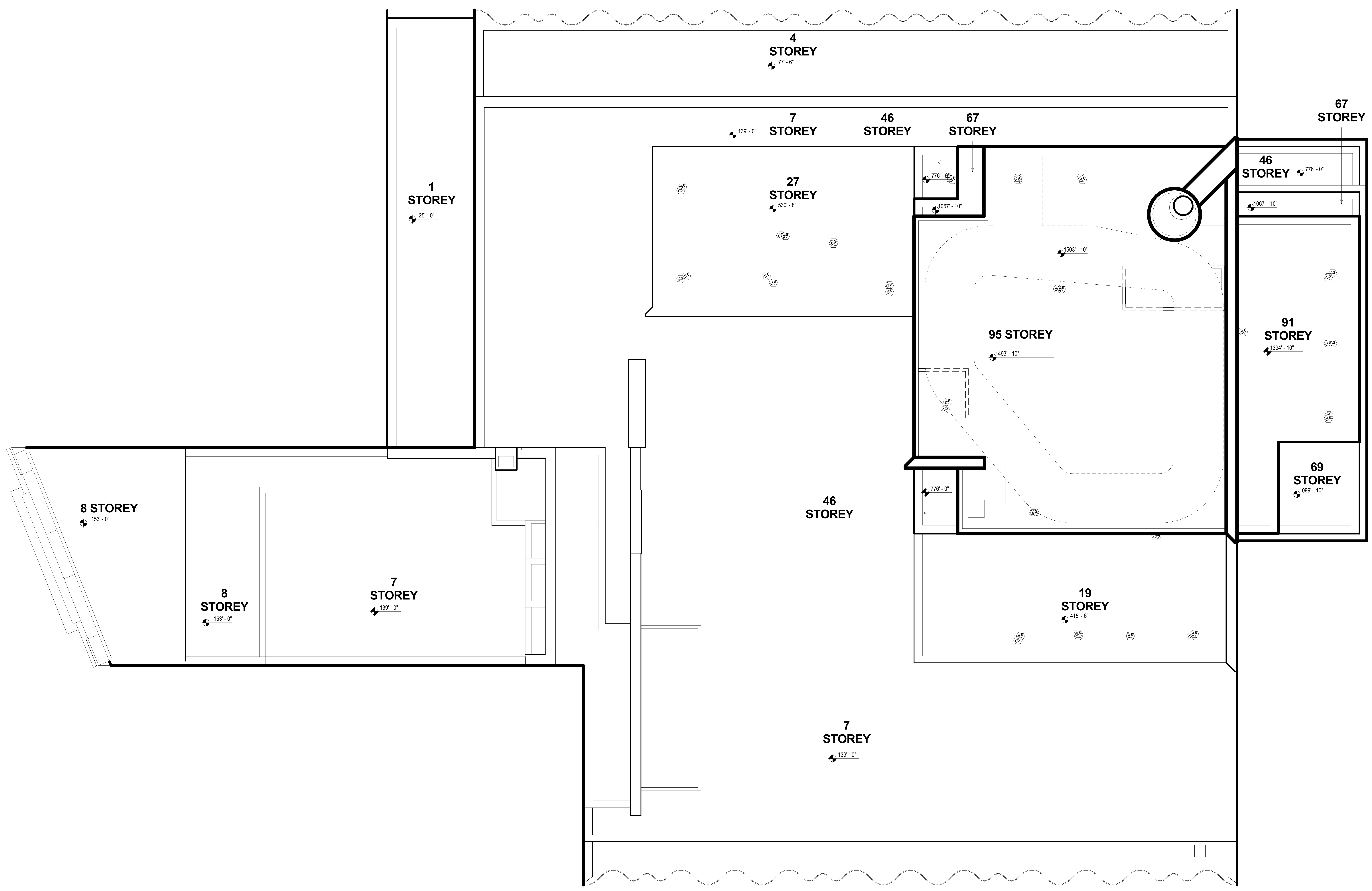
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PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
96TH FLOOR AND ROOF PLAN
BUILDING CODE NOTES (ROOF)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	
	SCALE: 1/8" = 1'-0"	
DWG No:		
	A-071.00	
DOB EMPLOYEE STAMP:	DOB PAGE No: 108 of 500	DOB B-SCAN:



DEVELOPER:
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 111 WEST MONROE STREET SUITE 2300
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CONSULTANT: **A A T**

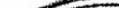
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

OVERALL ROOF PLAN

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DRAWN: Author	REV:

	CHK:	Checker

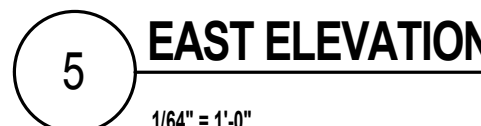
SCALE: 1/8" = 1'-0"


 DWSG No. **A-072**

STATE OF NEW YORK
No. 028881
A-072

DOB PAGE No: 110 of 500	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

[illegible]



BUILDING ELEMENT DESIGN INTENT ASSEMBLIES				
ID	CONSTRUCTION MATERIAL	U-VALUE	SMC	ASSEMBLY DETAILS
A	CEILING (CONCRETE SLAB) (G.U.)	0.37	N/A	NAZKONE W-11, G-01, G-02, G-03, W-16, W-17, W-18, W-19, W-20, W-21, W-31 (GL-05)
B	GLAZING SPANDREL (G.U.)	0.50	N/A	NAZKONE W-11A, G-2, GL-06, W-16, W-18 (G-10A)
C	ARCHITECTURAL METAL PANEL (INSULATED)	0.05	N/A	NAZKONE W-C, W-D, W-37
D	POODUM METAL PANEL (INSULATED)	0.07	N/A	NAZKONE W-23, W-33, W-34
E	WALL FLOOR COVER (NON-ACTIVE)	0.16	N/A	NAZKONE W-37
F	FLOOR COVER (ACTIVE)	0.10	N/A	MECHANICAL FLOOR
G	RETAIL GLAZING WINDOW (G.U.)	0.31	0.63	NAZKONE W-22, (GL-51) W-31 (GL-54)
H	RETAIL GLAZING WINDOW (STORE FRONT)	0.90	0.90	NAZKONE W-22, W-32 (GL-56)
J1	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35	N/A	NAZKONE W-F, CMU WALL WITH 4" INSULATION
J2	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35	N/A	NAZKONE W-F, CMU WALL WITH INSULATION 17"
J3	ADJACENT BUILDING WALL AREA (LOT LINE)	0.43	N/A	NAZKONE W-F, SOLID CONCRETE WALL 24"
J4	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35	N/A	NAZKONE W-F, SOLID CONCRETE WALL 24"
J5	ADJACENT BUILDING WALL AREA (LOT LINE)	0.27	N/A	NAZKONE W-F, SOLID CONCRETE WALL 24"
J6	ADJACENT BUILDING WALL AREA (LOT LINE)	0.29	N/A	NAZKONE W-F, SOLID CONCRETE WALL 24"
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0.09	N/A	NAZKONE W-F, SOLID CONCRETE WALL 52"
K	LANDMARK RECONSTRUCTION WALL AREA	0.08	N/A	WALL-W-13, 4" BRICK, 2" INSULATION, 8" CMU GROUTED
L	LANDMARK RECONSTRUCTION WINDOW AREA	0.90	0.90	SINGLE GLAZED UNIT
M	LANDMARK WALL AREA	0.29	N/A	NAZKONE W-13, 4" STONE AND BRICK ON 10" CMU GROUTED (EXISTING)
N	LANDMARK WINDOW AREA	0.90	0.90	SINGLE GLAZED UNIT
P	BELOW GRADE WALLS (10% BELOW GRADE)	N/A	N/A	NAZKONE CONCRETE WALL THICKNESS VARIES (MIN. 12")
R	ROOF (FLAT R-17 & R-40)	0.05	N/A	NAZKONE INSULATION COMPLETELY ABOVE DECK
S	SOFFIT (INSULATED)	0.05	N/A	NAZKONE INSULATION ABOVE METAL PANEL
T	SLAB ON GRADE (UNHEATED)	N/A	N/A	CONCRETE SLAB

KEY PLAN:

PROJECT 805

WEST 56TH ST


WEST 57TH ST

8TH AVE

BROADWAY

7TH AVE

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

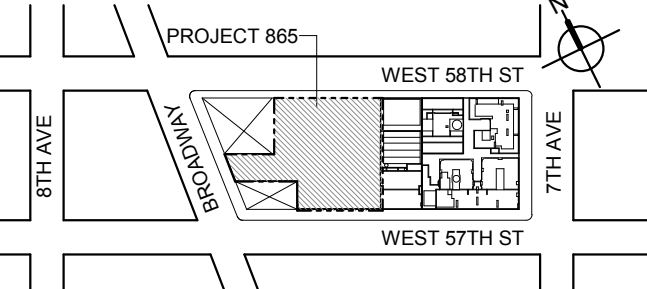
<p>DOB SUBMISSION</p> <p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p> <p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p> <p>CONSULTANT:</p> <p> AAI ARCHITECTS, P.C.</p>	
<p>PROJECT:</p> <p><u>217 WEST 57TH STREET</u></p> <p>NEW YORK, NY</p>	

	SEAL & SIGNATURE:	DATE: 05 DEC 14
	PROJECT No: 1216-00	REV:
	DRAWN: Author	
	CHK: Checker	
	SCALE: As indicated	
DWG No:		
<h1 style="text-align: center;">A-090.00</h1>		
DWP PAGE No: 111 of 500		

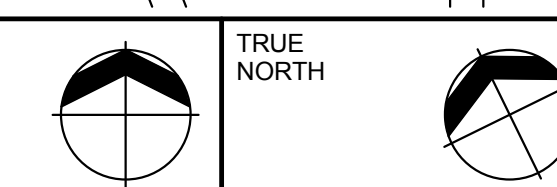
DOB EMPLOYEE STAMP:		DOB B-SCAN:
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GROUND FLOOR
(OUTDOORS - NORTH)RT-2
558 SF
SOFFIT
558 SF4
STOREY
RT-1
3,476 SF46
STOREY
RT-1
120 SF67
STOREY
RT-1
136 SF46
STOREY
RT-1
249 SF67
STOREY
RT-1
228 SF1
STOREY
RT-1
2,008 SF27
STOREY
RT-1
2,342 SF95
STOREY
RT-1
6,175 SF91
STOREY
RT-1
1,655 SF69
STOREY
RT-1
389 SFSOFFIT (US CANTILEVER)
2,587 SF8
STOREY
RT-1
1,565 SF8
STOREY
RT-1
2,151 SF7
STOREY
RT-1
2,087 SF8
STOREY
RT-2
1,085 SF46
STOREY
RT-1
150 SF19
STOREY
RT-1
2,198 SF7
STOREY
RT-1
15,240 SF6
STOREY
(AIR WELL)
RT-2
1,121 SF5
STOREY
RT-2
1,500 SFOPEN
GRATING
520 SFGROUND FLOOR
(OUTDOORS - WEST)RT-2
58 SF
SOFFIT
58 SFGROUND FLOOR
(OUTDOORS - SOUTH)RT-2
1,410 SF
SOFFIT
1,410 SF

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
4011 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 48th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444CODE CONSULTANTS:
Construction Consulting Associates
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TEL: 212 385 1816 FAX: 212 385 1911CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
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TEL: 212 757 5659 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
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TEL: 212 274 9468 FAX: 646 274 9380LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION: DATE:

D.O.B. SUBMISSION 27 APR 15

DOB SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ENERGY CONSERVATION CODE -
ROOF AREAS

SEAL & SIGNATURE: DATE: 18 FEB 15

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

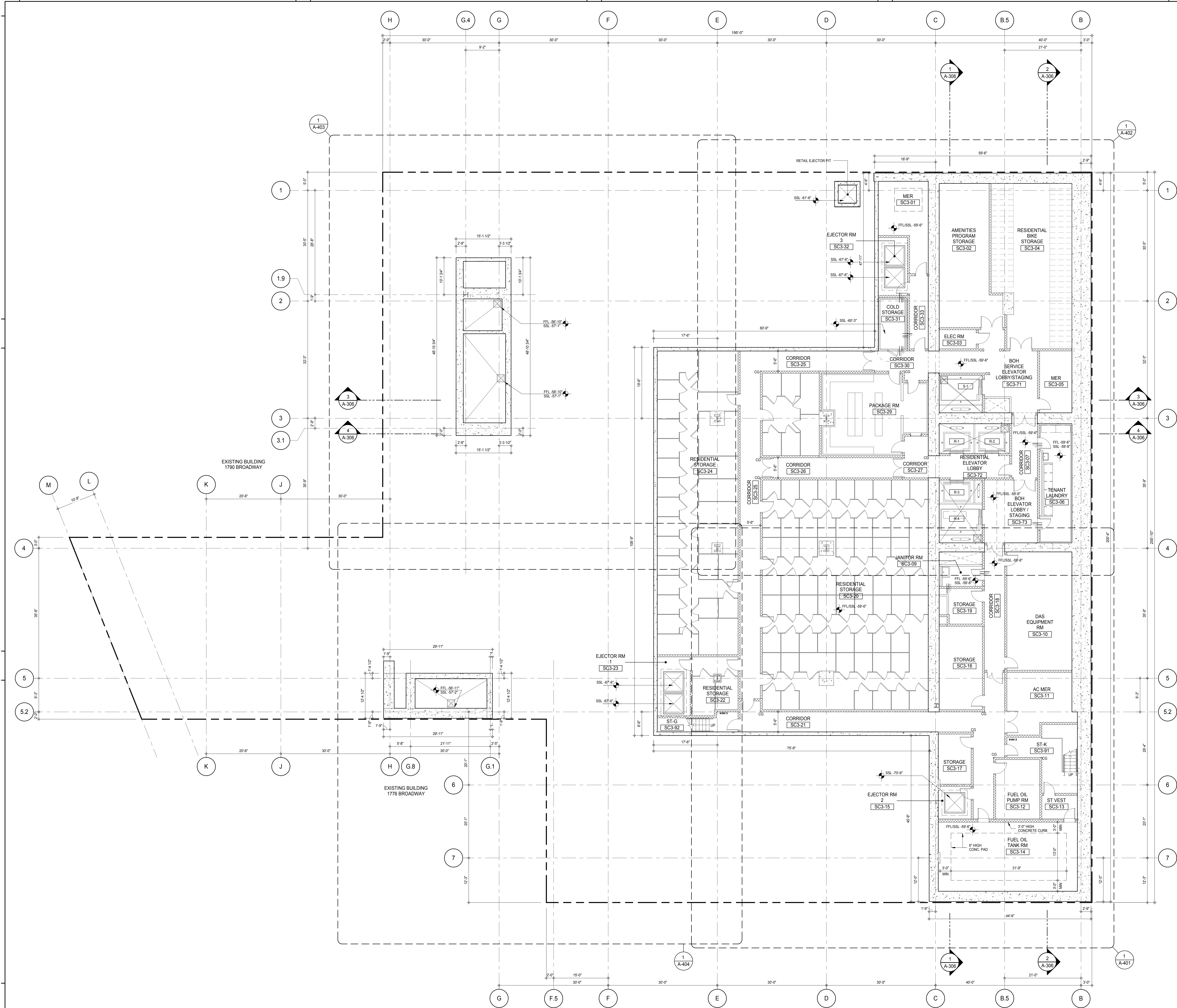
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DWG No:

A-091.00

DOB PAGE No: 112 of 590

DOB EMPLOYEE STAMP: DOB B-SCAN:



KEY PLAN

PROJECT NO. 1805-AA17663

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **ADRIAN SMITH + GORDON GILL ARCHITECTURE**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0' 4' 8' 16' 0"

DOB SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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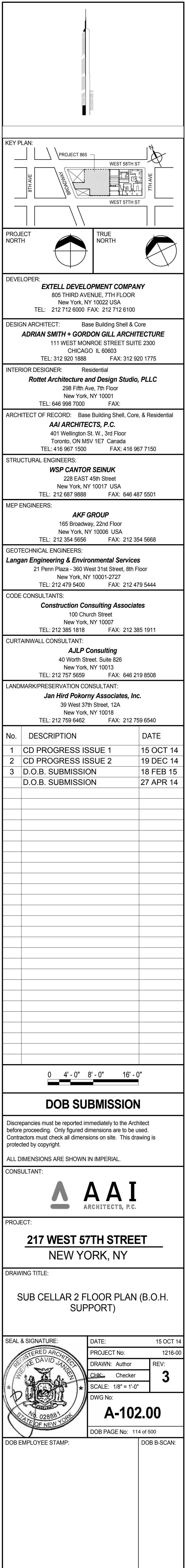
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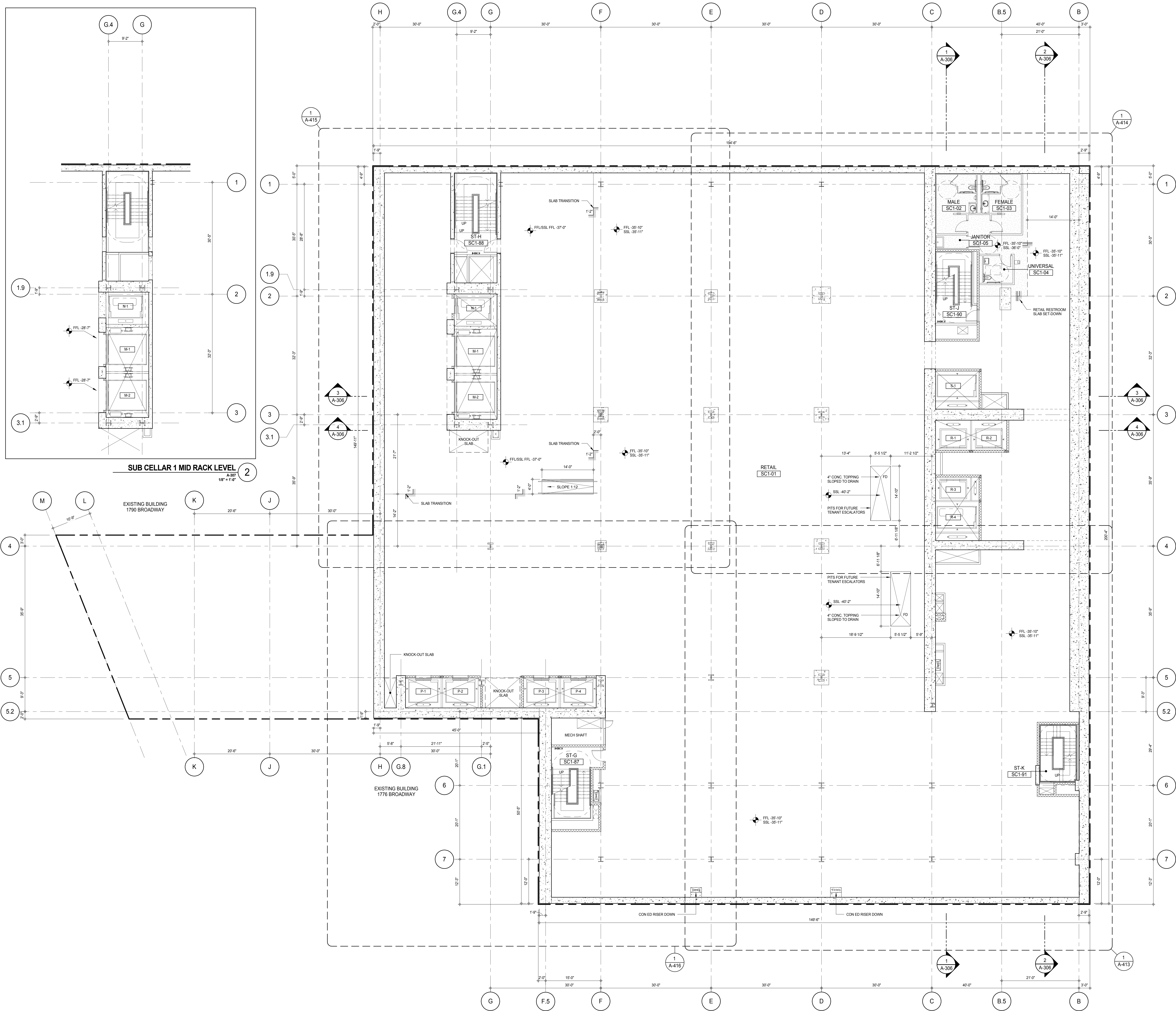
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **SUB CELLAR 3 FLOOR PLAN (B.O.H. SUPPORT)**

SEAL & SIGNATURE: **DAVID L. JONES**
REGISTERED ARCHITECT
NEW YORK, NY
NO. 028861
EXPIRES 12/31/15

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-101.00**
DOB PAGE No: 113 of 590
DOB 5-SCAN:





KEY PLAN

TRUE NORTH

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 238 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Westchester St., 3rd Floor
 Toronto, ON M5V 1E7 Canada
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 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
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 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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 21 Penn Plaza - 300 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

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 100 Church Street
 New York, NY 10007
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AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

SUB CELLAR 1 FLOOR PLAN (RETAIL)

SEAL & SIGNATURE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

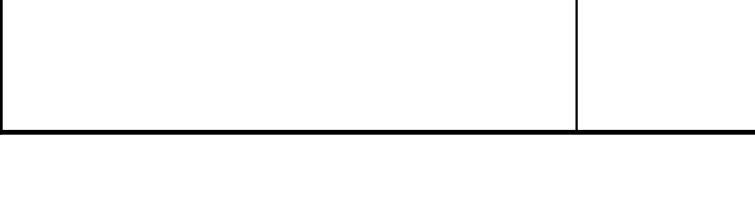
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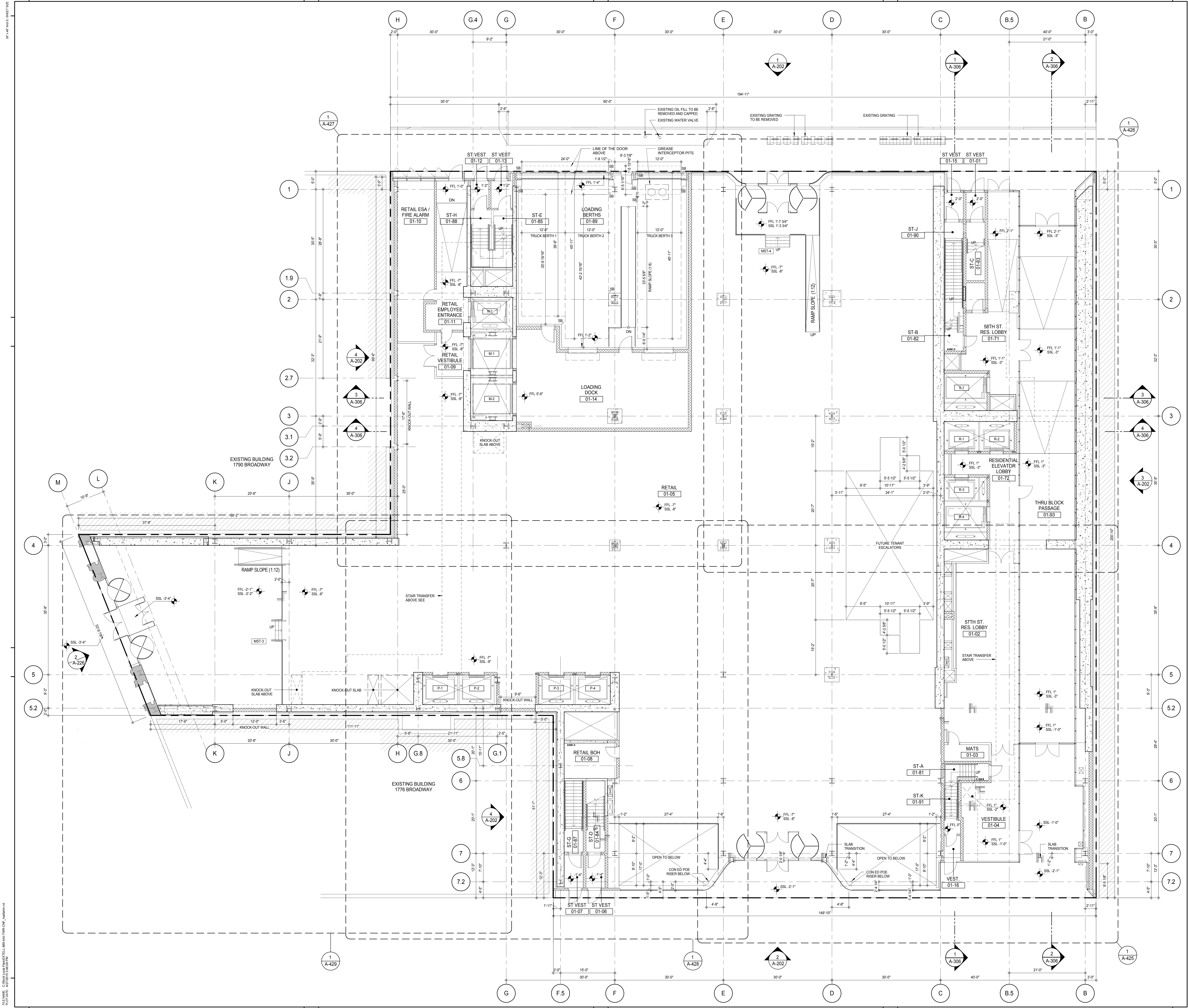
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DWG No: **A-103.00**

DOB PAGE No: 116 of 593

DOB 5-SCAN:





KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westinghouse St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR PLAN (LOBBY)

SEAL & SIGNATURE

DATE:

15 OCT 14

PROJECT No:

1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

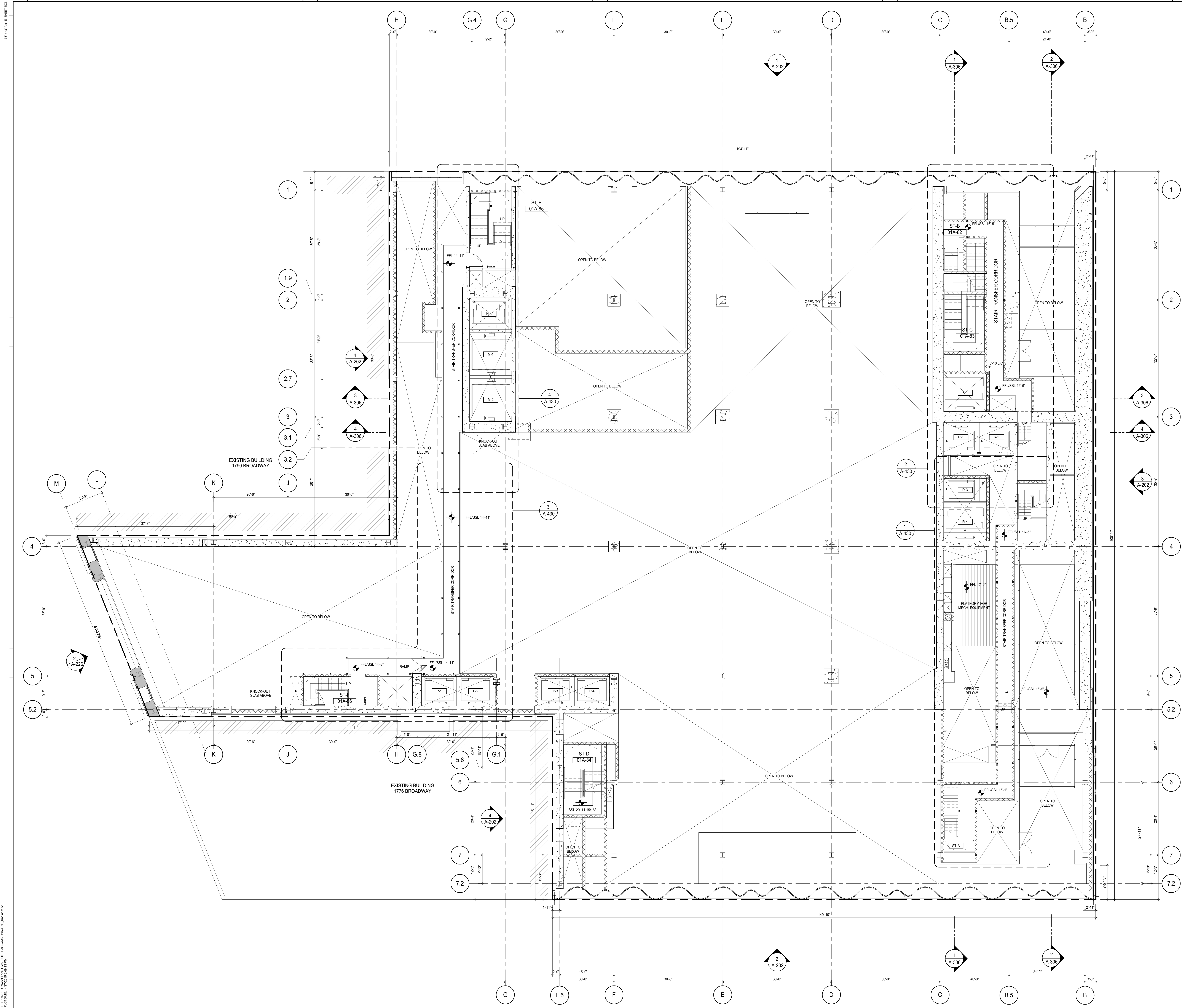
DWG No:

A-105.00

DOB PAGE No: 117 of 593

DOB EMPLOYEE STAMP:

DOB 5-SCAN:



KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
 288 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10008 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 51st Street, 8th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0' 4' 8' 16' 0"

DOB SUBMISSION

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CONSULTANT:

AAI
 ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR PLAN
INTERMEDIATE (STAIR TRANSFER)

SEAL & SIGNATURE

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

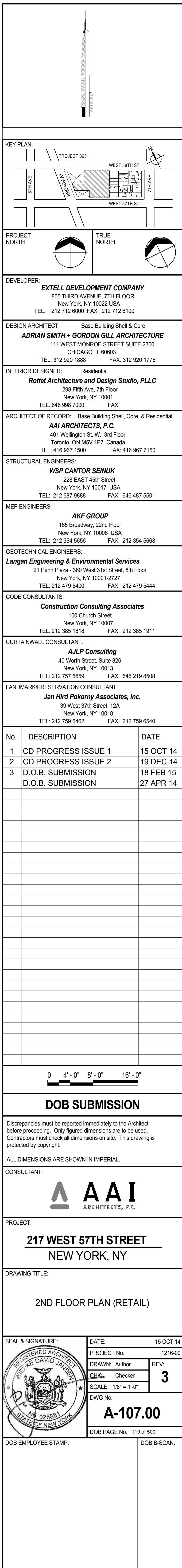
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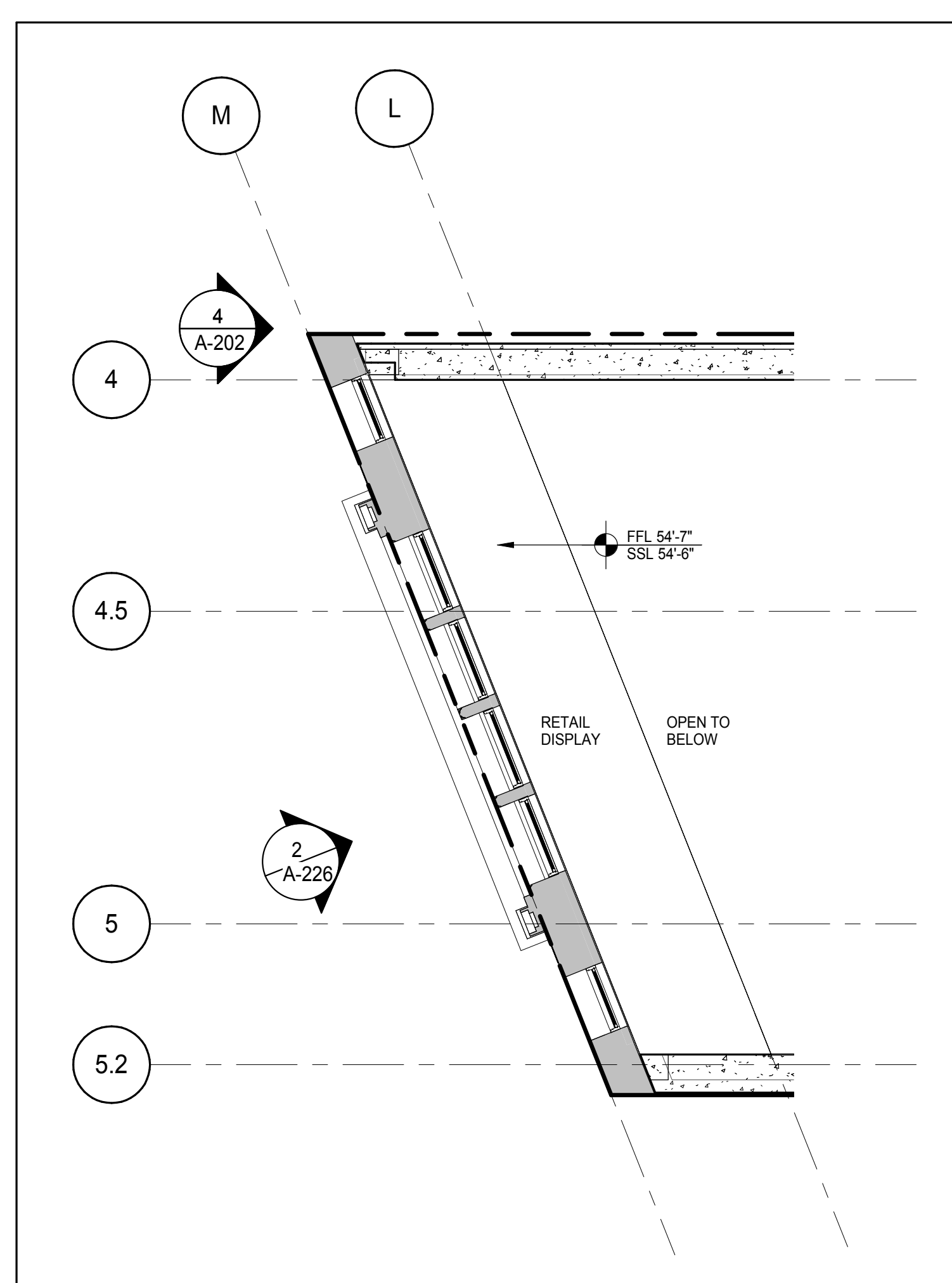
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DOB PAGE No: 118 of 500

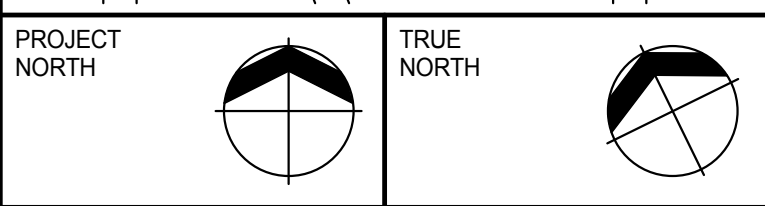
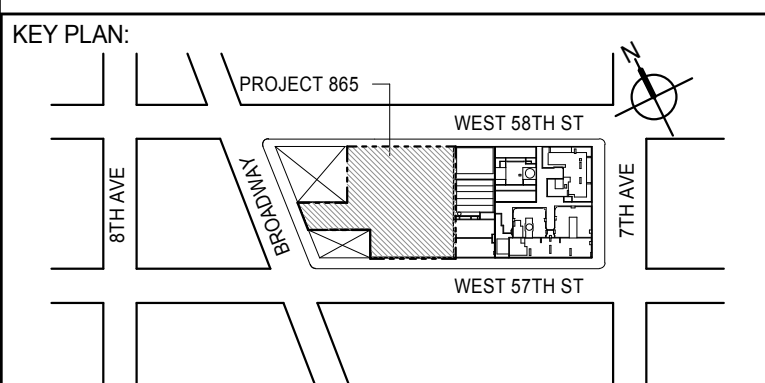
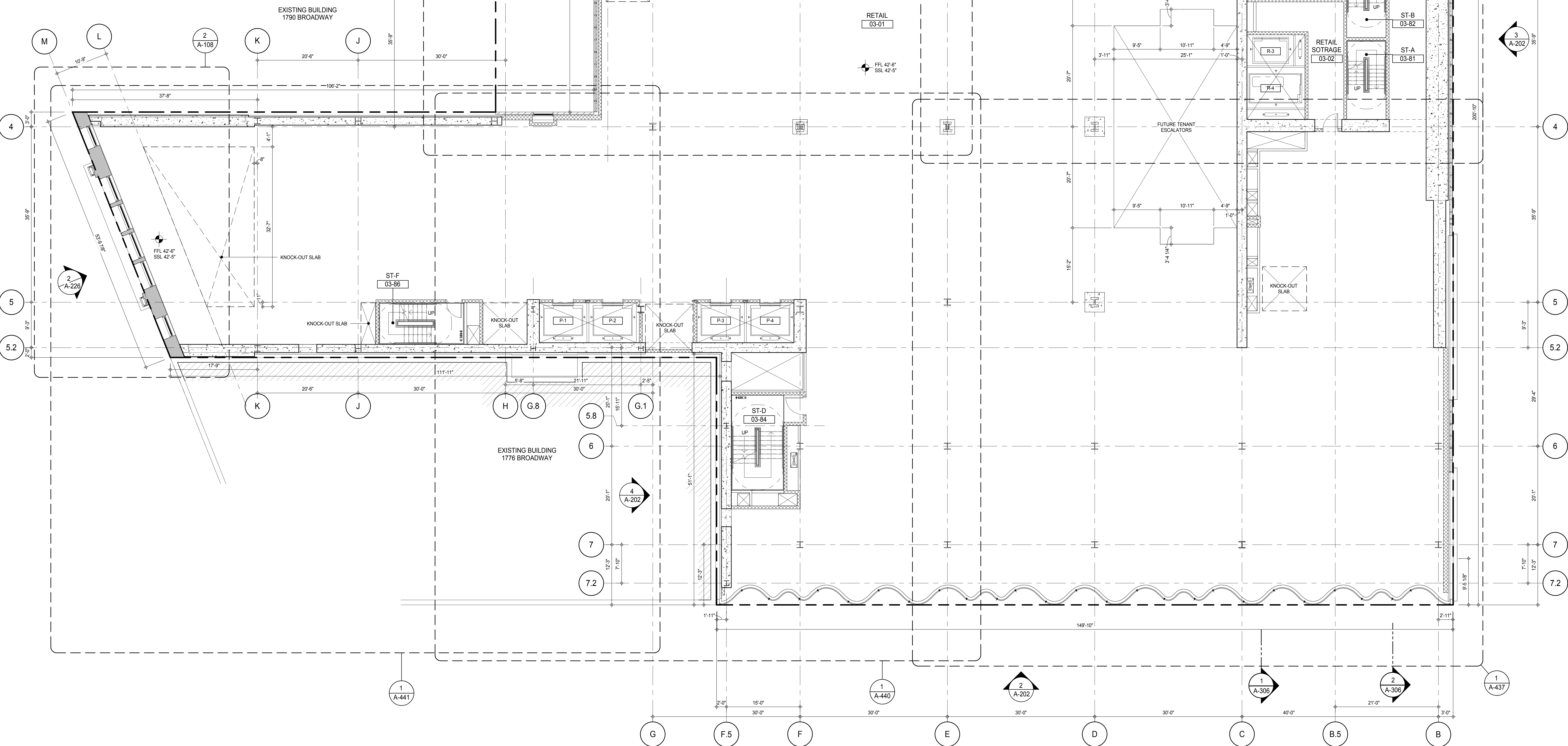
DOB EMPLOYEE STAMP:

DOB 5-SCAN:





PART PLAN - 3RD FLOOR AT UPPER RETAIL DISPLAY WINDOW
A-108
18'-0" x 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5555 FAX: 212 354 5568

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



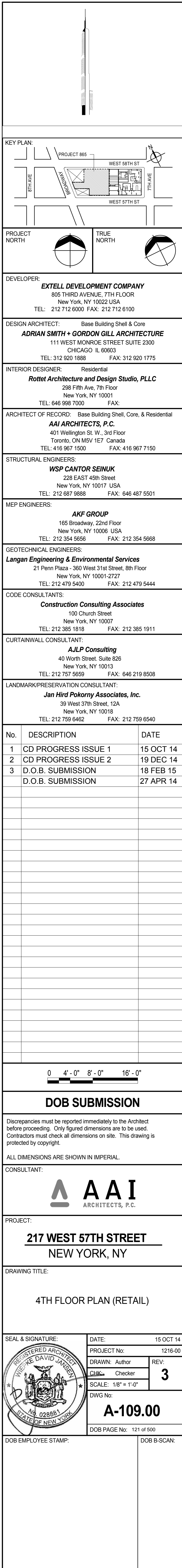
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

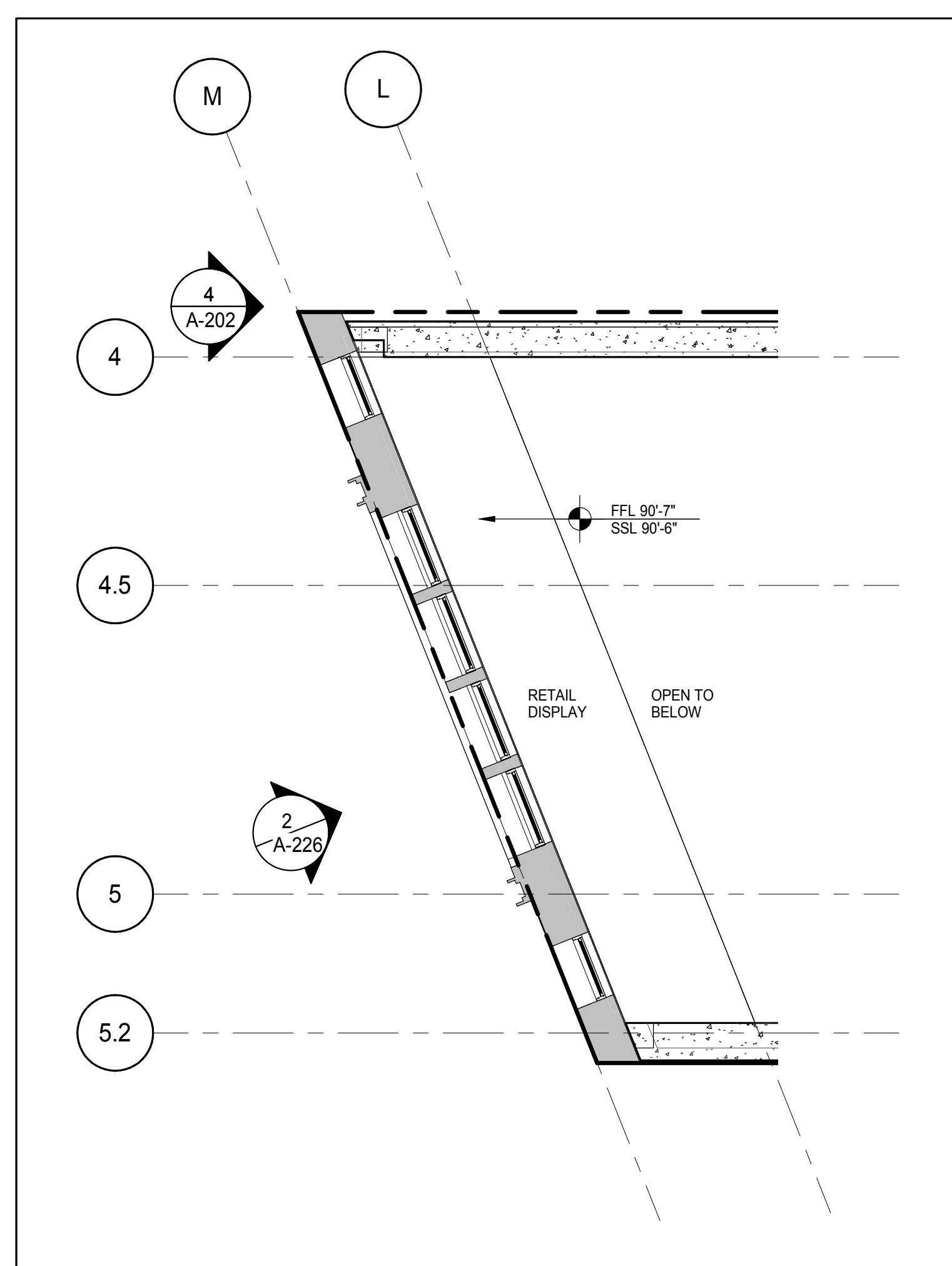
DRAWING TITLE:

3RD FLOOR PLAN (RETAIL)

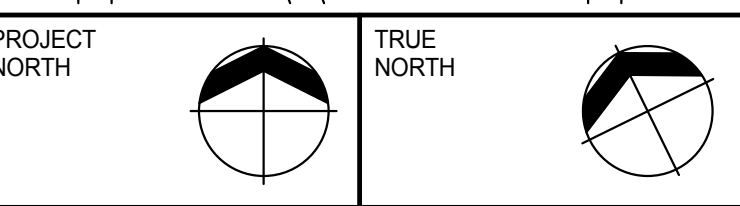
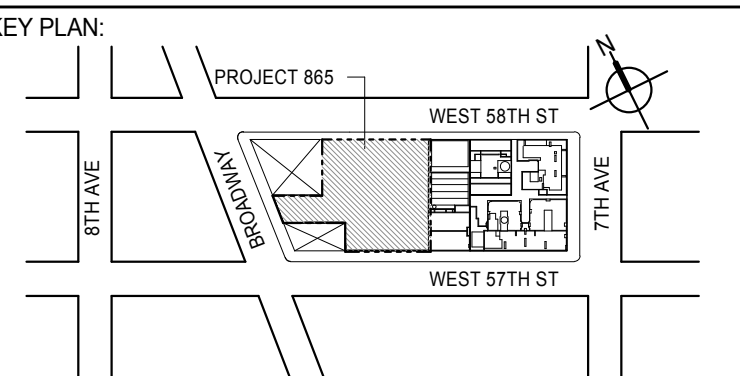
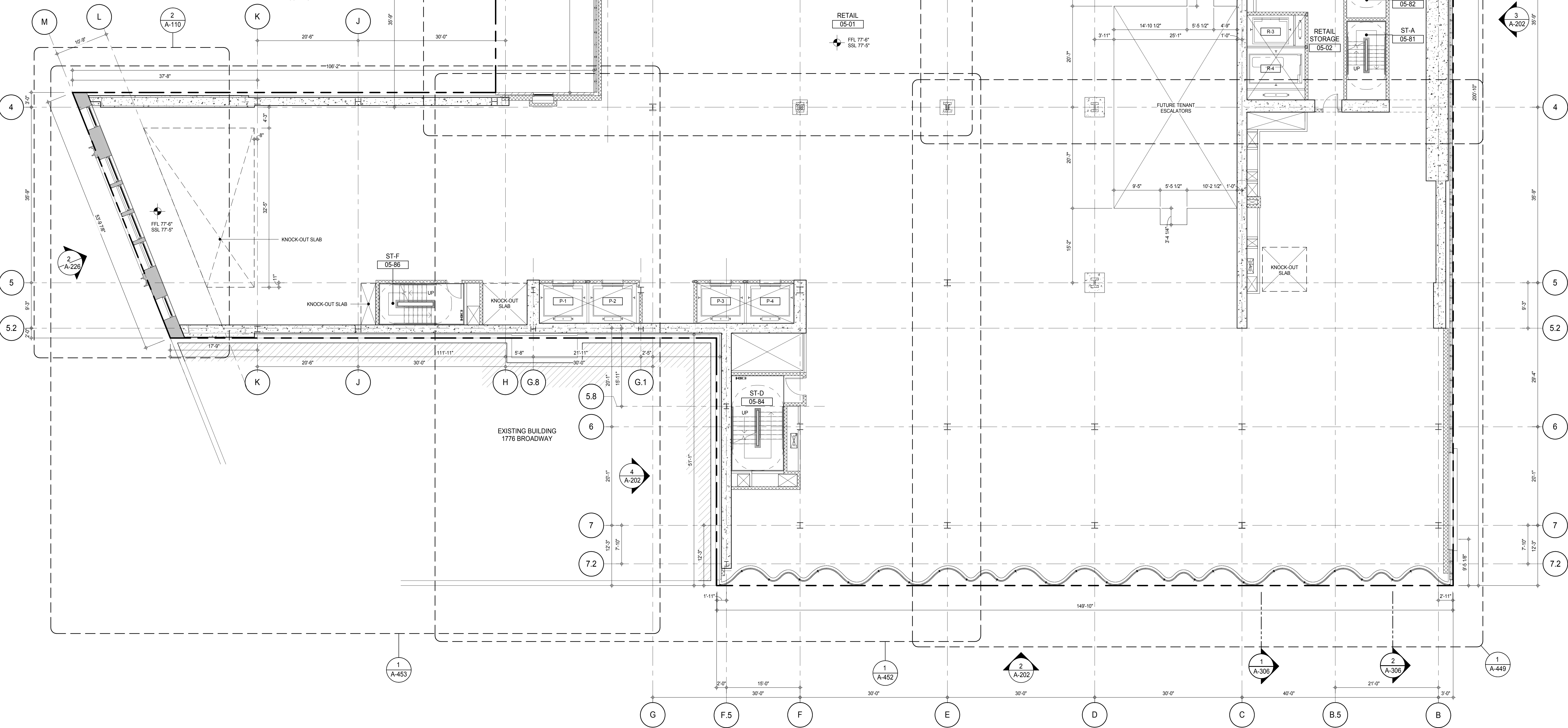
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PROJECT No: 1216-00	REV: 3
DRAWN: Author	CHECKED: Checker
SCALE: 1/8" = 1'-0"	DWG No: A-108.00
DOB PAGE No: 108 of 500	DOB 5-SCAN:

DOB EMPLOYEE STAMP:





PART PLAN - 5TH FLOOR - AT UPPER RETAIL DISPLAY WINDOW
A-110
1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 West 57th St, 3rd Floor
New York, NY 10019
TEL: 415 967 1500 FAX: 415 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 51st Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION


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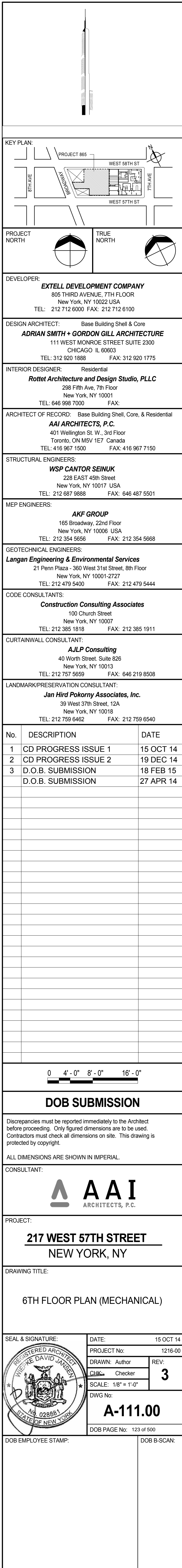
CONSULTANT:
AAI
ARCHITECTS, P.C.

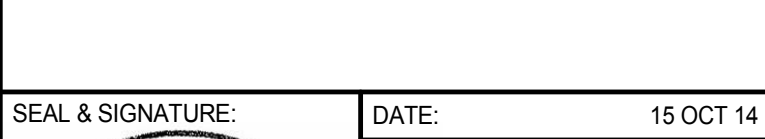
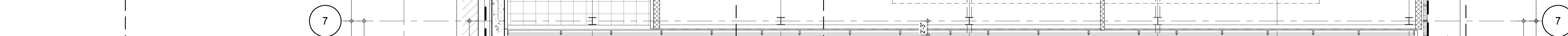
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

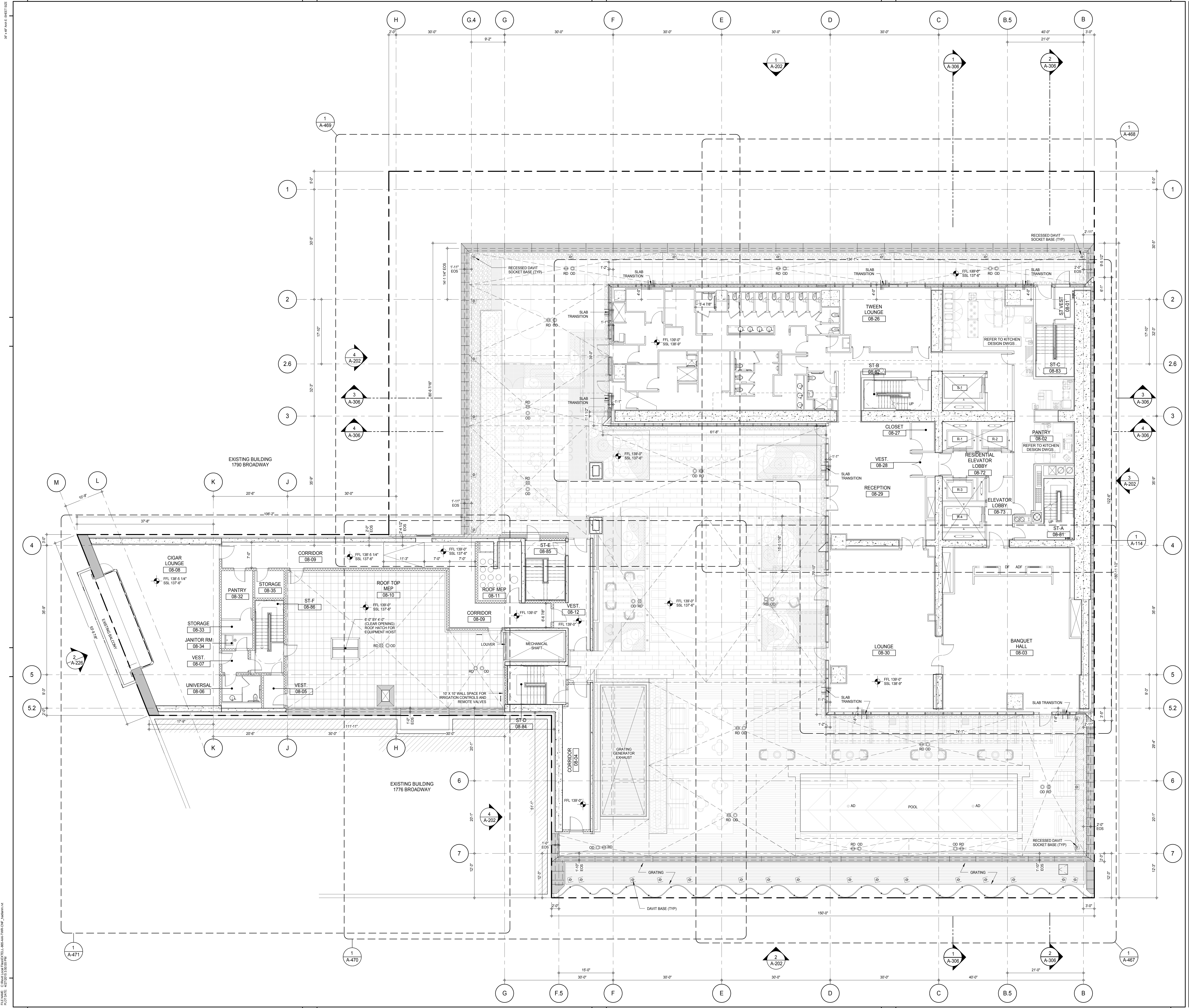
DRAWING TITLE:
5TH FLOOR PLAN (RETAIL)

SEAL & SIGNATURE:	DATE: 15 OCT 14	
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	DRAWN: Author	REV: 3
	CHECK: Checker	
	SCALE: 1/8" = 1'-0"	
	DWG No: A-110.00	

DOB EMPLOYEE STAMP: DOB 5-SCAN:







KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 West 57th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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WSP CANTOR SEINUK
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MEP ENGINEERS:

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165 Broadway, 22nd Floor
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21 Penn Plaza - 360 West 51st Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

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TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 4' 0" 8' 0" 16' 0"

DOB SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

8TH FLOOR PLAN (RESIDENTIAL AMENITIES)

SEAL & SIGNATURE

DATE:

15 OCT 14

PROJECT No:

1216-00

DRAWN: Author

CHECKED: Checker

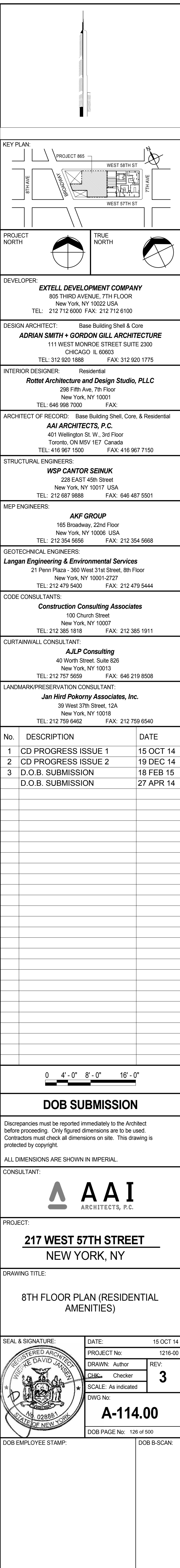
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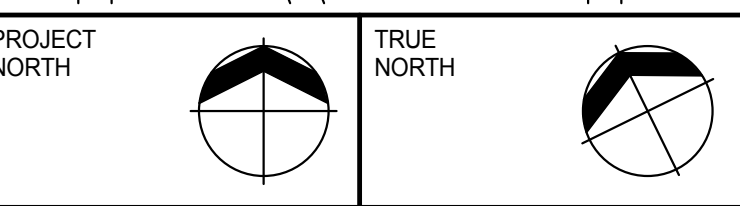
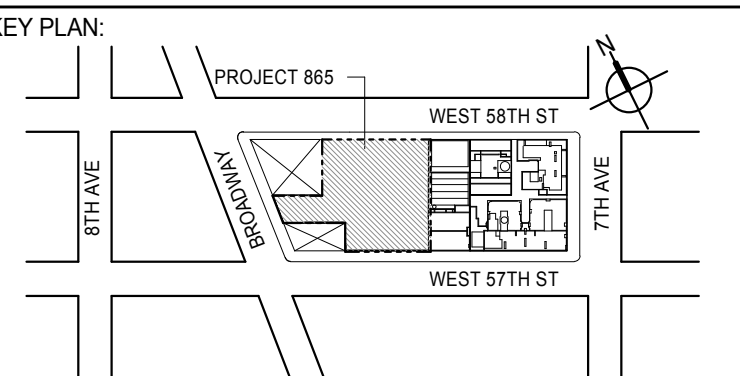
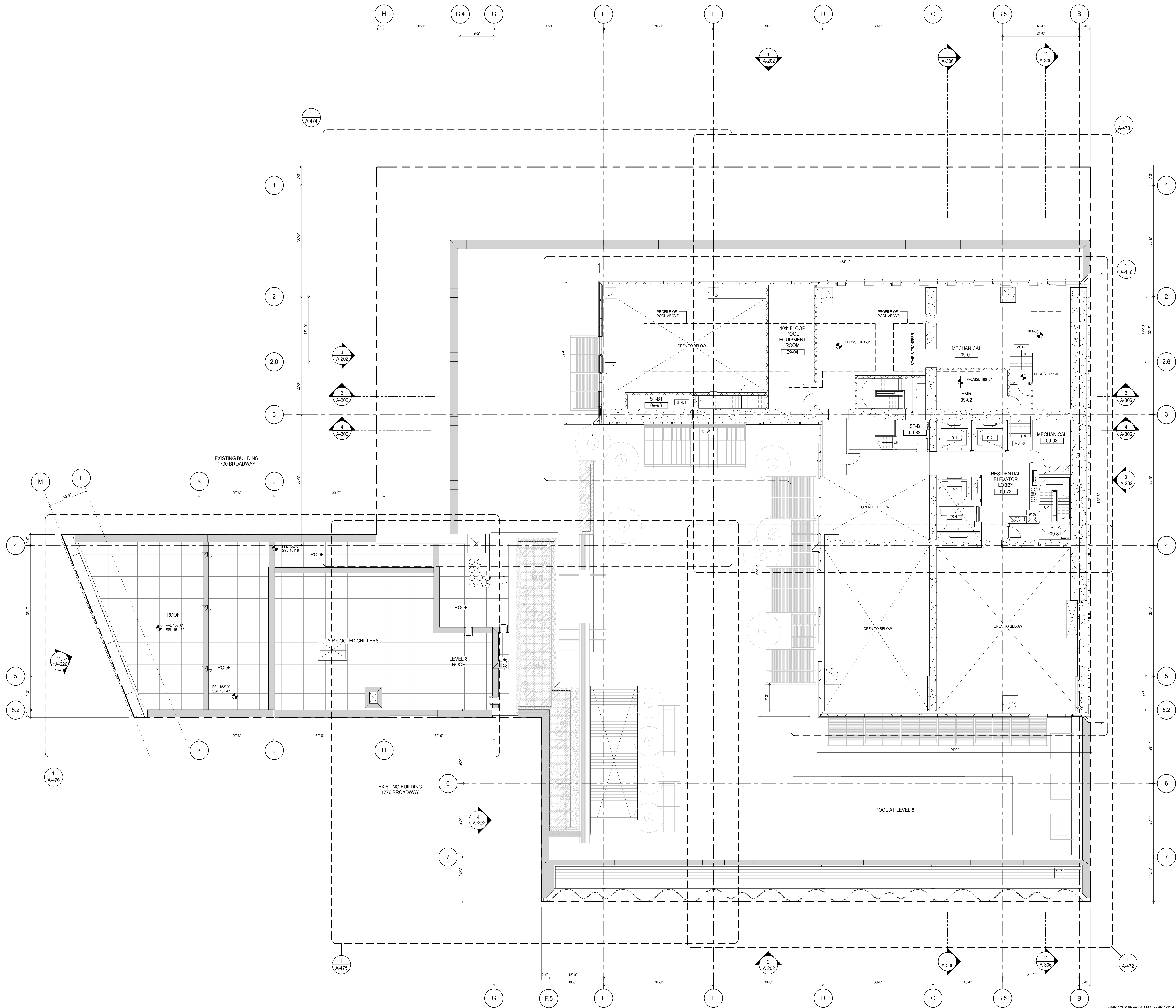
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A-113.00

DOB PAGE No: 105 of 100

DOB 5-SCAN:





DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
 288 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
 228 EAST 45th Street
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MEP ENGINEERS: **AKF GROUP**
 165 Broadway, 22nd Floor
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 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
 21 Penn Plaza - 300 West 51st Street, 8th Floor
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 TEL: 212 479 5400 FAX: 212 479 5444

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CURTAINWALL CONSULTANT: **AJLP Consulting**
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
 NEW YORK, NY**

DRAWING TITLE: **9TH FLOOR PLAN (MECHANICAL)**

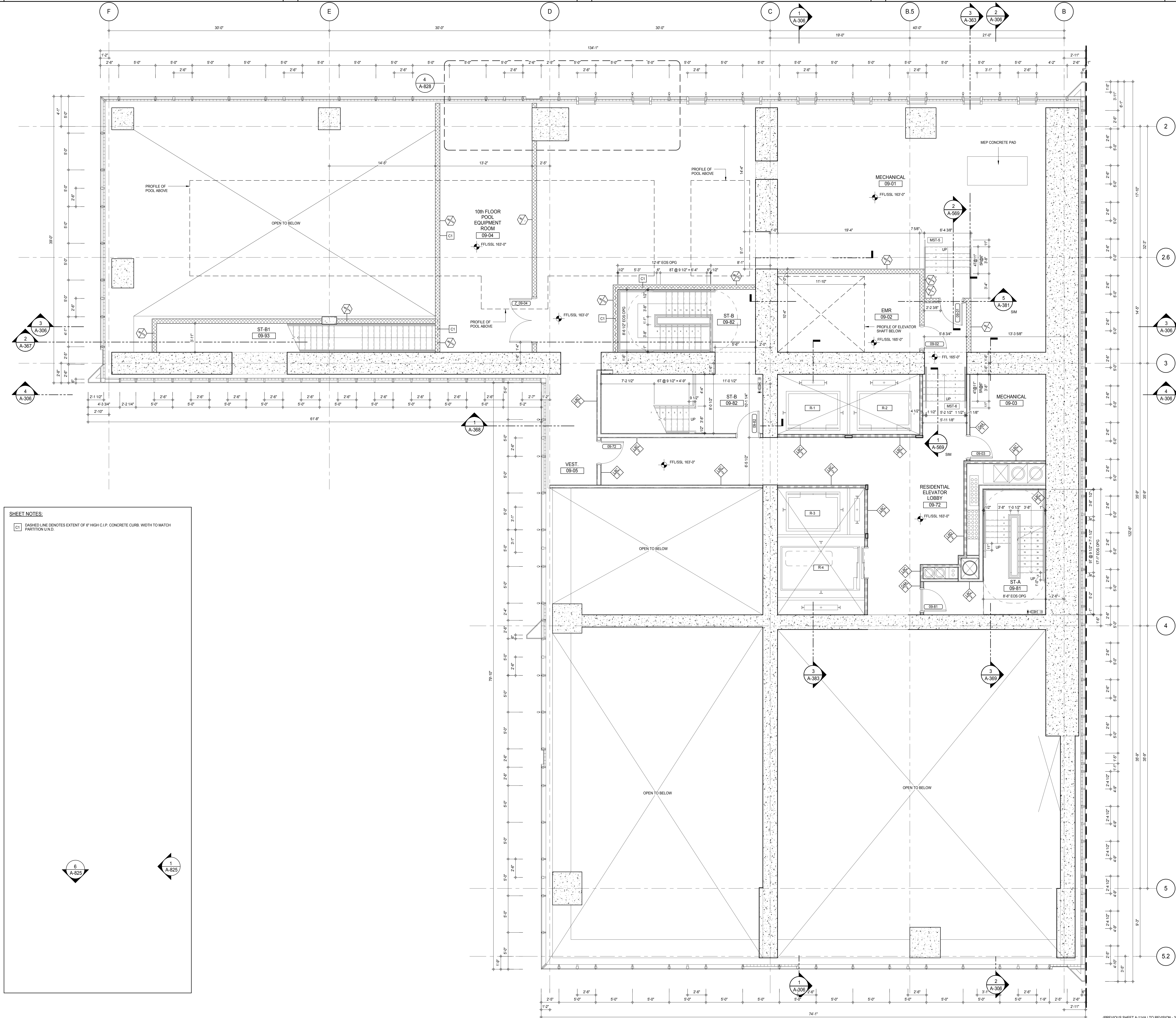
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 CHECKED: Checker
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 DWG No:

A-115.00

DOB PAGE No: 127 of 500
 DOB 5-SCAN:

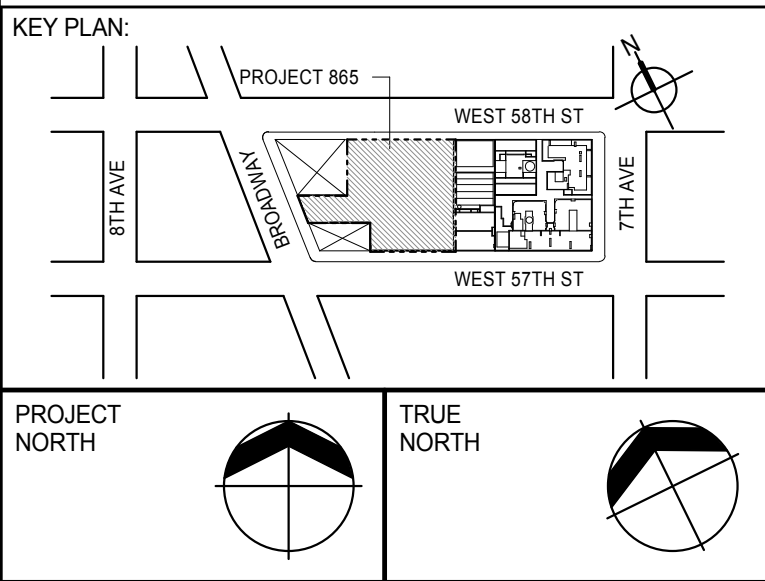
DOB EMPLOYEE STAMP:

DOB 5-SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB, WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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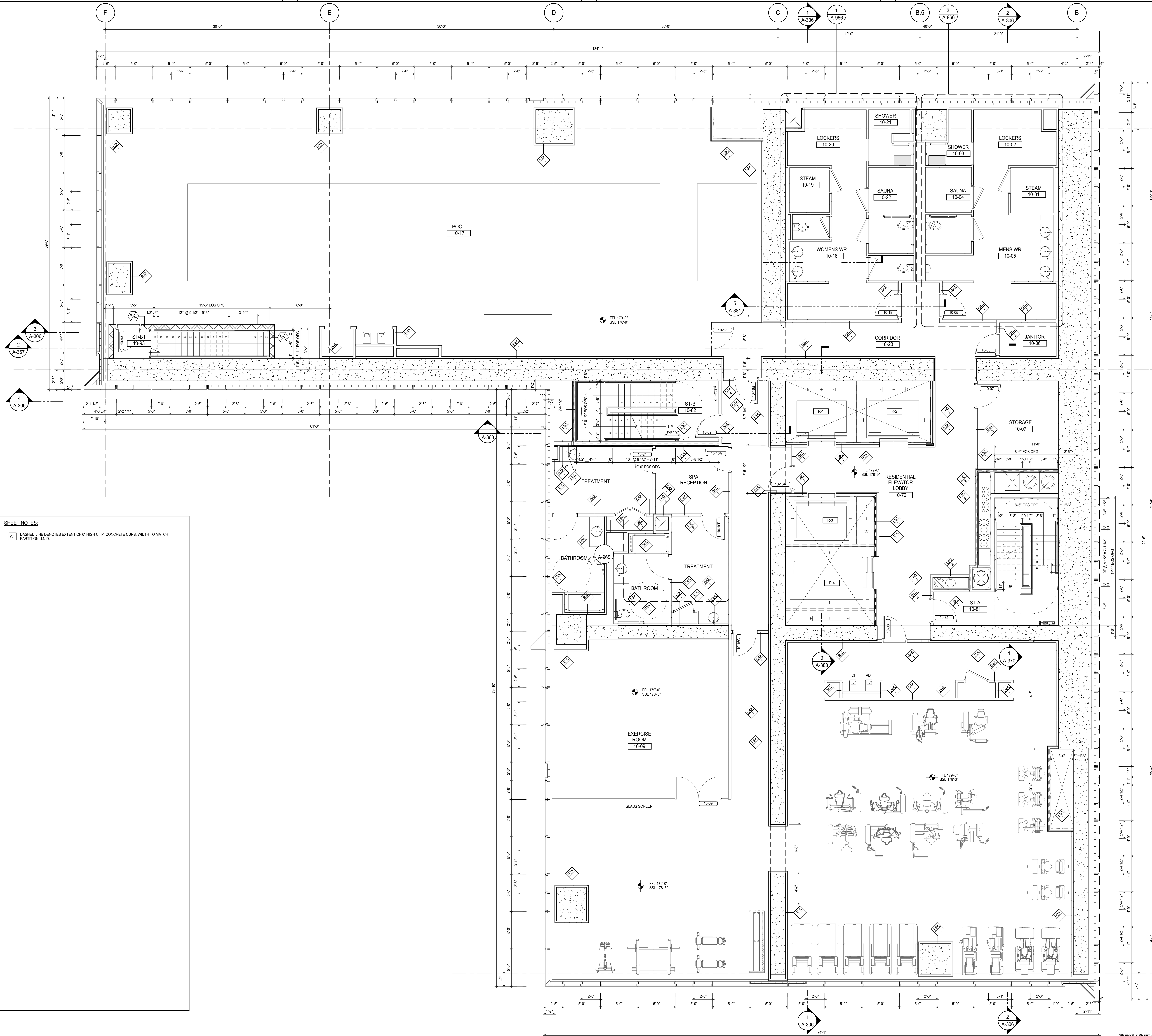
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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

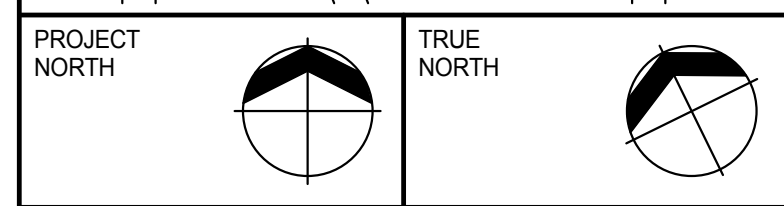
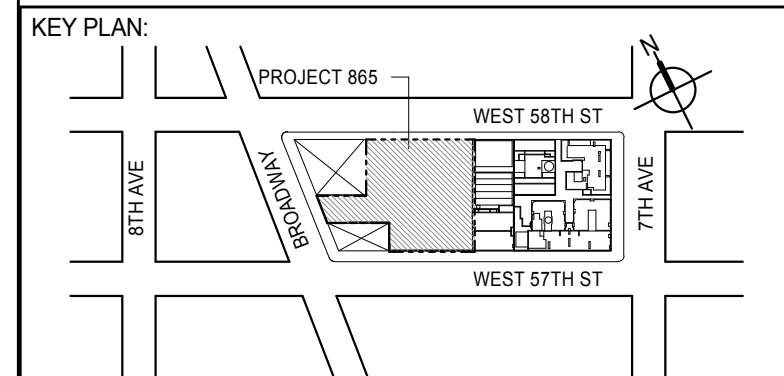
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SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 3
DRAWN: Author	CHECKED: 3
SCALE: As Indicated	
DWG No: A-116.00	
DOB PAGE No: 108 of 500	
DOB EMPLOYEE STAMP:	DOB S-SCAN:



SHEET NOTES:

1. DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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401 West 37th Street, 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

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TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
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165 Broadway, 22nd Floor
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
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CURTAINWALL CONSULTANT:
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40 Worth Street, Suite 826
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TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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CONSULTANT:

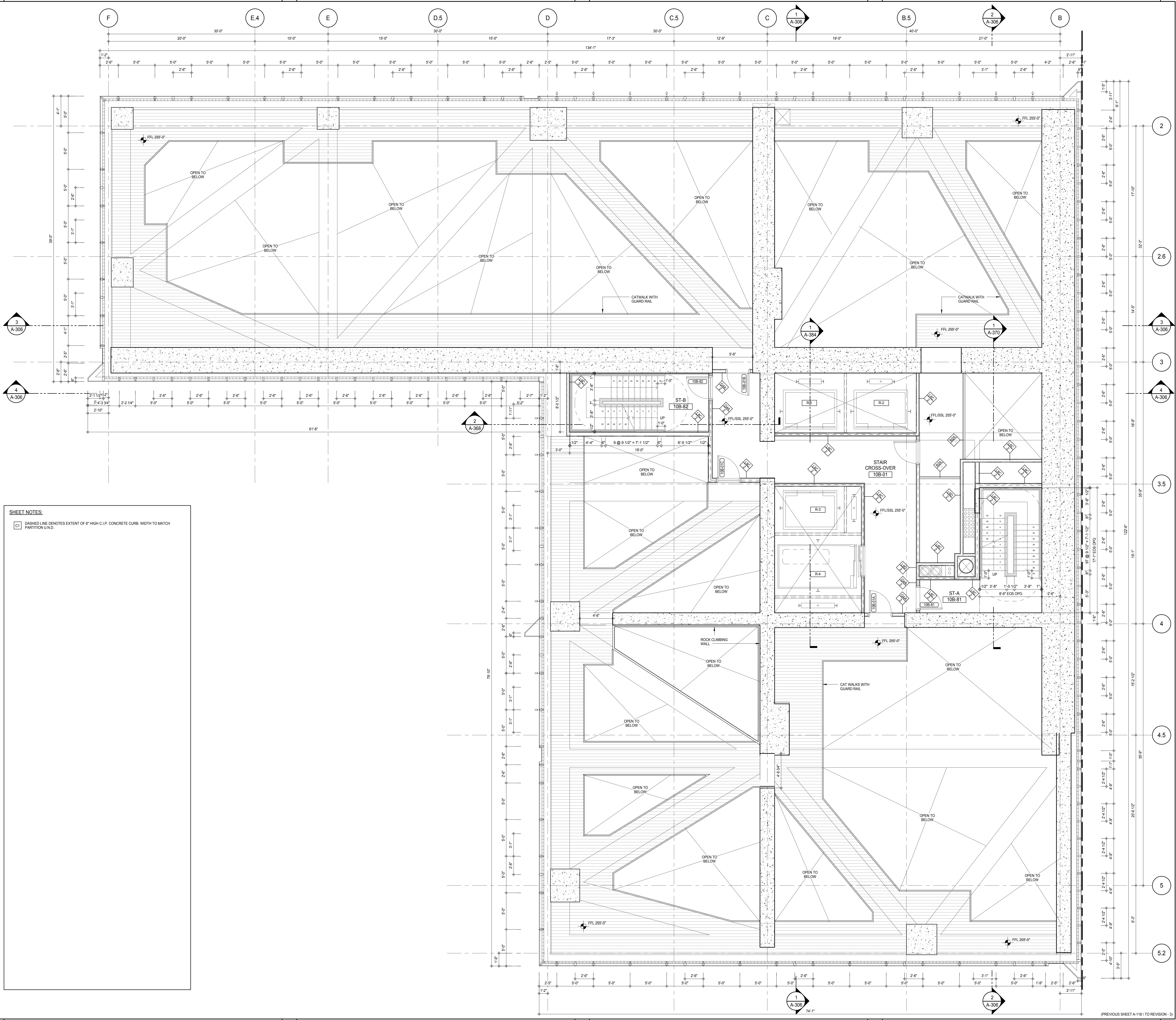


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
10TH FLOOR PLAN (RESIDENTIAL AMENITIES)

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: Checker
	SCALE: As Indicated
DWG No:	A-117.00
DOB PAGE No: 109 of 500	

DOB EMPLOYEE STAMP: DOB 5-SCAN:



SHEET NOTES:

1. DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.

KEY PLAN:

PROJECT NORTH:

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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MEP ENGINEERS:
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 8th Floor
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CODE CONSULTANTS:
Construction Consulting Associates
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CURTAINWALL CONSULTANT:
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Jan Hind Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2' - 0" 4' - 0" 8' - 0"

DOB SUBMISSION

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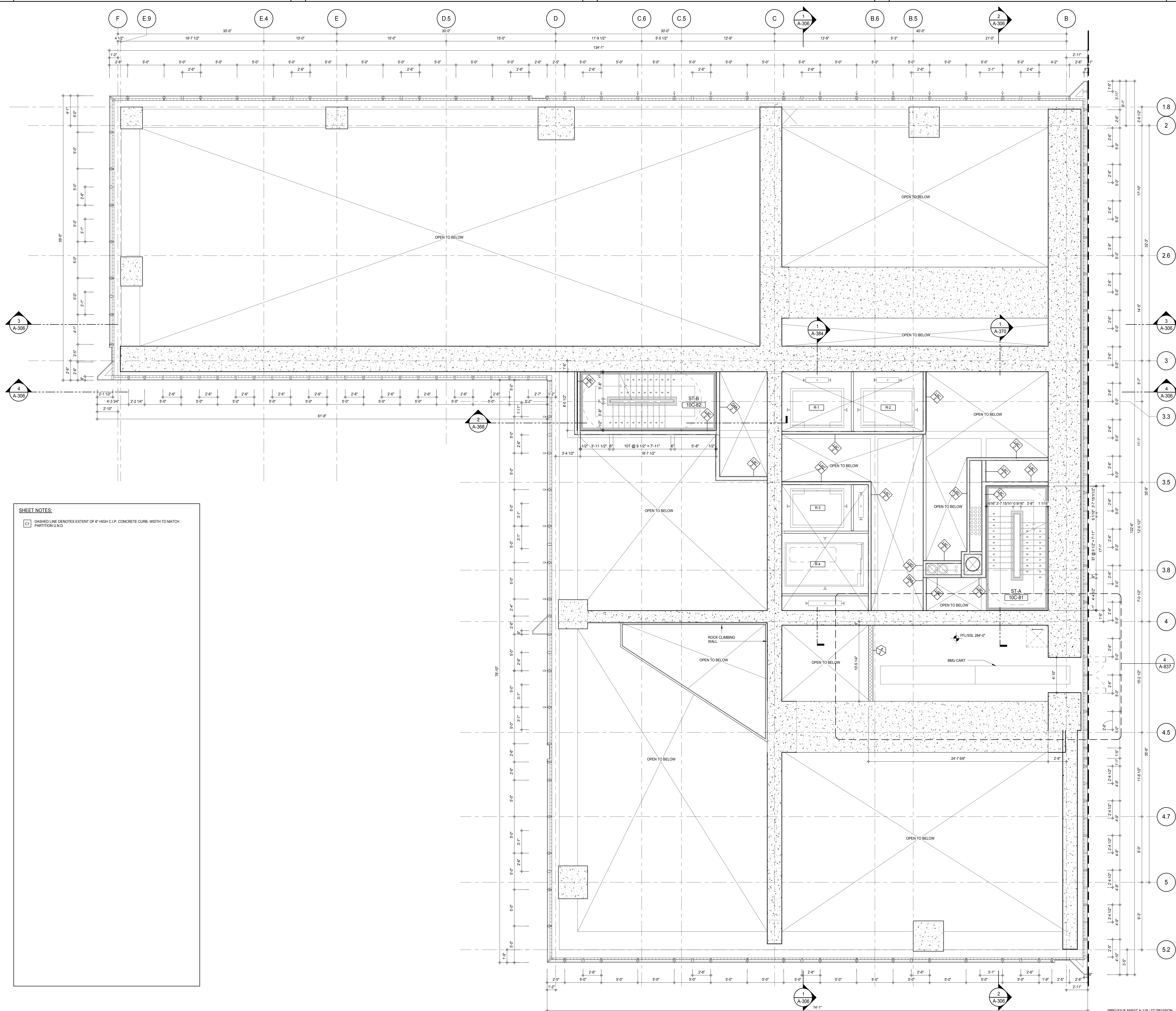
CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 10TH FLOOR INTERMEDIATE 2 PLAN

SEAL & SIGNATURE	DATE:	PROJECT No:	15 OCT 14
	DRAWN: Author	1216-00	REV:
	CHECK: Checker		3
DWG No:	SCALE: As Indicated	A-119.00	
DOB PAGE No: 191 of 690	DOB 5-SCAN:		



(PREVIOUS SHEET A-119) TO REVISION - :

SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.

2

880

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECT
111 WEST MONROE STREET SUITE
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, P
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, &
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
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MEP ENGINEERS:

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165 Broadway, 22nd Floor
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TEL: 212 759 6462 FAX: 212 759

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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	D.O.B. SUBMISSION	27 APR 14

0 2' - 0" 4' - 0" 8' - 0"

DOB SUBMISSION

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CONSULTANT



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAIVING TITLE

10TH FLOOR INTERMEDIATE 3
PLAN

SEAL & SIGNATURE:	DATE:	15 OCT 1
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	PROJECT No: 1216-0	

	DRAWN: Author		REV:

WIESEN
CHK: Checker 3

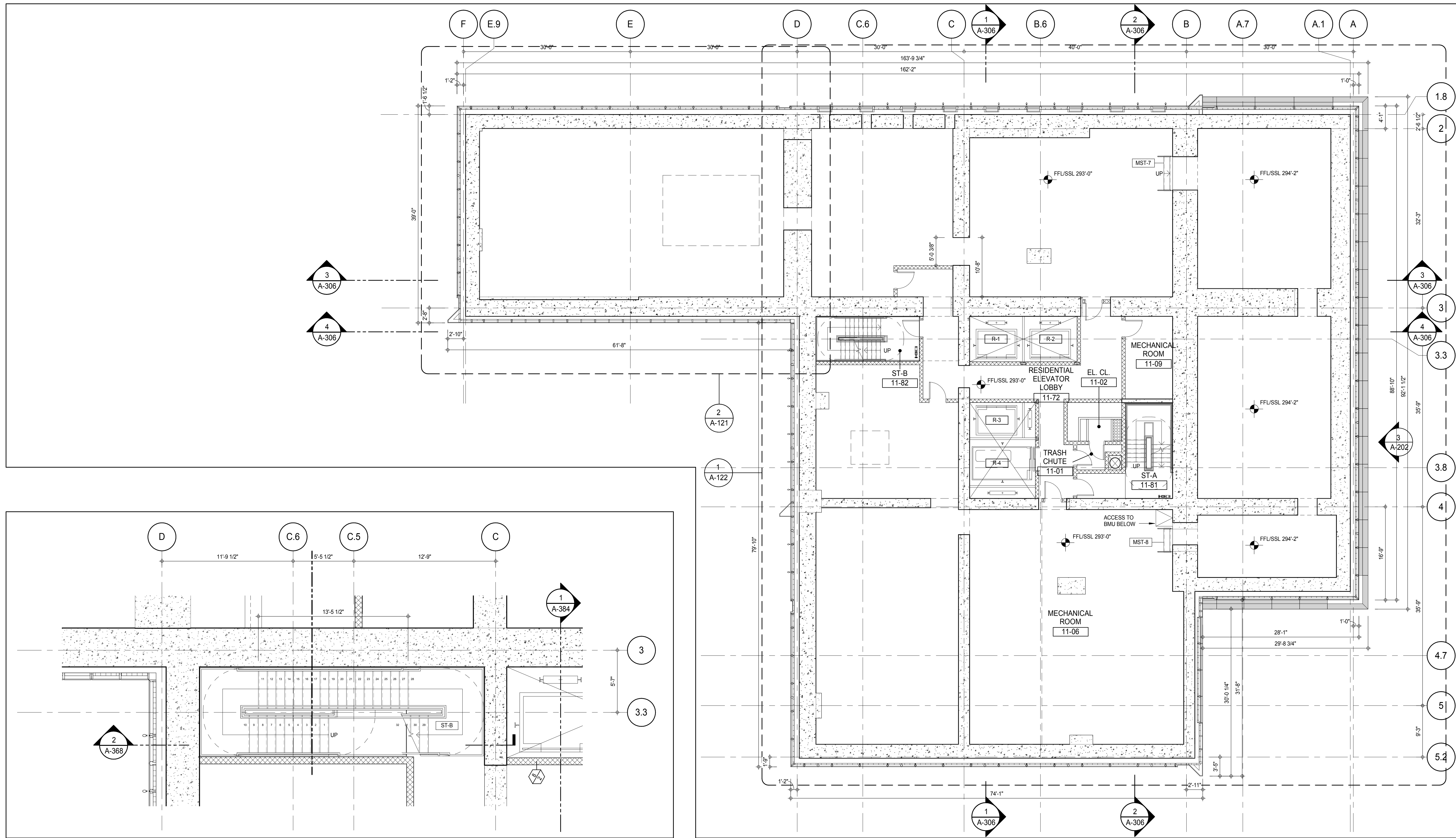
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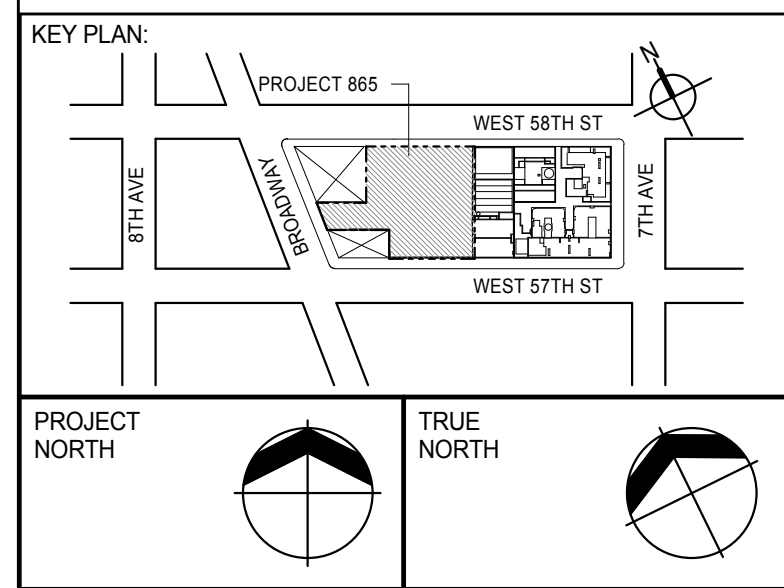
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DOB PAGE No: 132 of 500

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH
 TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 228 Fifth Ave, 7th Floor
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
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 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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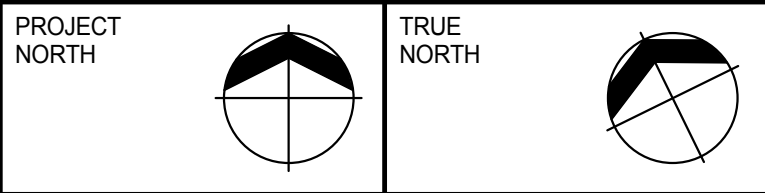
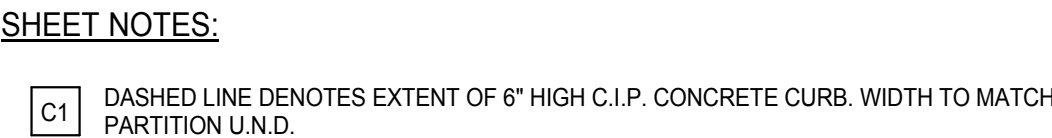
CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
11TH FLOOR PLAN (MECHANICAL)

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: 3
	SCALE: As indicated
DWG No:	A-121.00
DOB PAGE No: 133 of 500	DOB 5-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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Interior Designer: Residential
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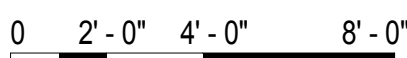
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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39 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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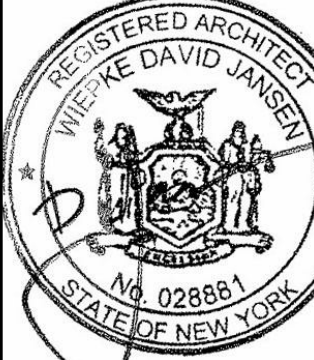
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

11TH FLOOR PLAN (MECHANICAL)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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DATE:	15 OCT 14
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PROJECT No:	1216-00
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DRAWN: Author	REV:
DATE: 8/1/01	BY: 2

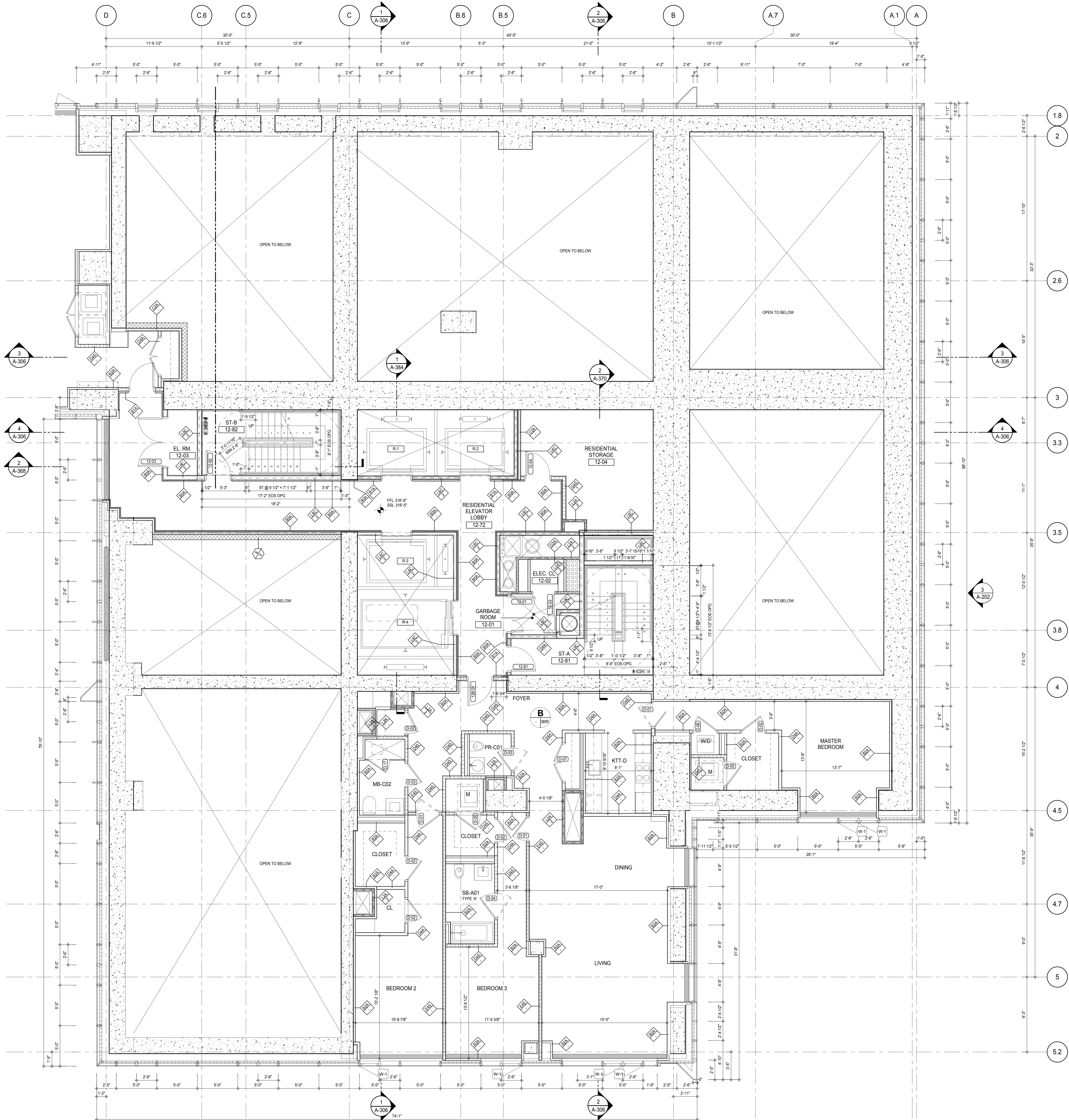
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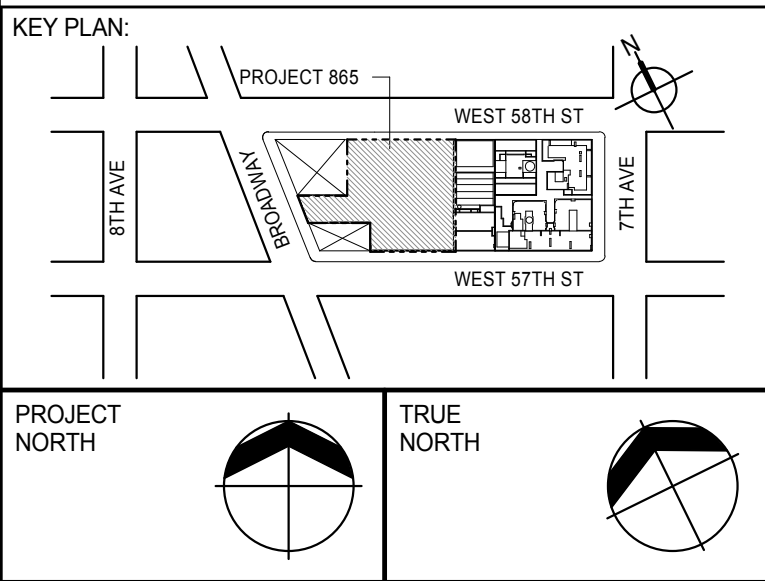
A-122.00

DOB PAGE No: 134 of 500

4 of 500



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
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 805 THIRD AVENUE, 7TH FLOOR
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INTERIOR DESIGNER: Residential
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 288 Fifth Ave, 7th Floor
 New York, NY 10001
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:
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LANDMARK/PRESERVATION CONSULTANT:
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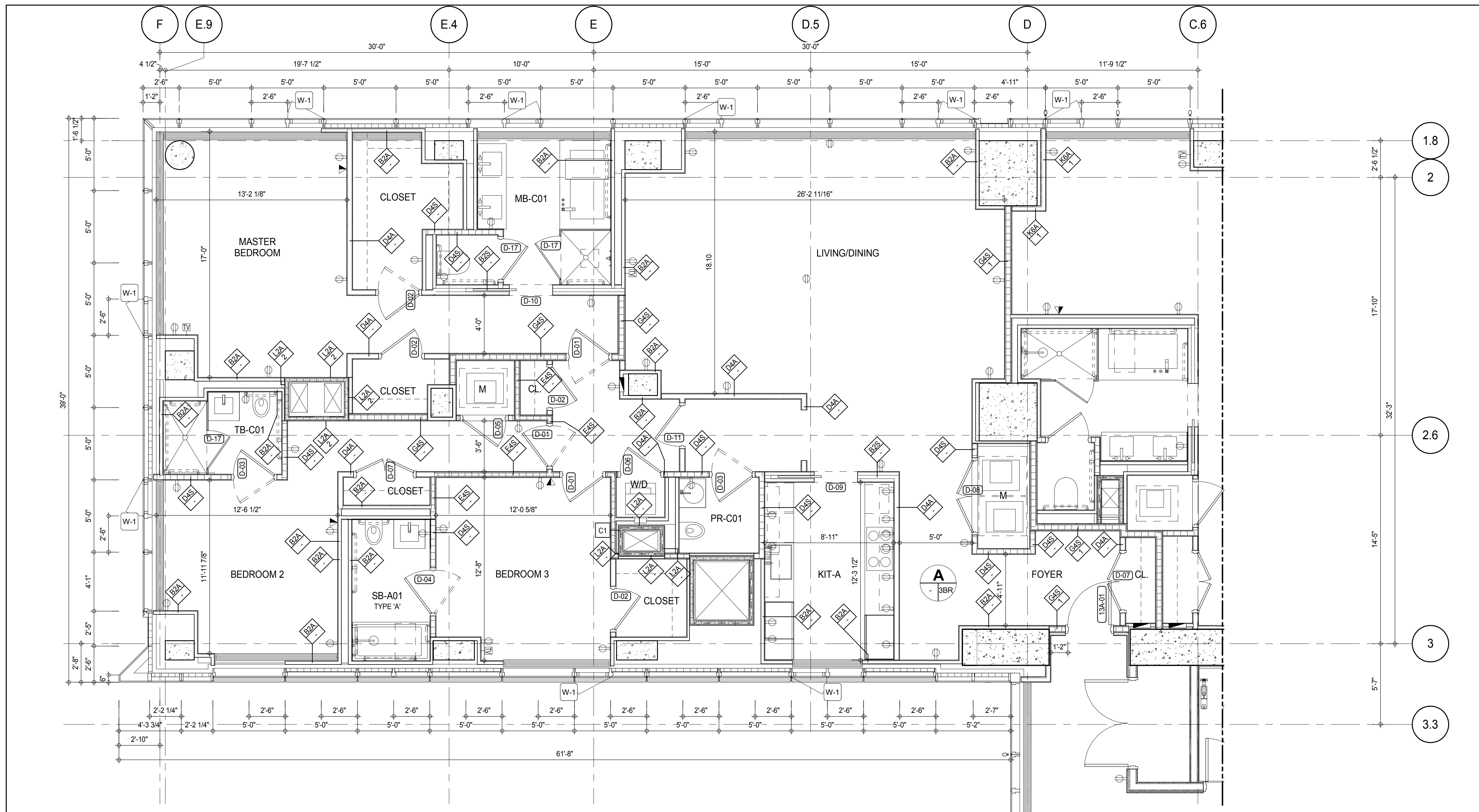
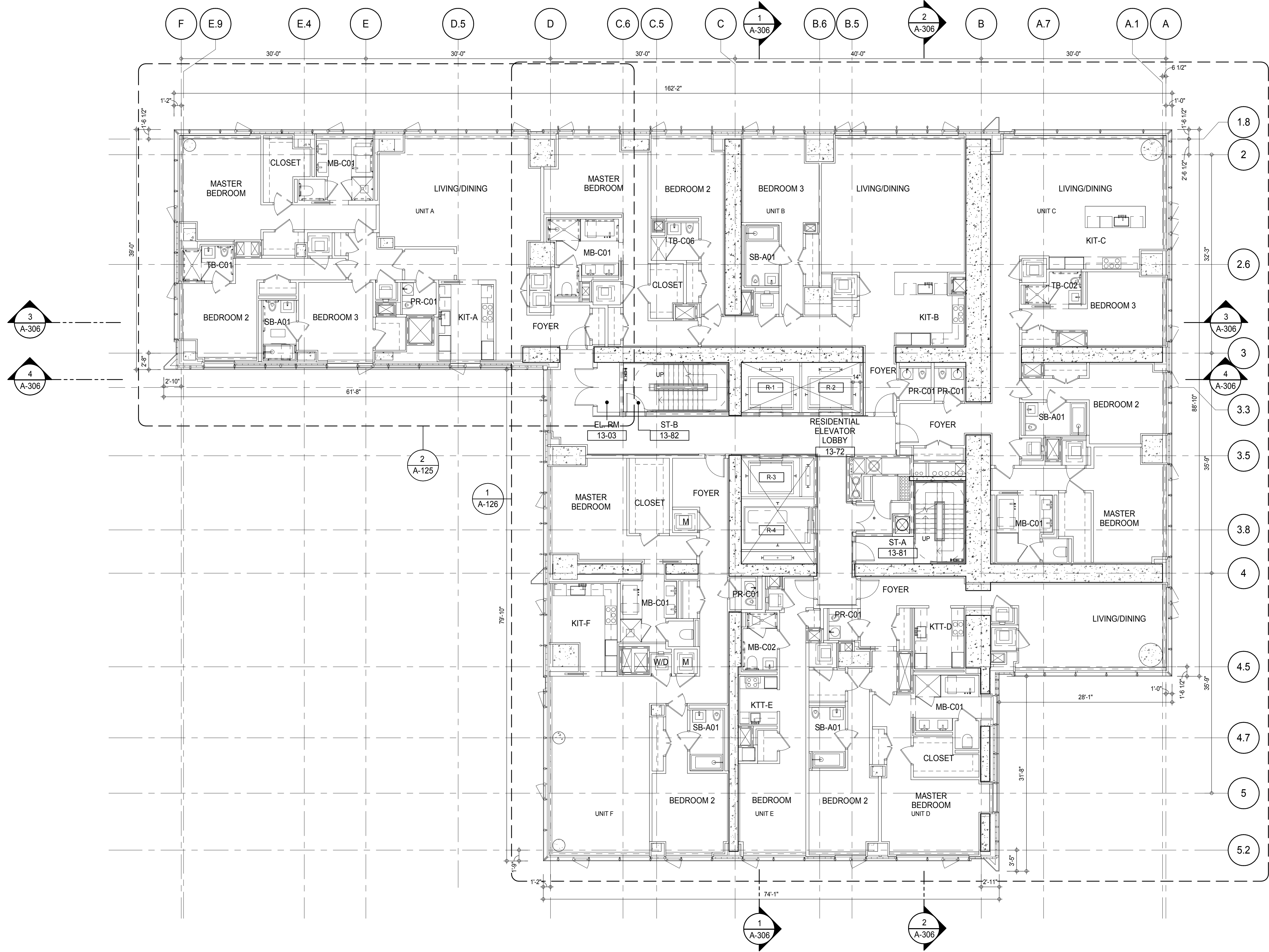
CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
12TH FLOOR PLAN (RESIDENTIAL - TIER 1)

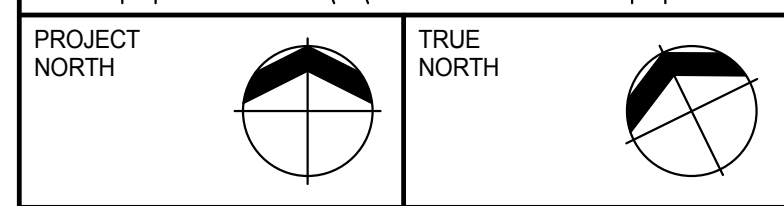
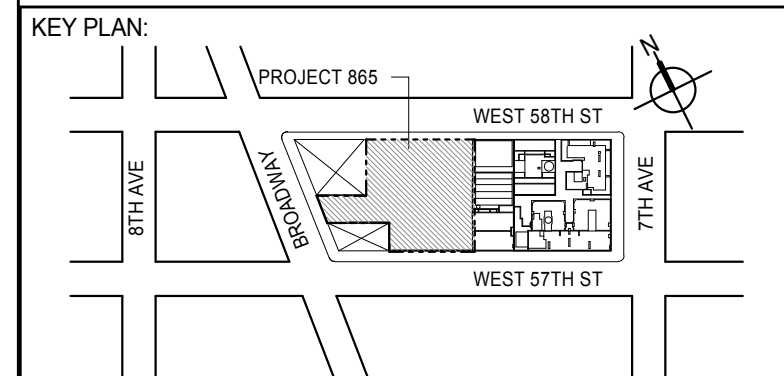
SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECK: Checker SCALE: As Indicated DWG No: A-124.00
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DOB EMPLOYEE STAMP: DOB PAGE No: 106 of 500 DOB 5-SCAN:



PARTIAL PLAN
A-125
1/4" = 1'-0"

SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
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805 THIRD AVENUE, 7TH FLOOR
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INTERIOR DESIGNER: Residential
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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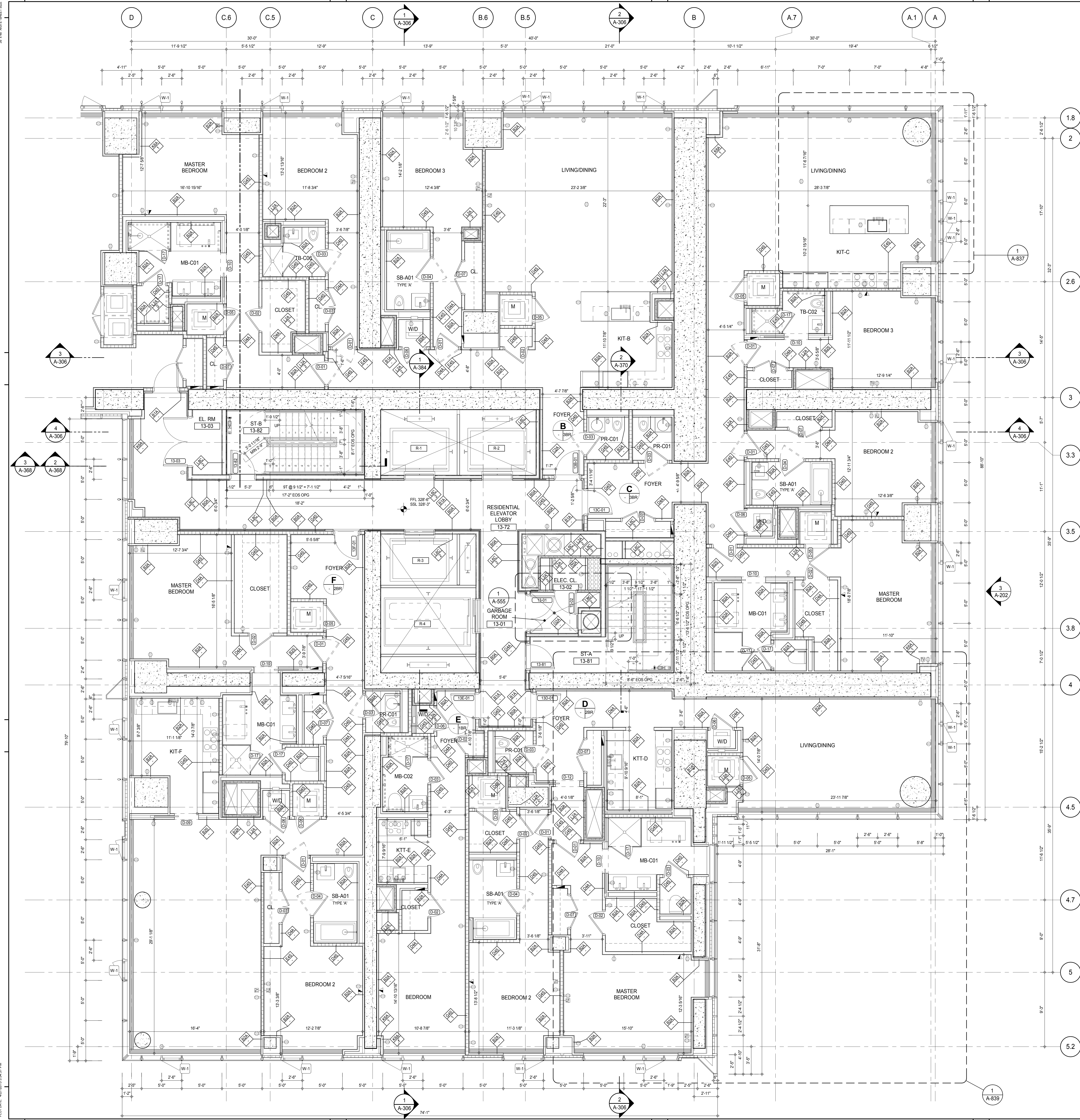


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

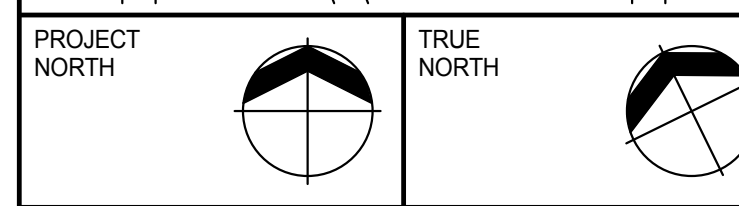
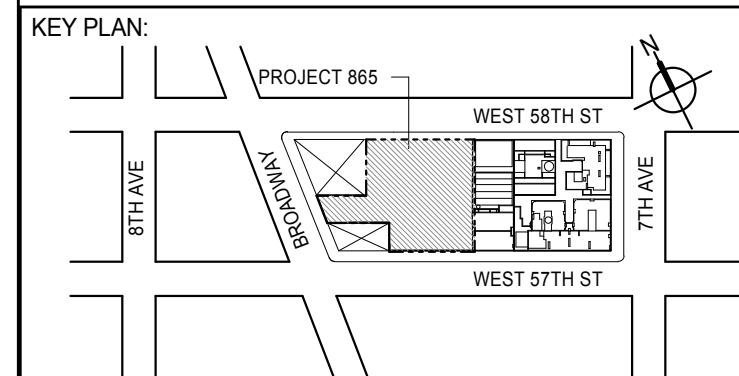
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13TH FLOOR PLAN (RESIDENTIAL - TIER 1)

SEAL & SIGNATURE:	DATE: 19 DEC 14	
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	CHECK: Checker	2
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	DWG No: A-125.00	

DOB PAGE No: 137 of 500
DOB EMPLOYEE STAMP: A-125
DOB 5-SCAN:



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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DESIGN ARCHITECT: Base Building Shell & Core
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
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 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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CONSULTANT:



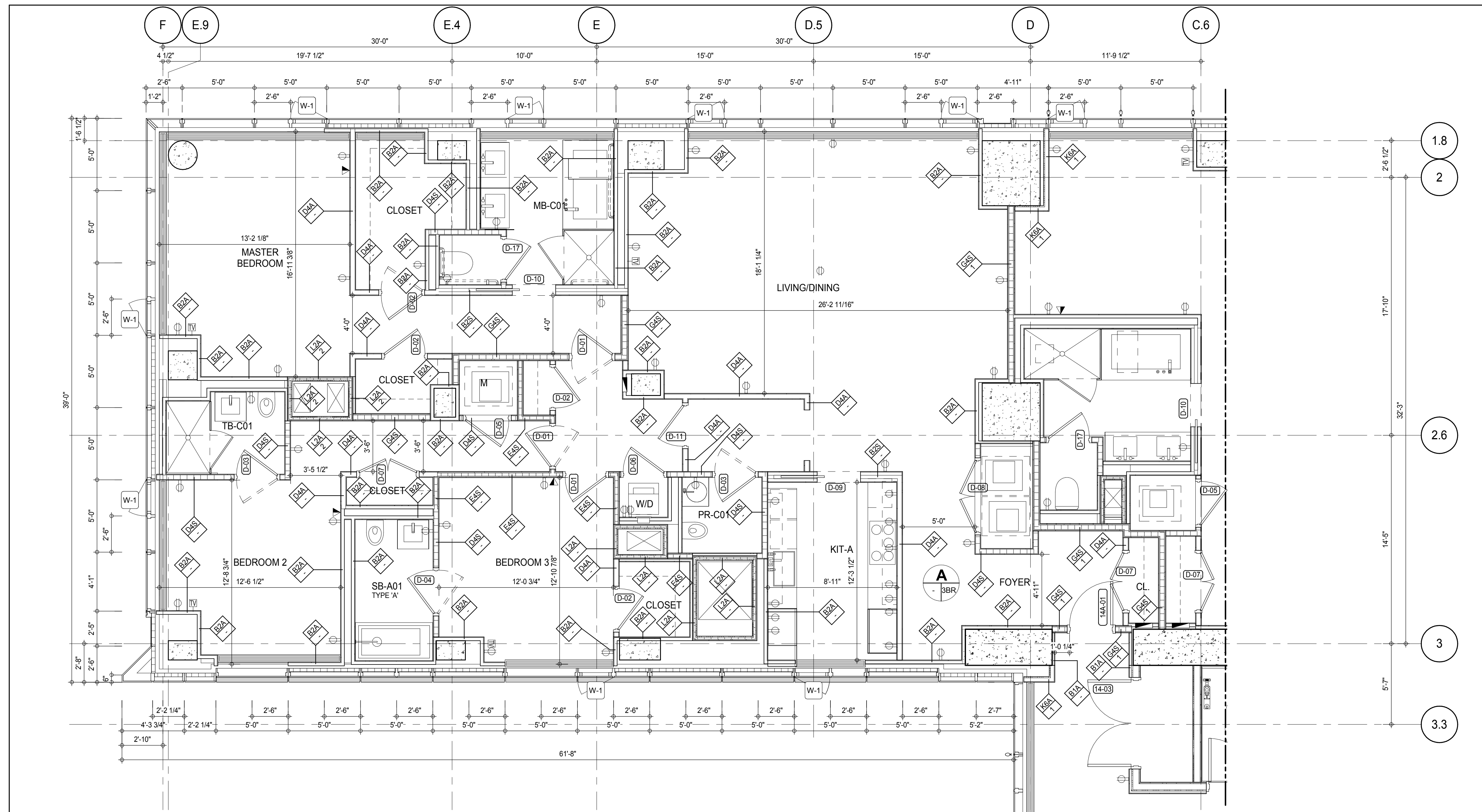
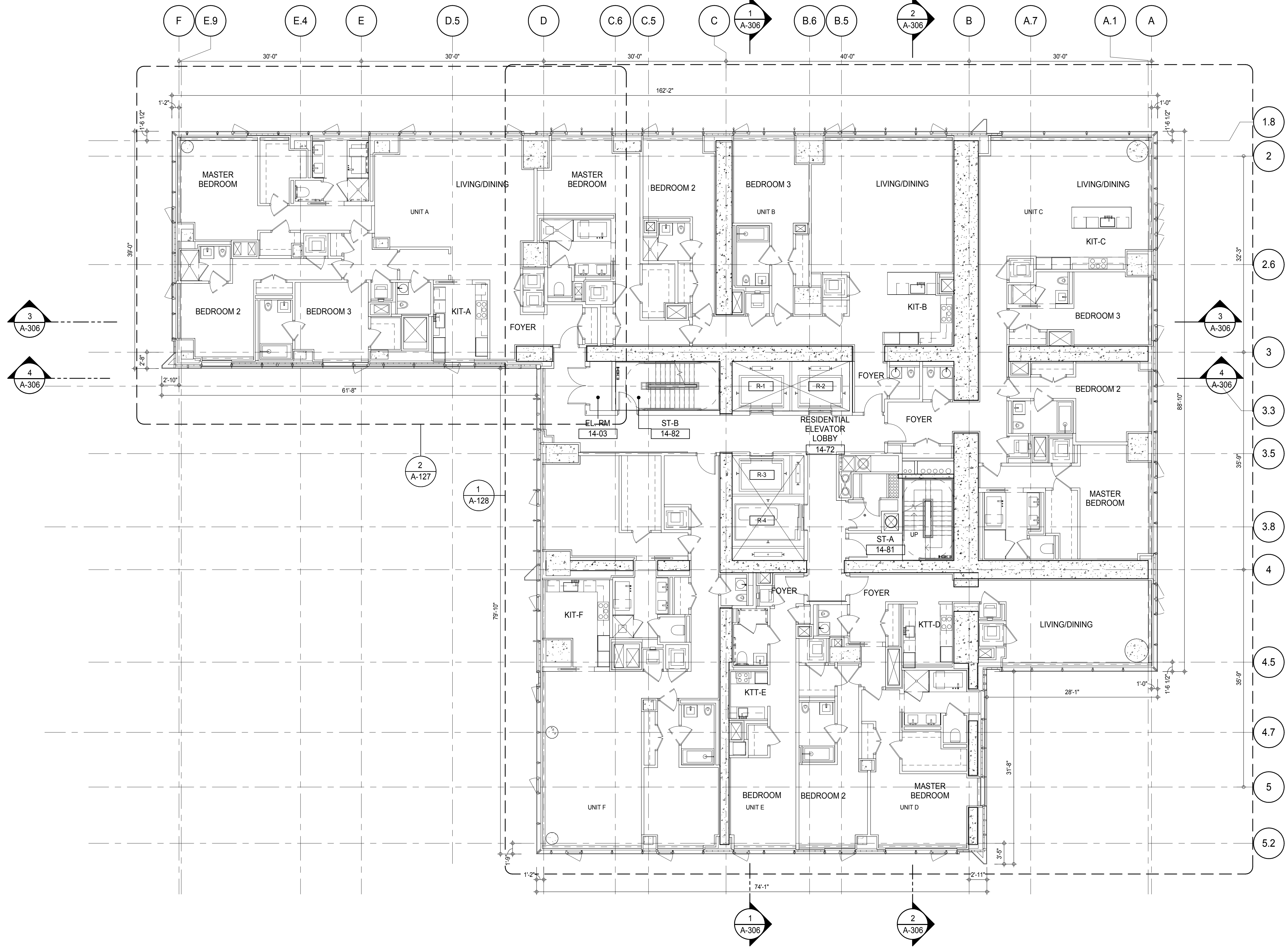
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
13TH FLOOR PLAN (RESIDENTIAL - TIER 1)

SEAL & SIGNATURE 	DATE:	19 DEC 14
	PROJECT No:	1216-00
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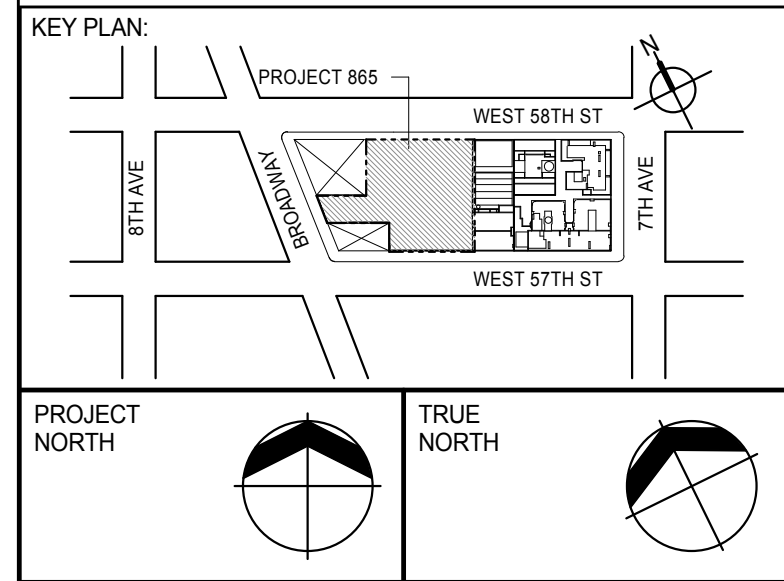
DOB PAGE No: 108 of 500

DOB EMPLOYEE STAMP: DOB 5-SCAN:



PARTIAL PLAN 2
1/4" = 1'-0"

SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
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DESIGN ARCHITECT: **Base Building Shell & Core**
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	D.O.B. SUBMISSION	27 APR 14

0 4'-0" 8'-0" 16'-0"

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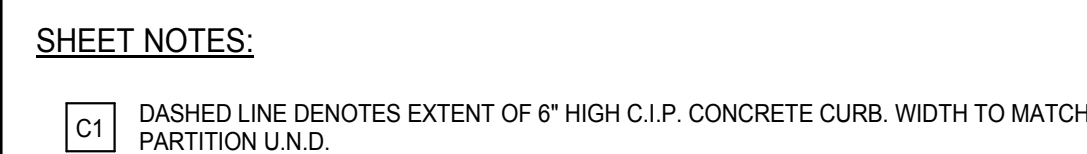
CONSULTANT:



PROJECT: **217 WEST 57TH STREET
 NEW YORK, NY**

DRAWING TITLE: **14TH-16TH FLOOR PLAN
 (RESIDENTIAL - TIER 1)**

SEAL & SIGNATURE:	DATE: 15 OCT 14	
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	3
	SCALE: As indicated	
	DWG No:	A-127.00



(PREVIOUS SHEET A-123A) TO REVISION - 3



0 2' - 0" 4' - 0" 8' - 0"

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PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE

14TH-16TH FLOOR PLAN
(RESIDENTIAL - TIER 1)

SEAL & SIGNATURE

DATE:	15 OCT 14
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PROJECT No:	1216-00
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DRAWN: Author	REV:
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CHK: Checker	3
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SCALE: As indicated	
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DWG No: **A-100-00**

A-128.00

DOB PAGE No: 140 of 500

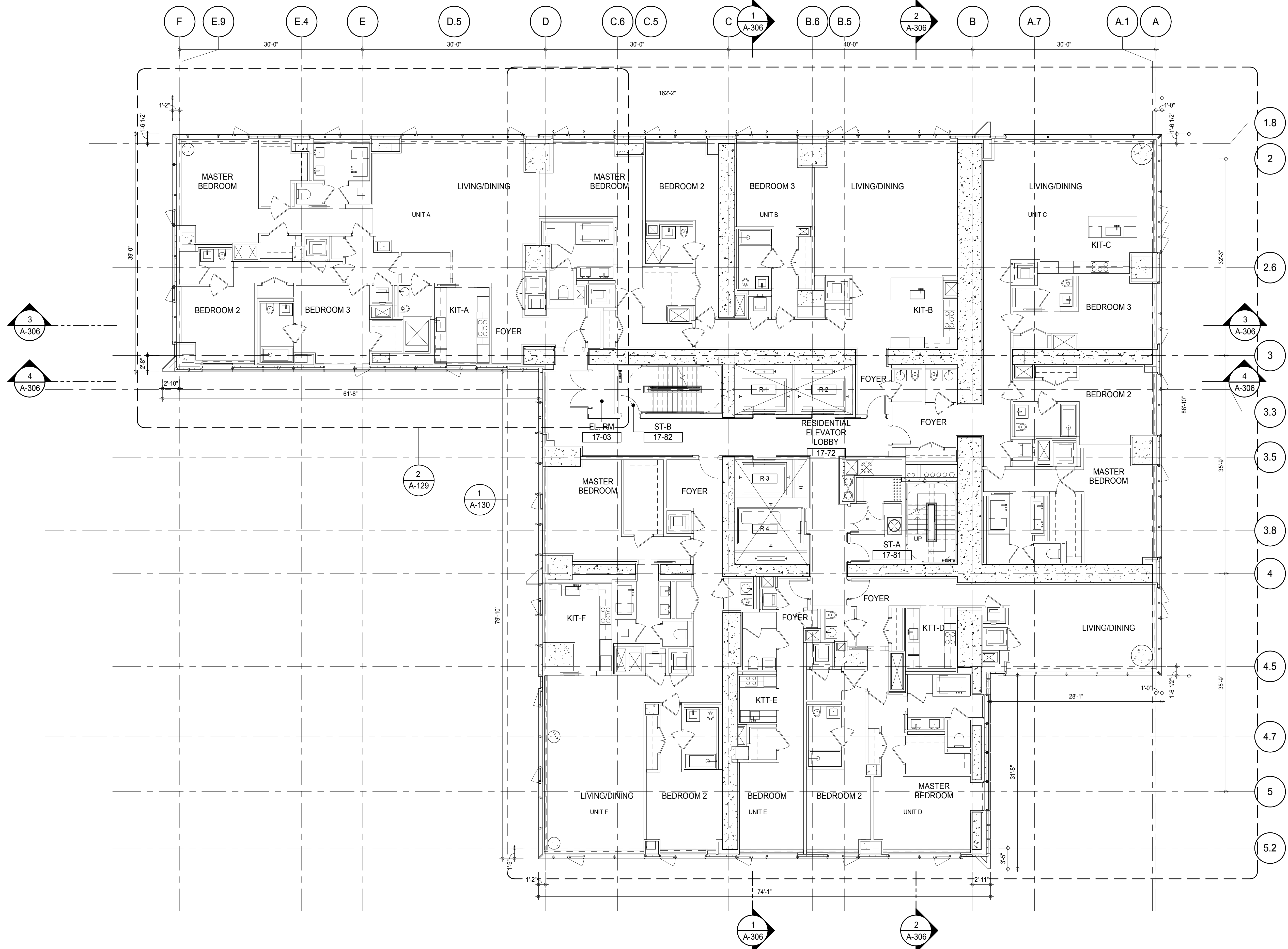
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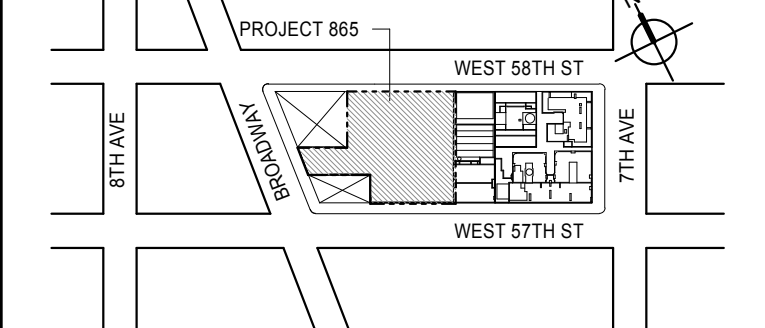
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SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.

KEY PLAN:



PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
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STRUCTURAL ENGINEERS:

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MEP ENGINEERS:

AKF GROUP
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New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

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TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

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TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

17TH-18TH FLOOR PLAN
(RESIDENTIAL - TIER 1)

SEAL & SIGNATURE

PROJECT No:

DATE: 19 DEC 14

DRAWN: Author

REV: 2

CHECK: Checker

SCALE: As Indicated

DWG No:

A-129.00

DOB EMPLOYEE STAMP:

DOB PAGE No: 141 of 593

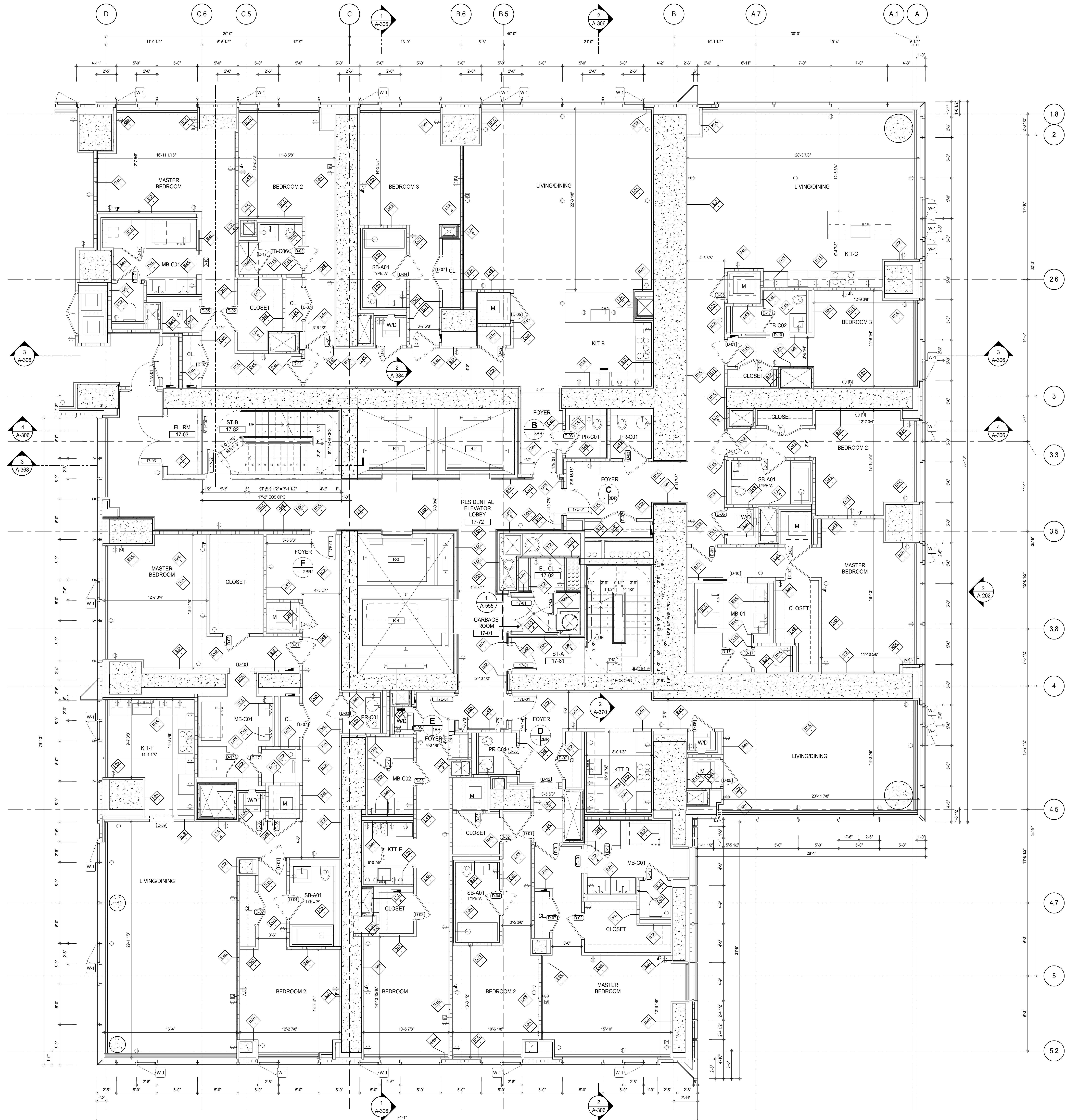
DOB 5-SCAN:

PARTIAL PLAN

2

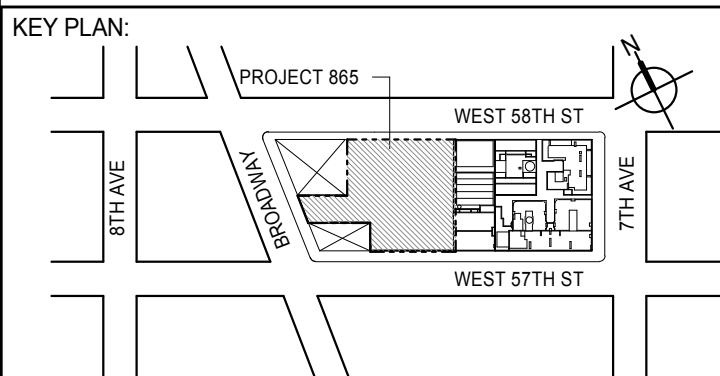
1/4" = 1'-0"



(PREVIOUS SHEET A-124.1 TO REVISION - 2)



SHEET NOTES

- C1** DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH		TRUE NORTH	
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EXTELL DEVELOPMENT COMPANY
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 1
2	D.O.B. SUBMISSION	18 FEB 1
	D.O.B. SUBMISSION	27 APR 1



DOB SUBMISSION

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CONSULTANT




PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

17TH-18TH FLOOR PLAN
(RESIDENTIAL - TIER 1)

SEAL & SIGNATURE:	DATE: 19 DEC
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	DRAWN: Author	DATE:

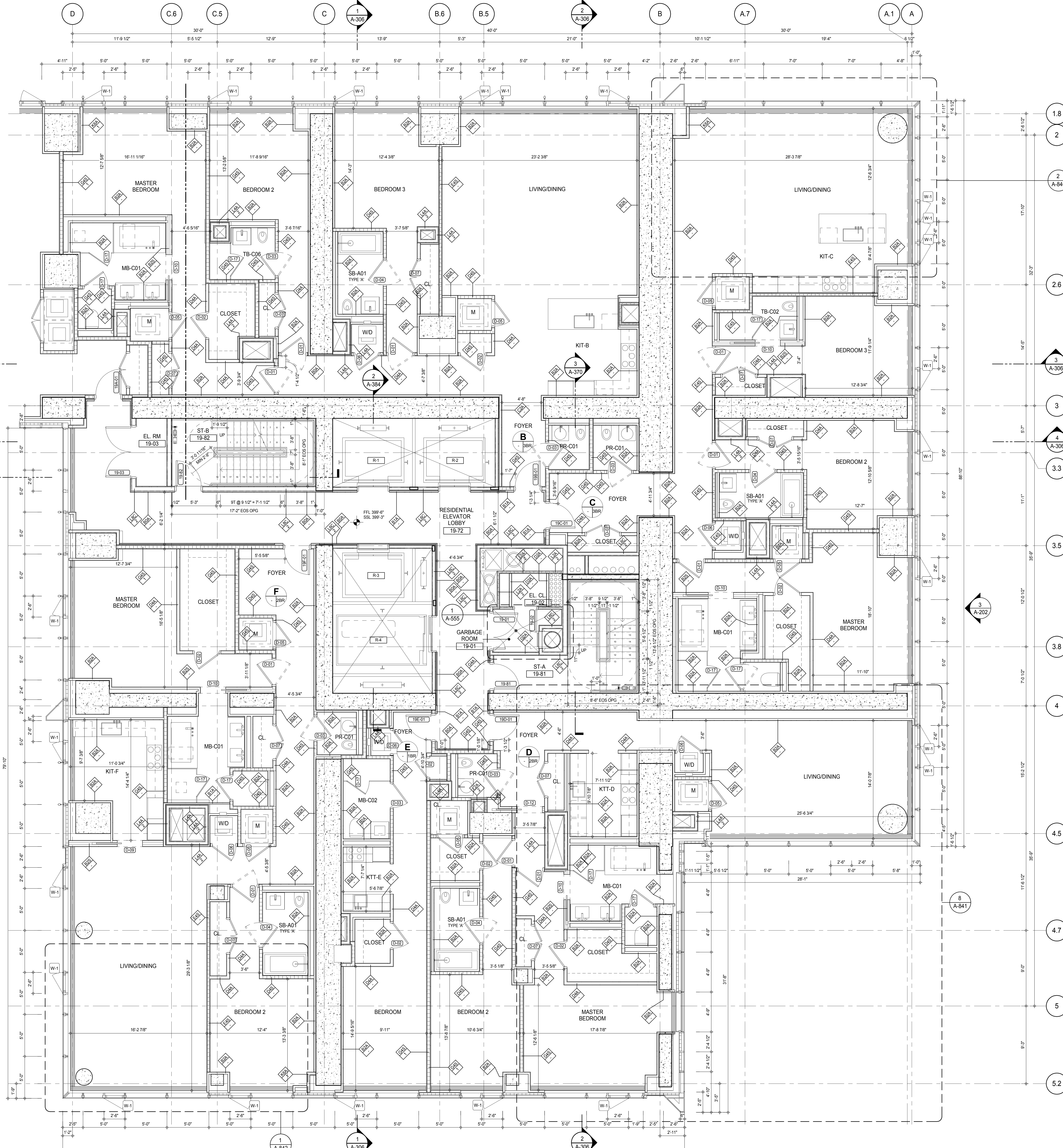
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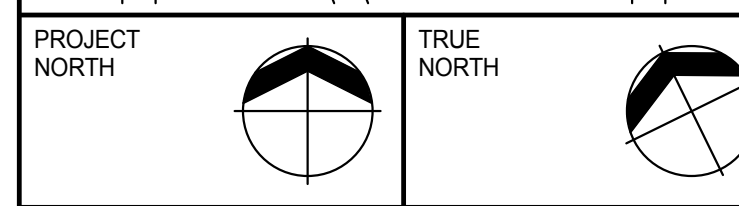
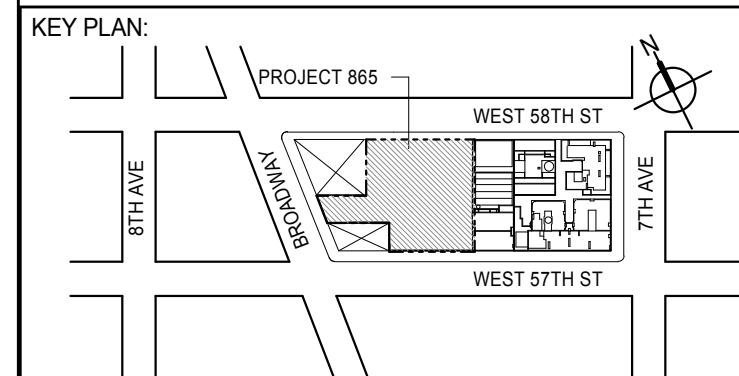
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DOB PAGE No: 142 of 500	
DOB EMPLOYEE STAMP:	DOB B-SCAN

<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ $\frac{1}{4,294,967,296} \times \frac{1}{4,294,967,296} = \frac{1}{18,446,744,073,709,551,616}$ </p>	<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ $\frac{1}{4,294,967,296} \times \frac{1}{4,294,967,296} = \frac{1}{18,446,744,073,709,551,616}$ </p>
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SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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CODE CONSULTANTS:
Construction Consulting Associates
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
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New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0' 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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CONSULTANT:

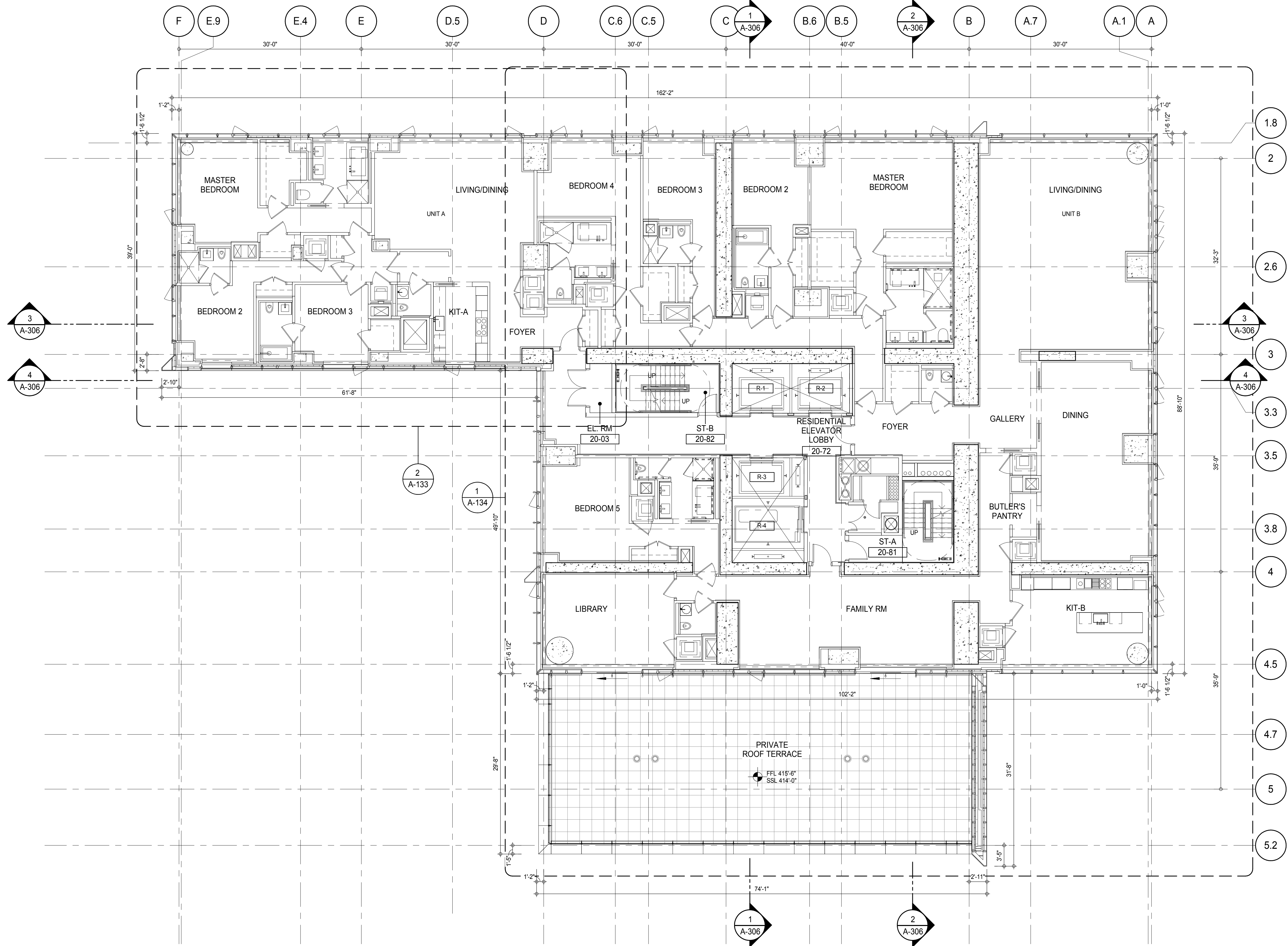


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
19TH FLOOR PLAN (RESIDENTIAL - TIER 1)

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DWG No:		A-132.00

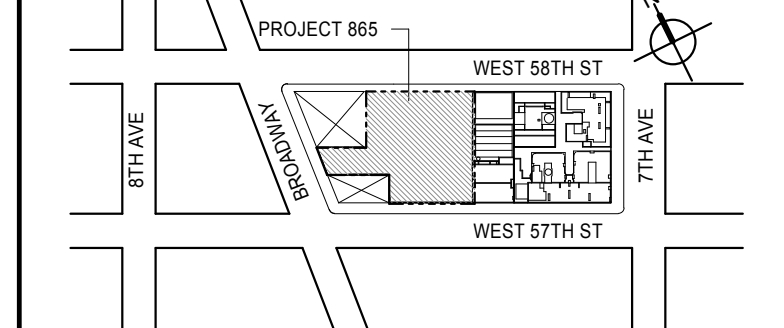
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SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.

KEY PLAN:



PROJECT:

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

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CODE CONSULTANTS:

Construction Consulting Associates
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CURTAINWALL CONSULTANT:

AJLP Consulting
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LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4'-0" 8'-0" 16'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

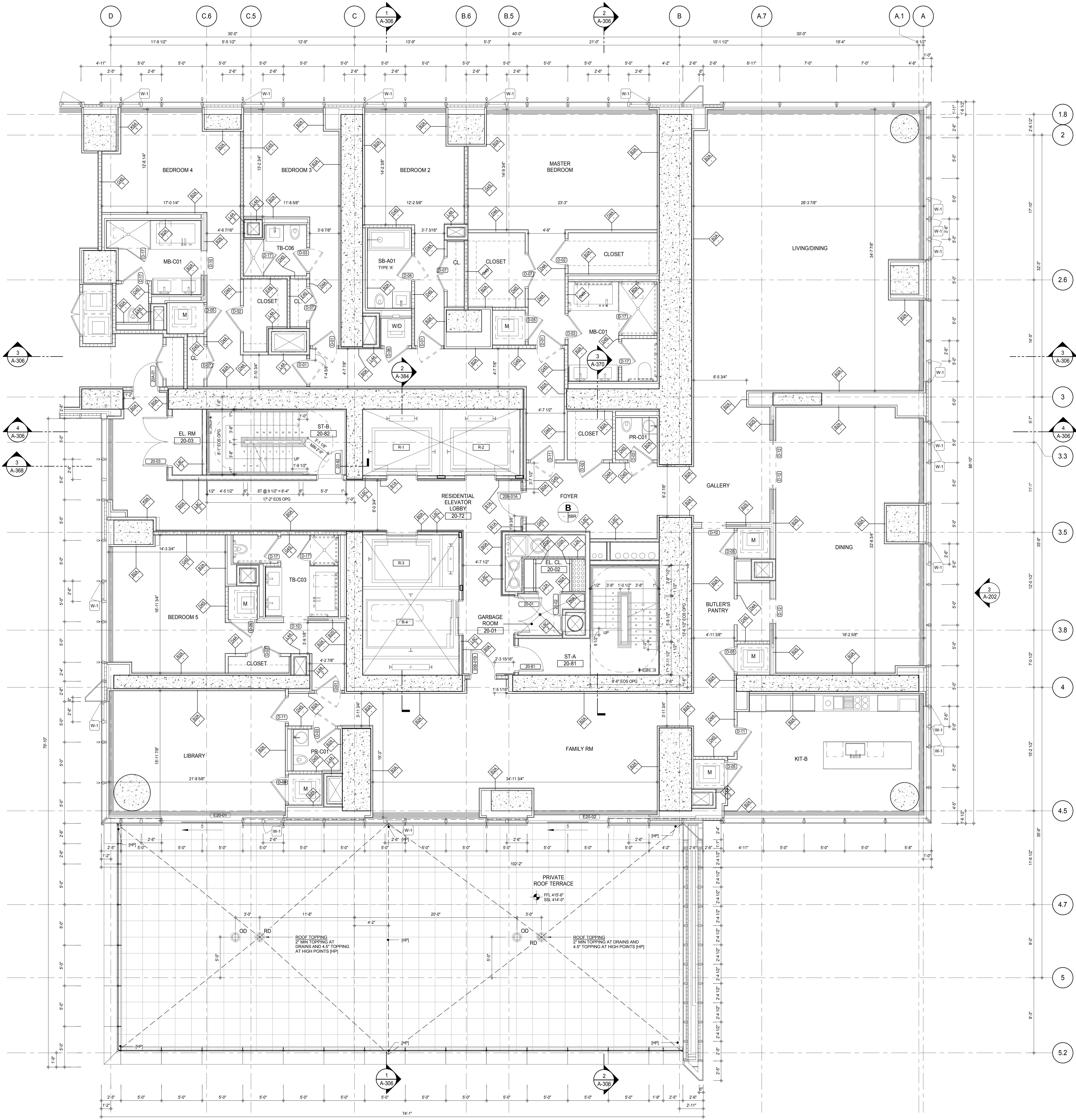
20TH FLOOR PLAN (RESIDENTIAL - TIER 1)

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	DRAWN: Author
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	SCALE: As indicated
DWG No:	A-133.00
DOB PAGE No: 148 of 500	
DOB EMPLOYEE STAMP:	DOB S-SCAN:

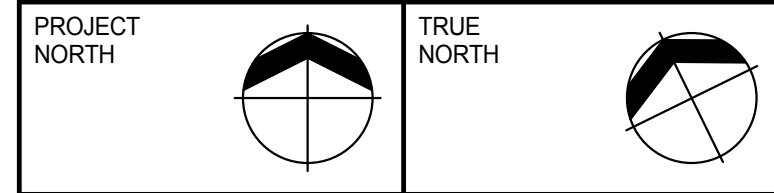
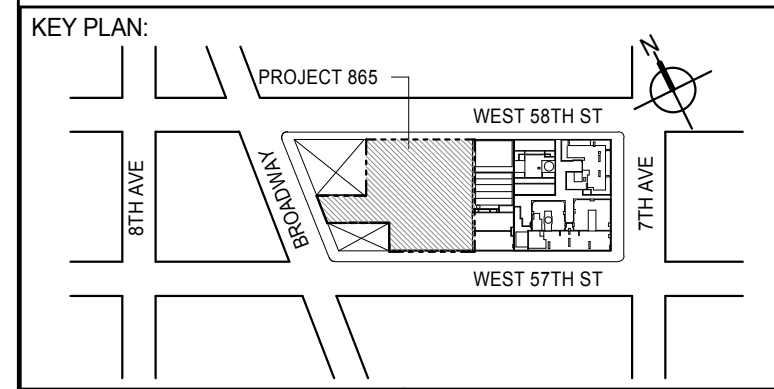
PARTIAL PLAN

A-133
1/4" = 1'-0"

(PREVIOUS SHEET A-126) TO REVISION - 3



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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INTERIOR DESIGNER: Residential
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New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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3	D.O.B. SUBMISSION	18 FEB 15
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0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

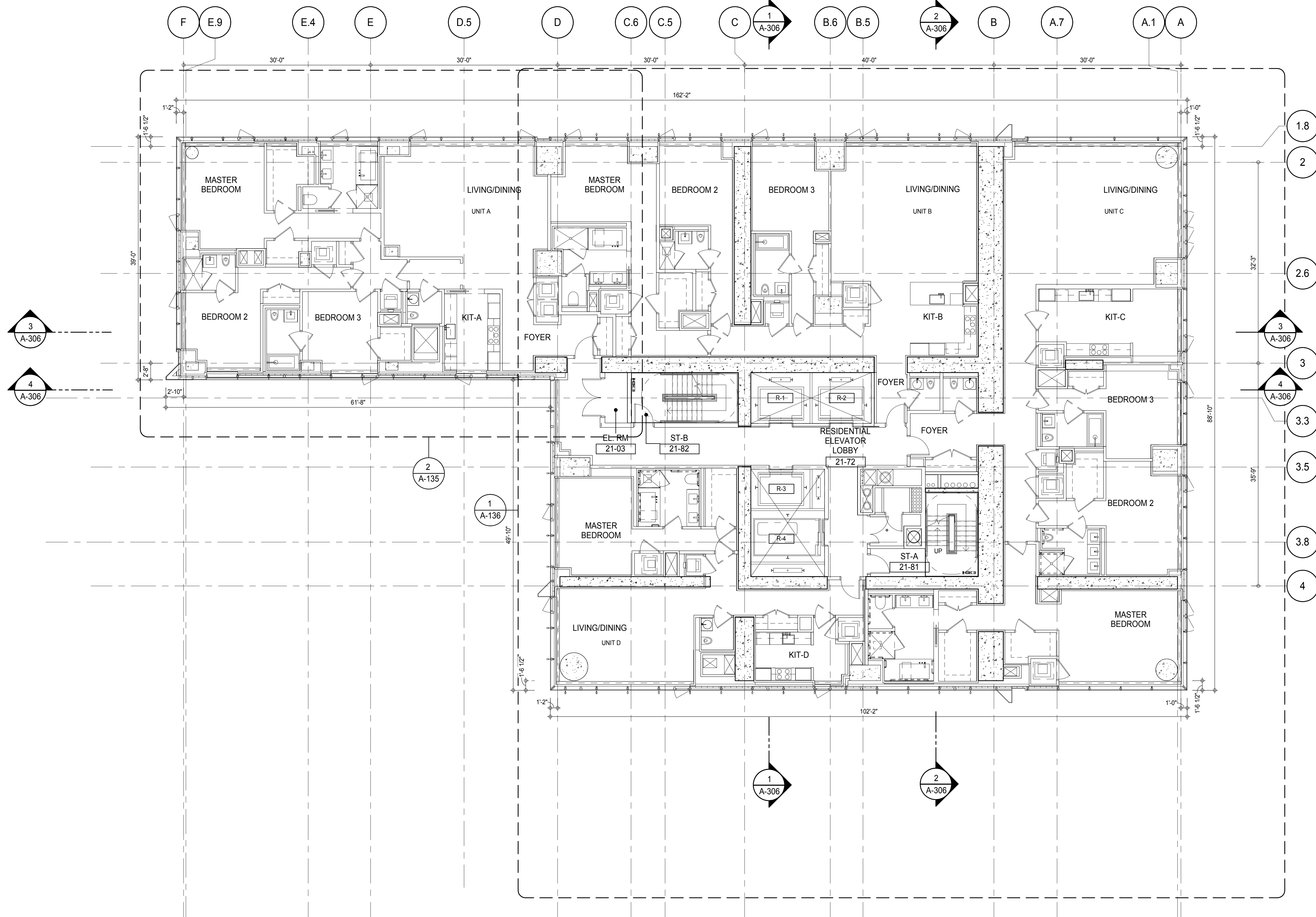
DRAWING TITLE:
20TH FLOOR PLAN (RESIDENTIAL - TIER 1)

	DATE:	15 OCT 14
	PROJECT No:	1216-00
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	CHECK: Checker	3

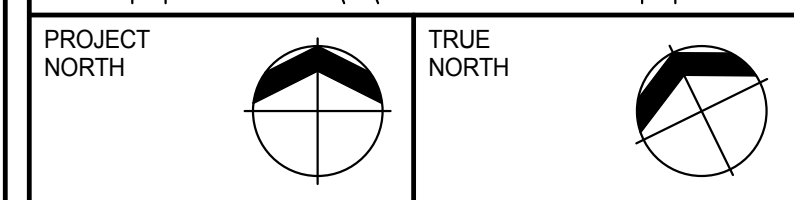
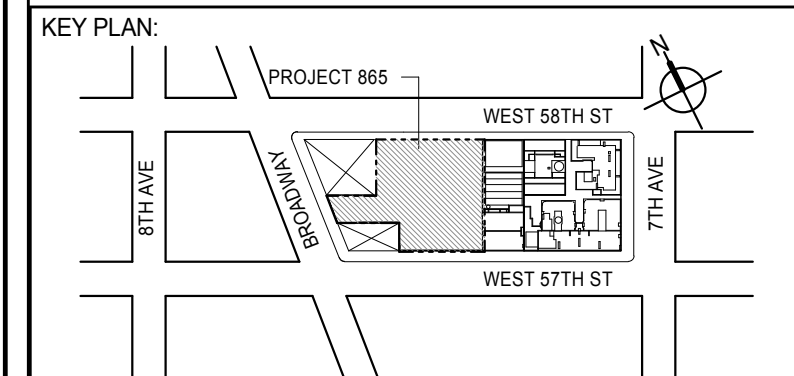
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DOB EMPLOYEE STAMP: DOB 5-SCAN:



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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 111 WEST MONROE STREET SUITE 2300
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 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:
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GEOTECHNICAL ENGINEERS:
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CODE CONSULTANTS:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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CONSULTANT:

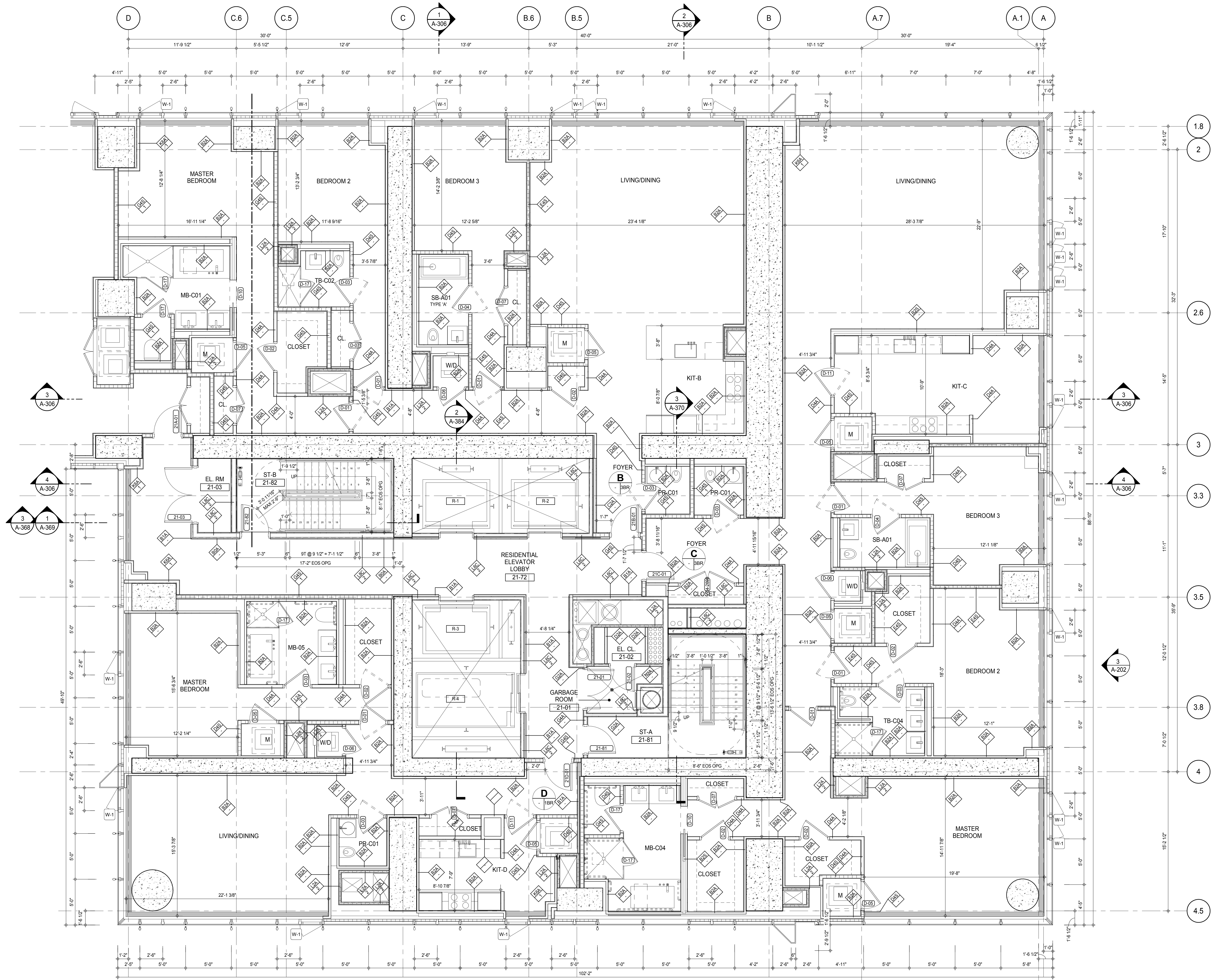


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

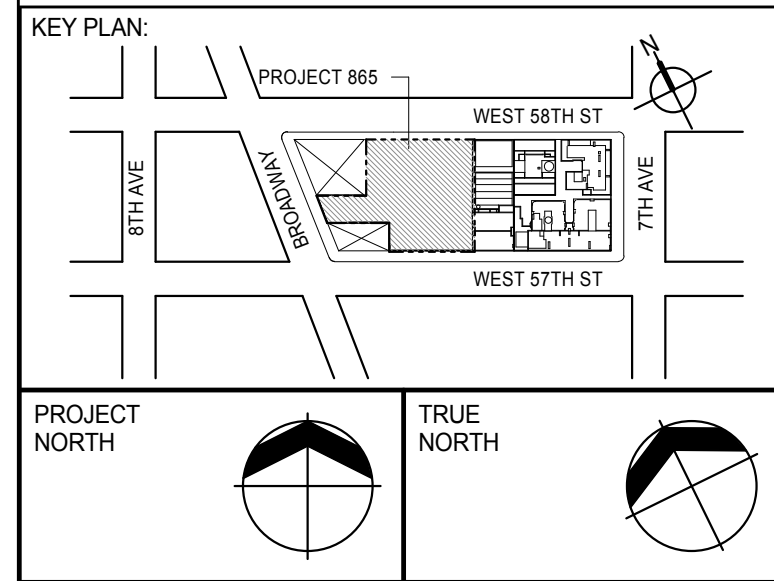
DRAWING TITLE:
21ST FLOOR PLAN (RESIDENTIAL - TIER 1)

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: Checker
	SCALE: As indicated
DWG No:	REV: 3
	A-135.00
DOB PAGE No: 147 of 500	
DOB EMPLOYEE STAMP:	DOB S-SCAN:

PARTIAL PLAN
 1/4" = 1'-0"



SHEET NOTES:
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3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 2' 0" 4' 0" 8' 0"

DOB SUBMISSION

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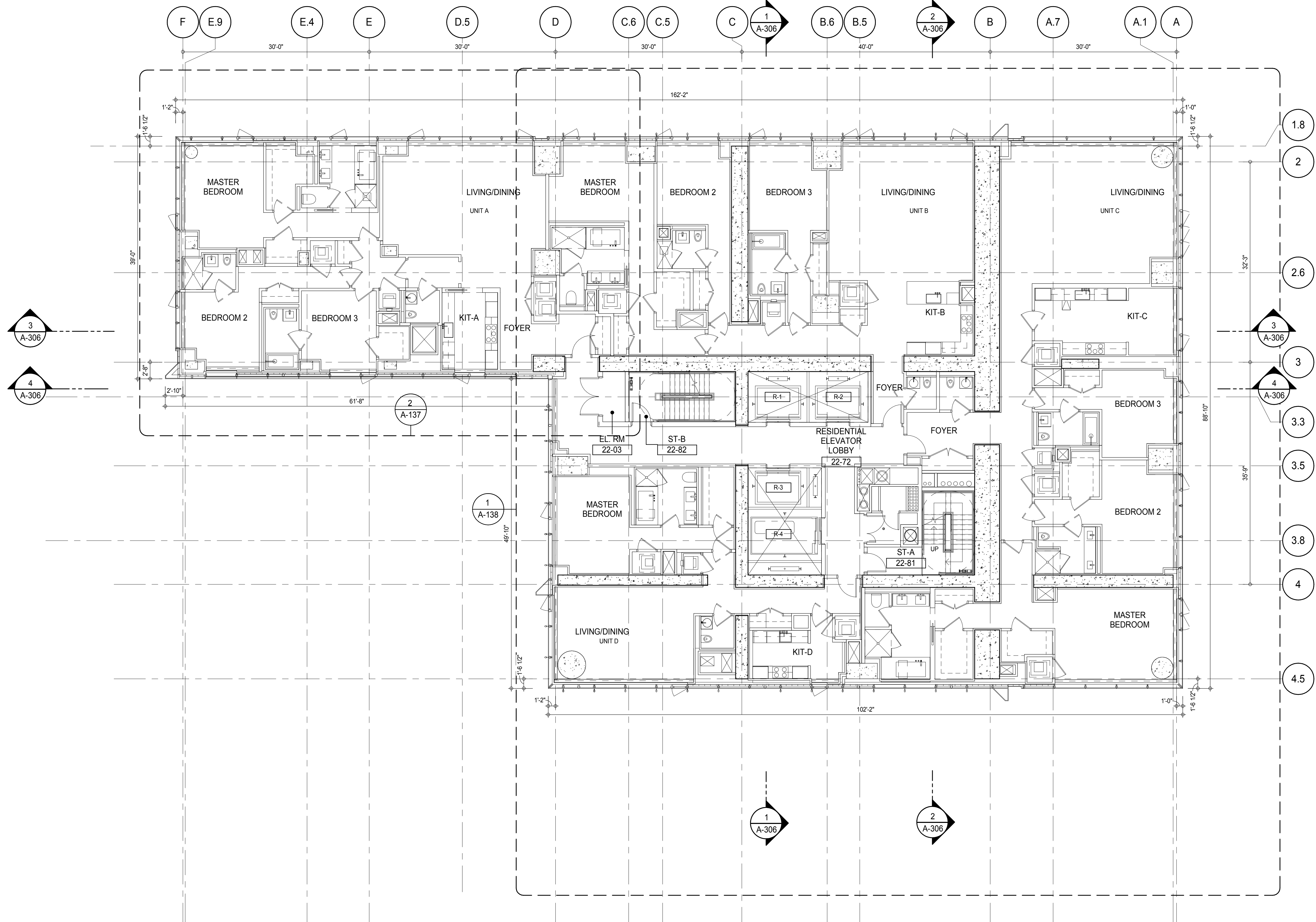
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
21ST FLOOR PLAN (RESIDENTIAL - TIER 1)

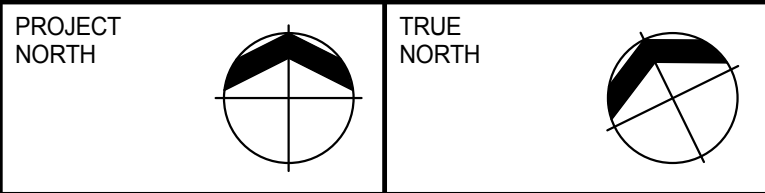
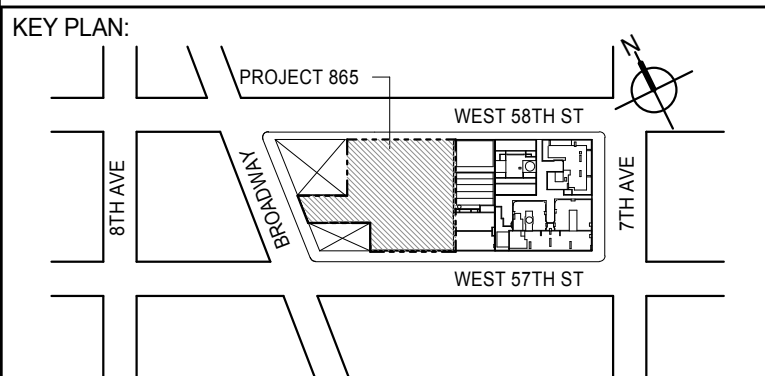
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	DRAWN: Author	REV:
	CHECK: Checker	3
SCALE: As indicated		
DWG No:		A-136.00

DOB PAGE No: 148 of 590

DOB 5-SCAN:



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



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	D.O.B. SUBMISSION	27 APR 14

0 4' - 0" 8' - 0" 16' - 0"

DOB SUBMISSION

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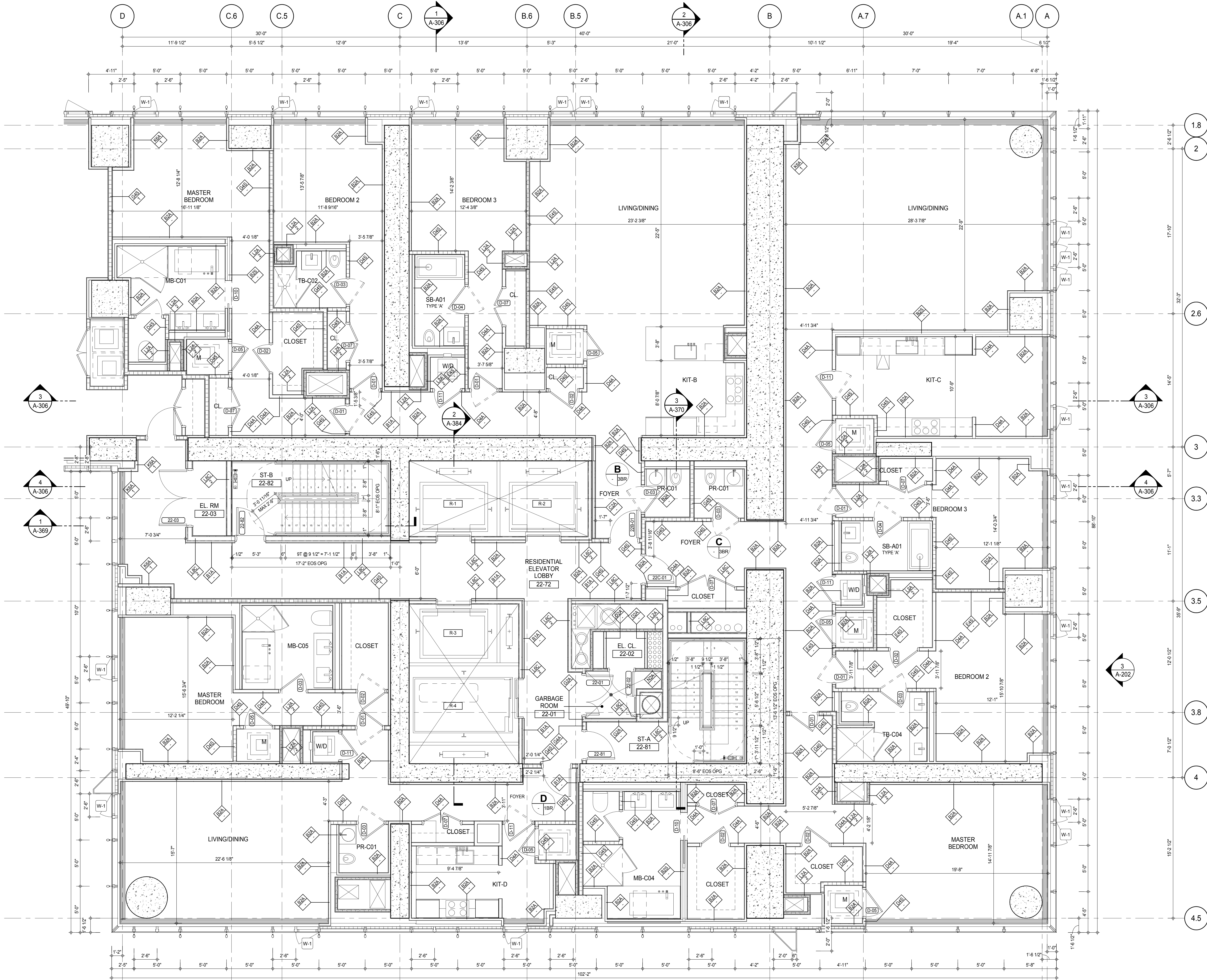
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217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
22ND-25TH FLOOR PLAN
(RESIDENTIAL - TIER 1)

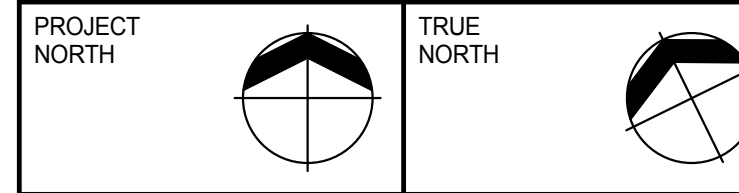
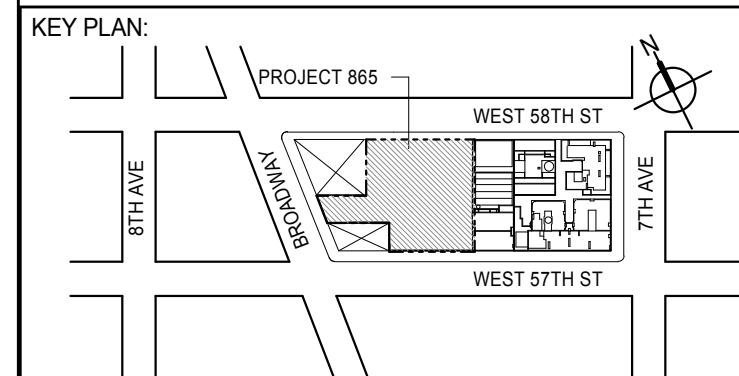
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	CHECK: Checker	3
	SCALE: As Indicated	
DWG No:		
	A-137.00	

DOB EMPLOYEE STAMP: DOB PAGE No: 148 of 590 DOB 5-SCAN:

PARTIAL PLAN
14" = 1'-0" 2



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
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DESIGN ARCHITECT: Base Building Shell & Core
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 288 Fifth Ave, 7th Floor
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MEP ENGINEERS:
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3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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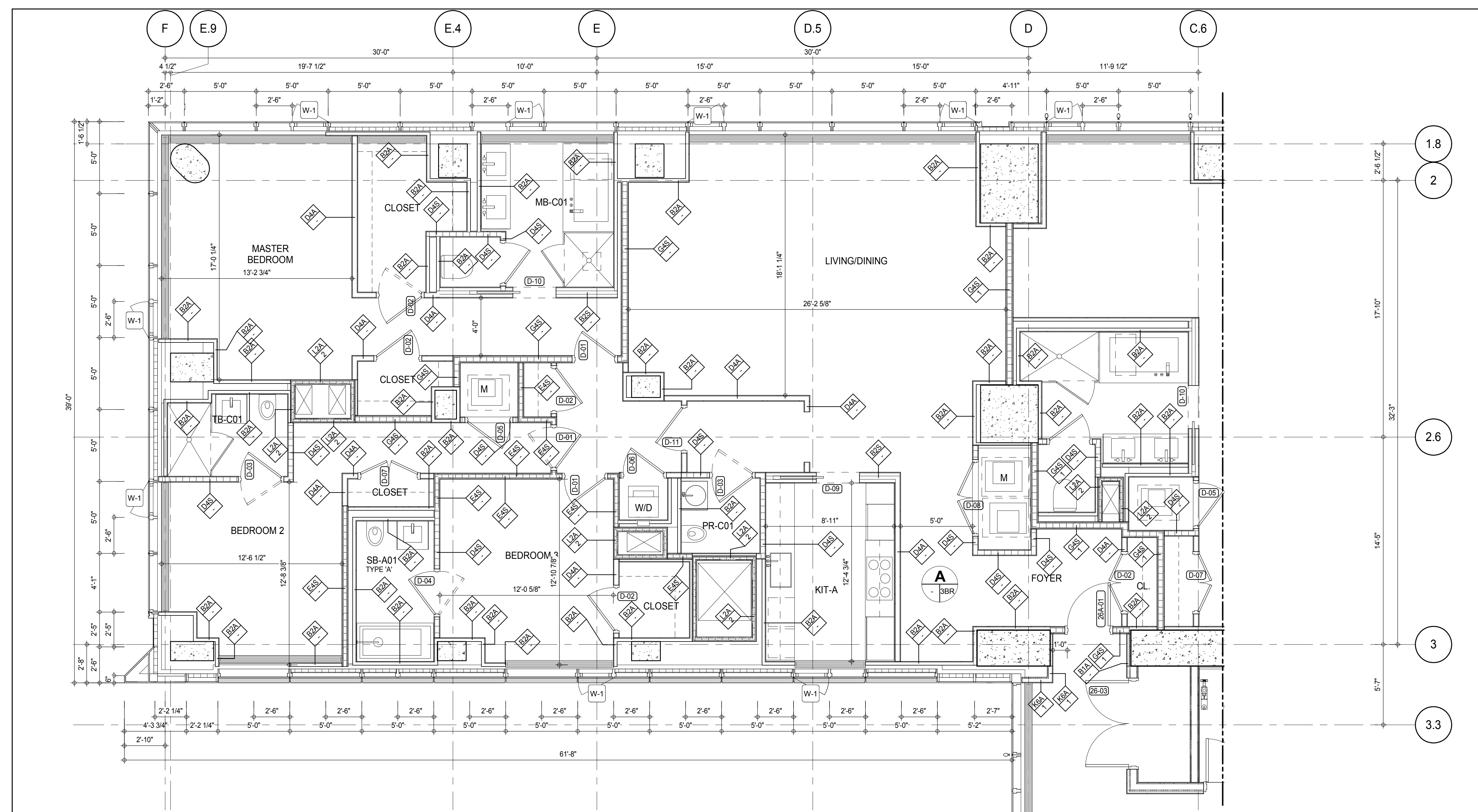
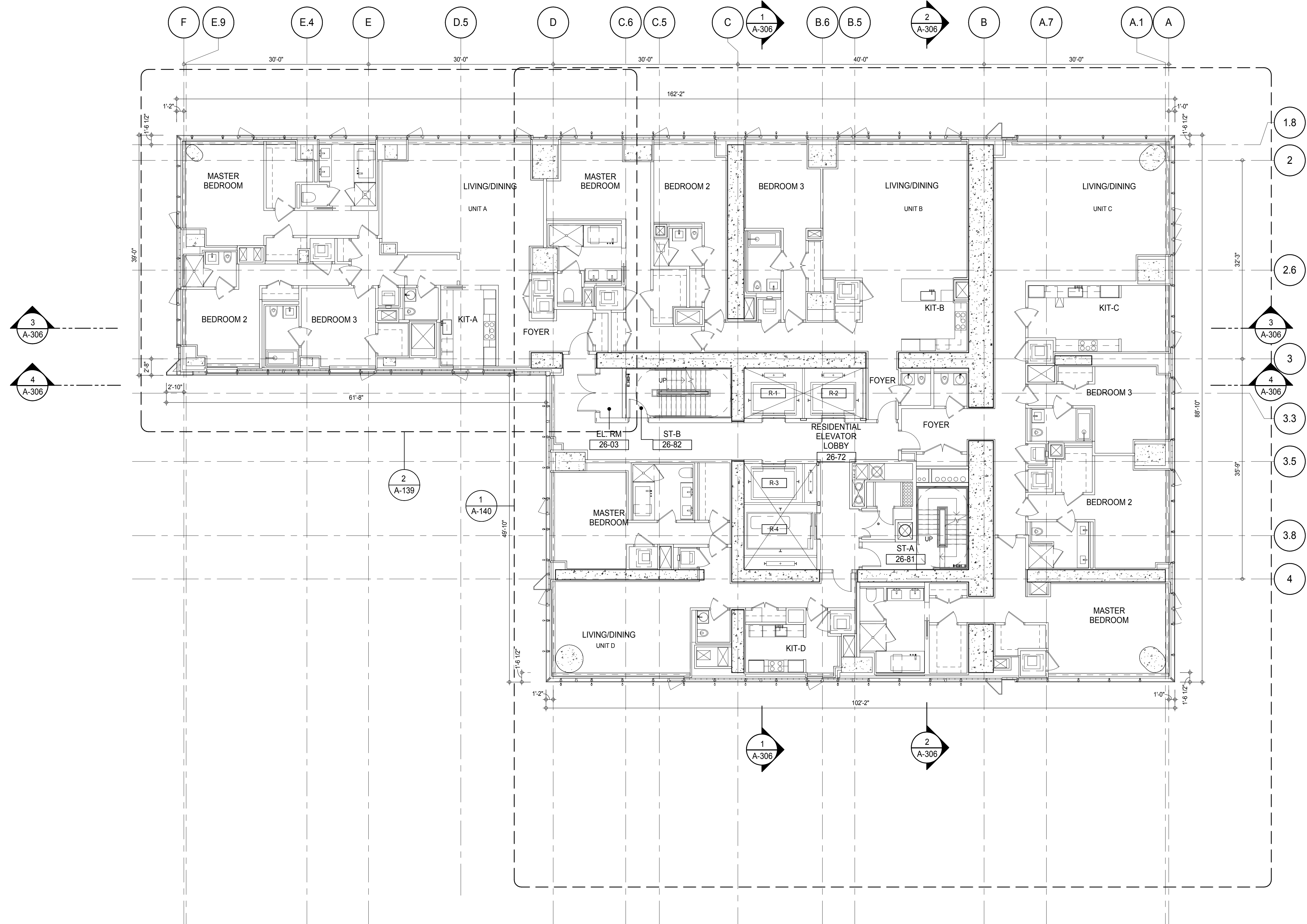
CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
22ND-25TH FLOOR PLAN
(RESIDENTIAL - TIER 1)

SEAL & SIGNATURE 	DATE: 15 OCT 14
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	DRAWN: Author
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DWG No:	SCALE: As indicated
DOB PAGE No: 168 of 190	DOB 5-SCAN:

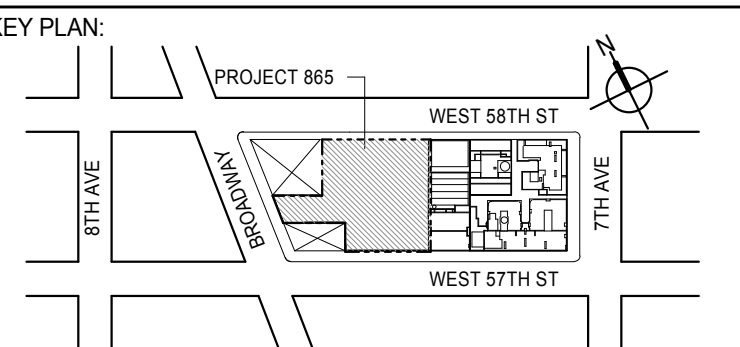
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A-138.00





PARTIAL PLAN 2
A-139
1/4" = 1'-0"

SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH		TRUE NORTH	
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DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

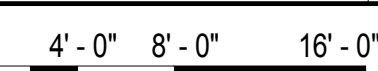
CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
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No.	DESCRIPTION	DATE
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3	D.O.B. SUBMISSION	18 FEB 15
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CONSULTANT: **DAAT**

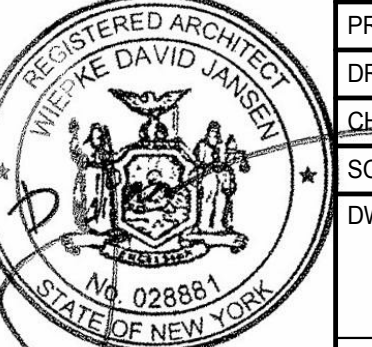
PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

26TH FLOOR PLAN (RESIDENTIAL -
TIER 1)

EAL & SIGNATURE:	DATE:	15 OCT 14
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DATE: 15 OCT 14

PROJECT No:	1216-00
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CHK: Checker	3

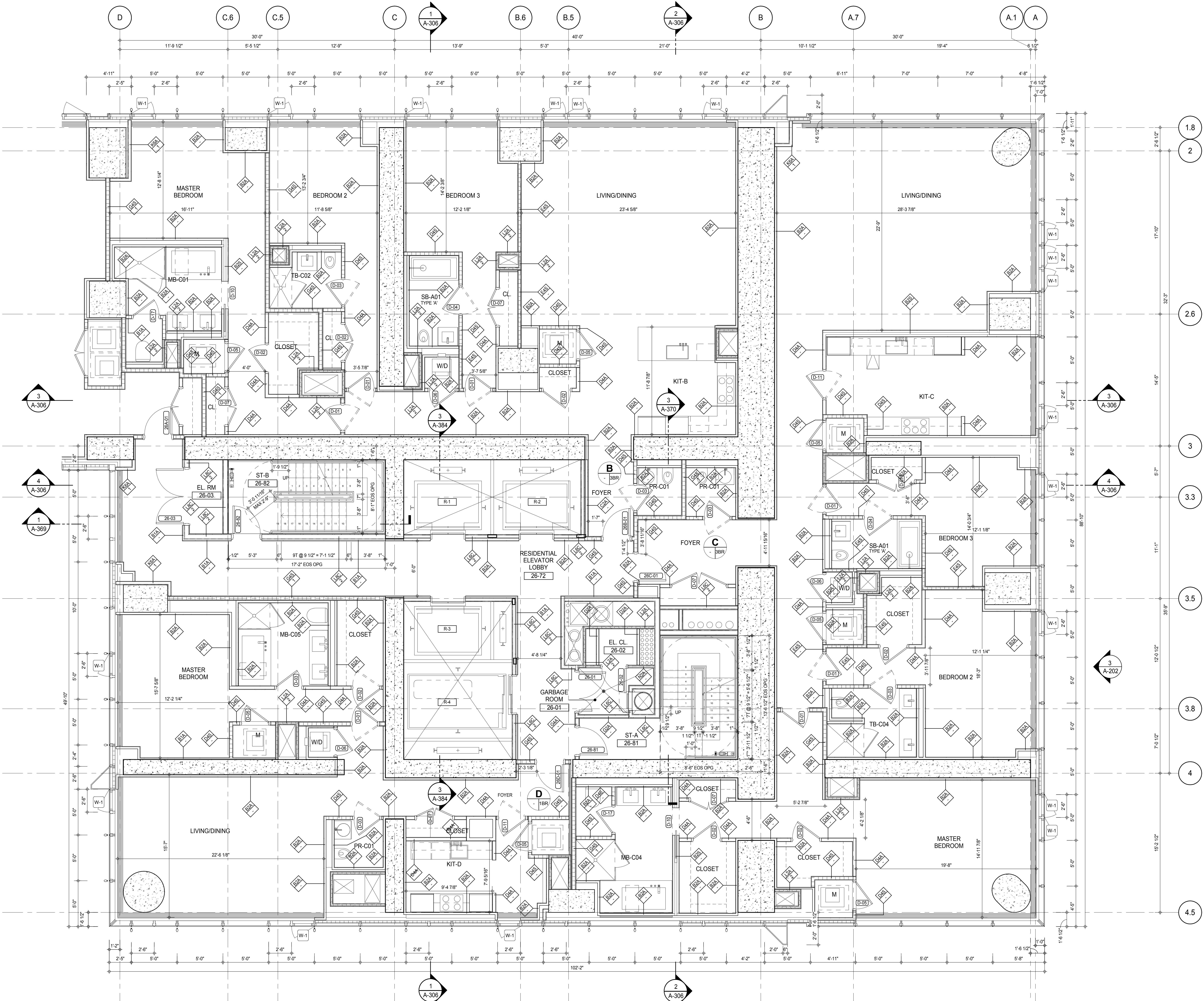
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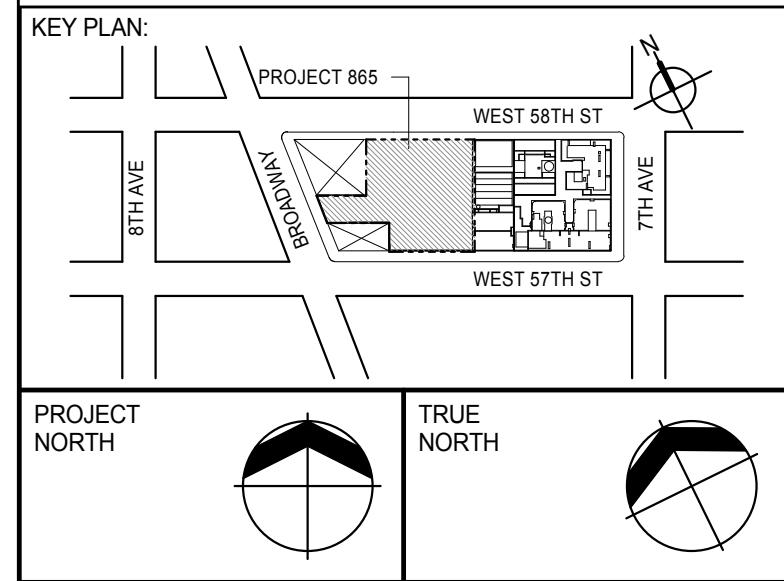
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DOB PAGE No: 151 of 500

DB PAGE No: 151 of 500



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



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3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 2' - 0" 4' - 0" 8' - 0"

DOB SUBMISSION

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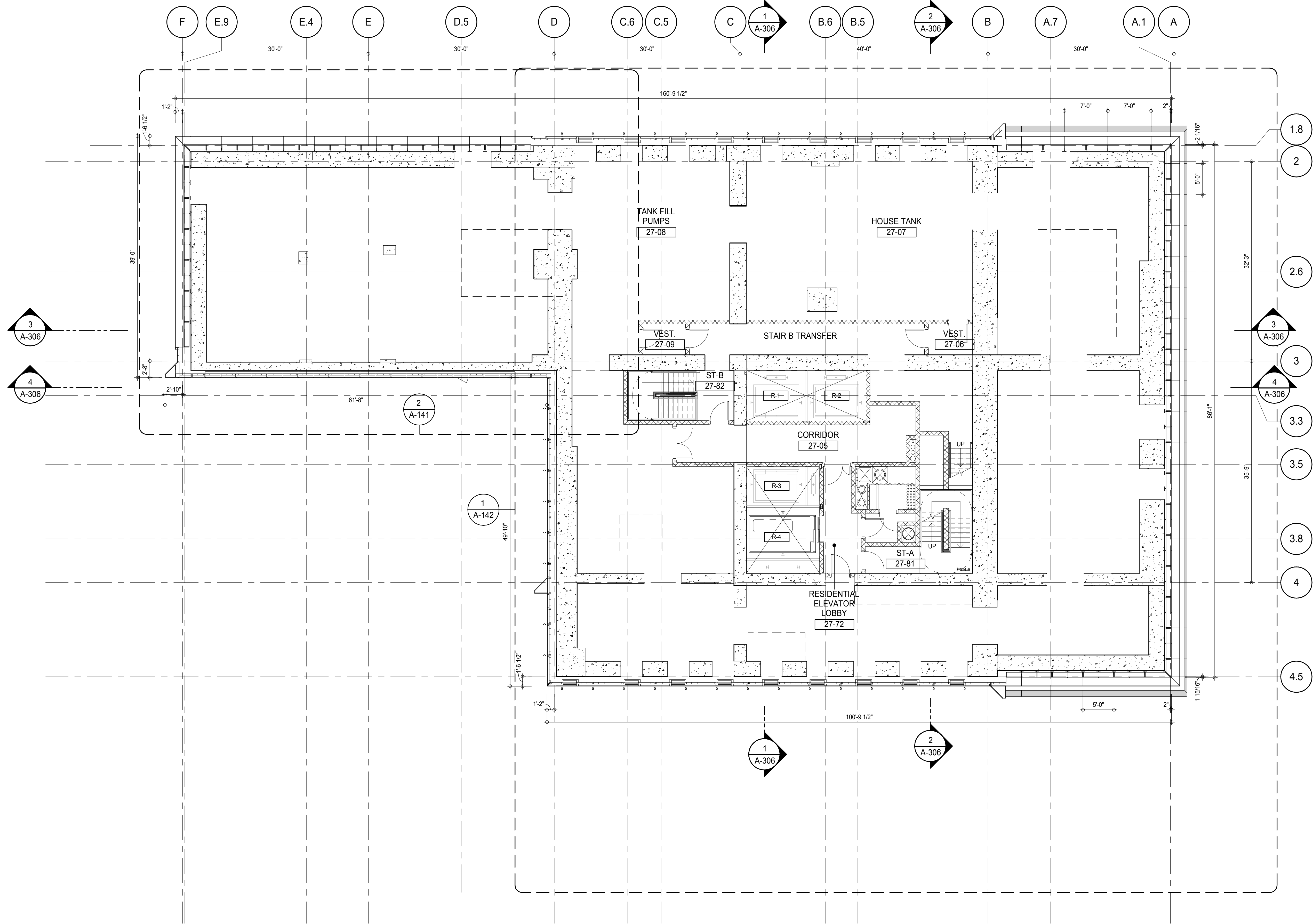
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CONSULTANT:
AAI
 ARCHITECTS, P.C.

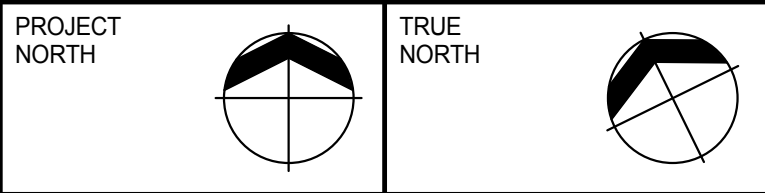
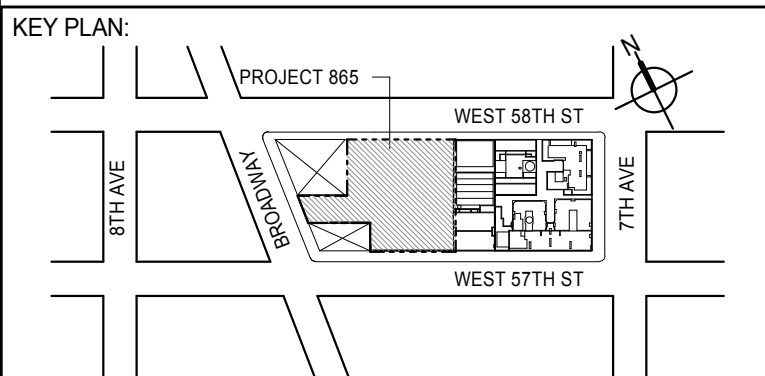
PROJECT:
 217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
 26TH FLOOR PLAN (RESIDENTIAL - TIER 1)

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: Checker
	SCALE: As indicated
DWG No:	A-140.00
DOB PAGE No: 163 of 590	
DOB EMPLOYEE STAMP:	DOB 5-SCAN:



SHEET NOTES:
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0 4' - 0" 8' - 0" 16' - 0"

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PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
27TH FLOOR PLAN (MECHANICAL)

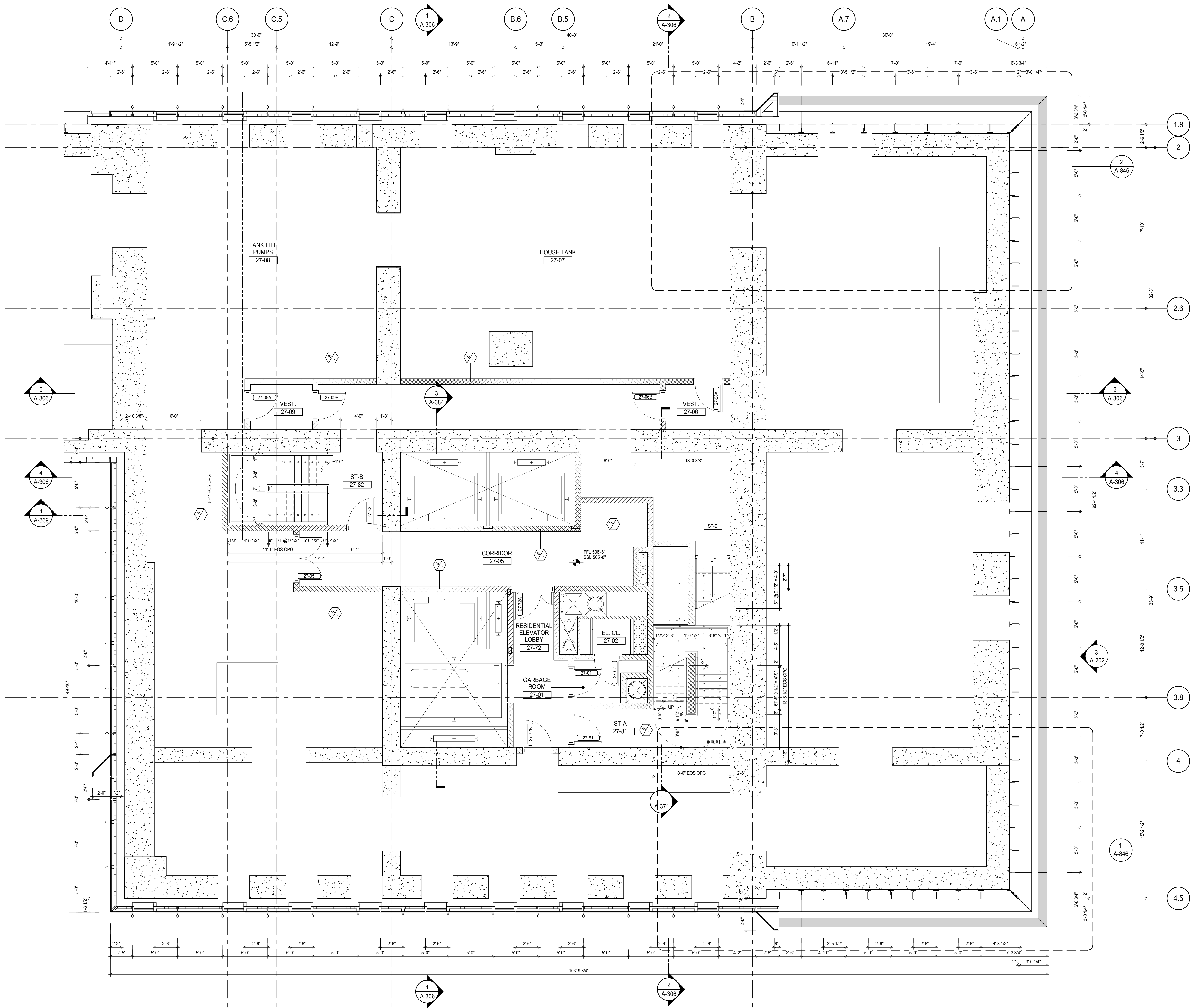
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	PROJECT No: 1216-00	
	DRAWN: Author	REV:
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	SCALE: As Indicated	
	DWG No:	A-141.00
PLOT DATE: Nov. 17, 2014		

DOB PAGE No: 163 of 590

DOB EMPLOYEE STAMP: DOB 5-SCAN:

PARTIAL PLAN
A-141
1/4" = 1'-0"

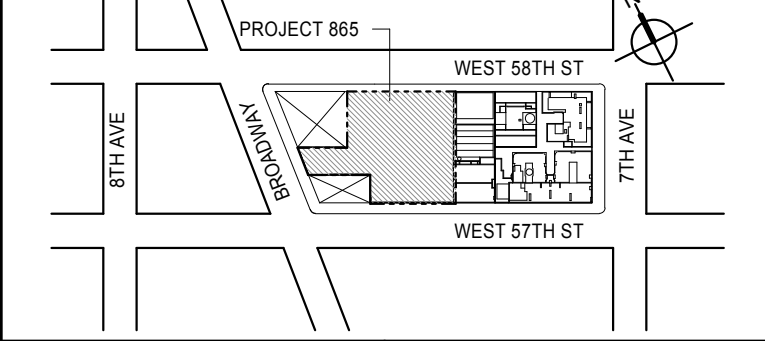
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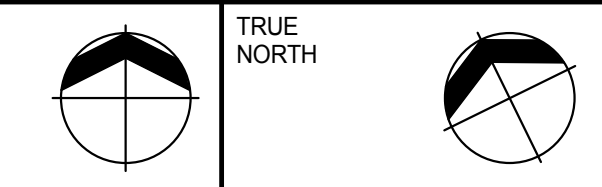
SHEET NOTES:

1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.

KEY PLAN:



PROJECT NORTH:



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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INTERIOR DESIGNER:

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TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2' - 0" 4' - 0" 8' - 0"

DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

27TH FLOOR PLAN (MECHANICAL)

SEAL & SIGNATURE:



DATE:

15 OCT 14

PROJECT No:

1216-00

DRAWN: Author

REV:

CHECK: Checker

3

SCALE: As indicated

DWG No:

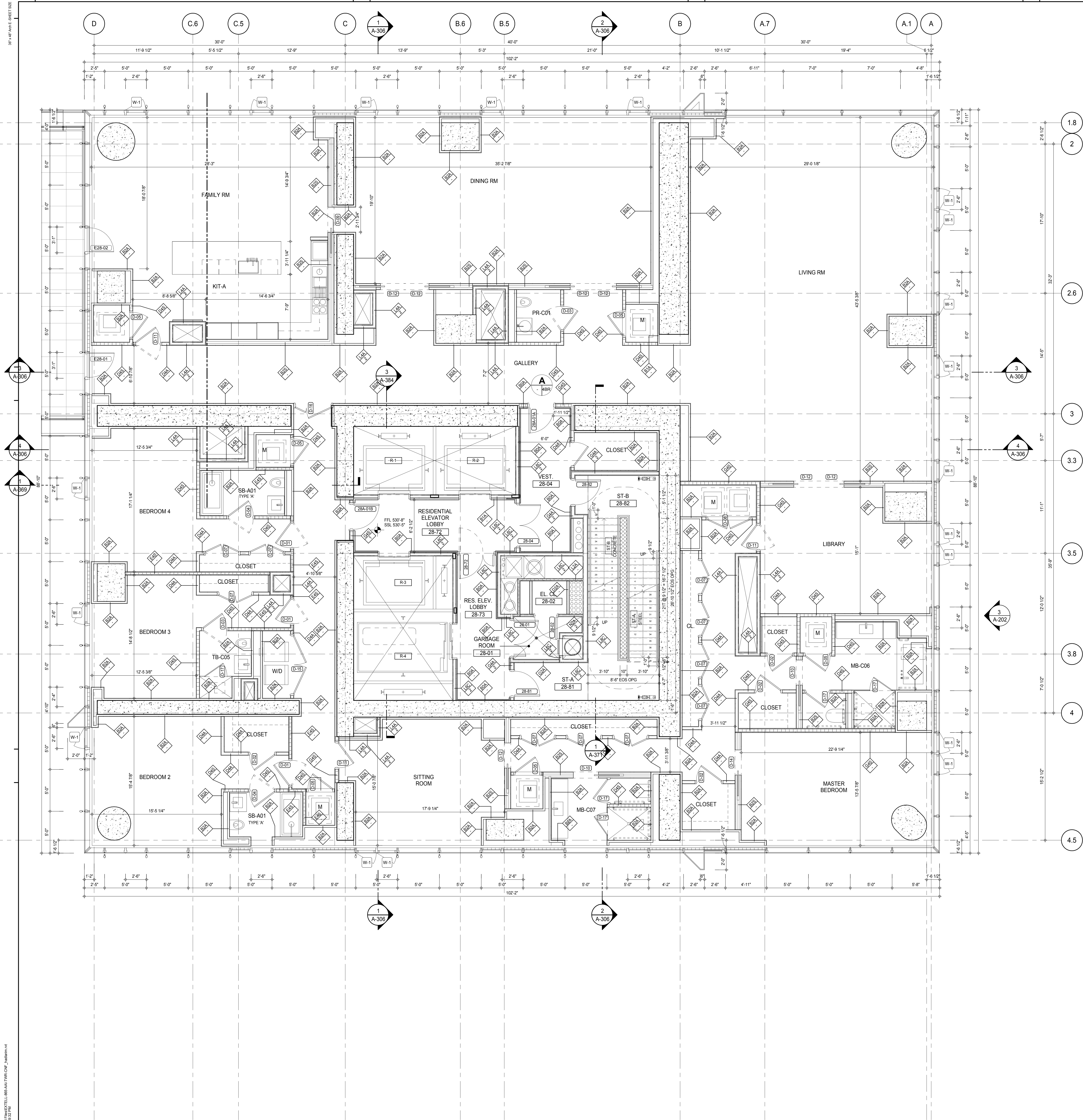
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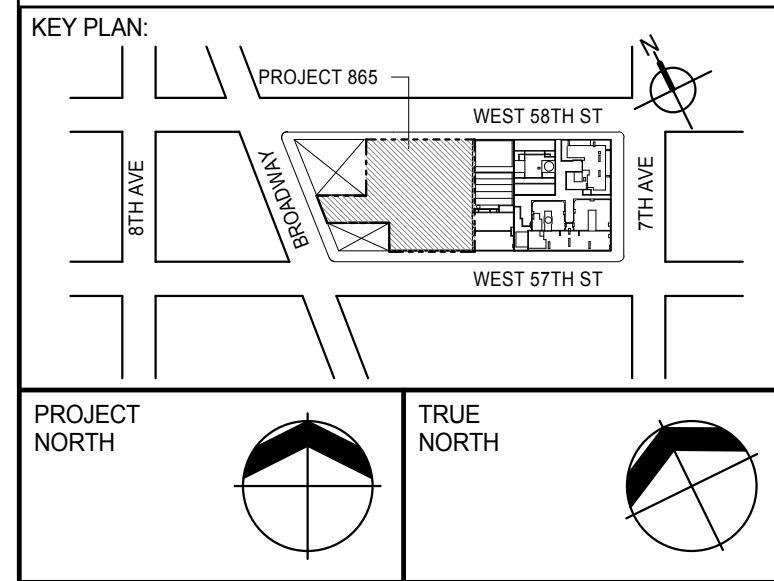
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DOB EMPLOYEE STAMP:

DOB S-SCAN:



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 212 698 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
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Construction Consulting Associates
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TEL: 212 385 1818 FAX: 212 385 1911

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TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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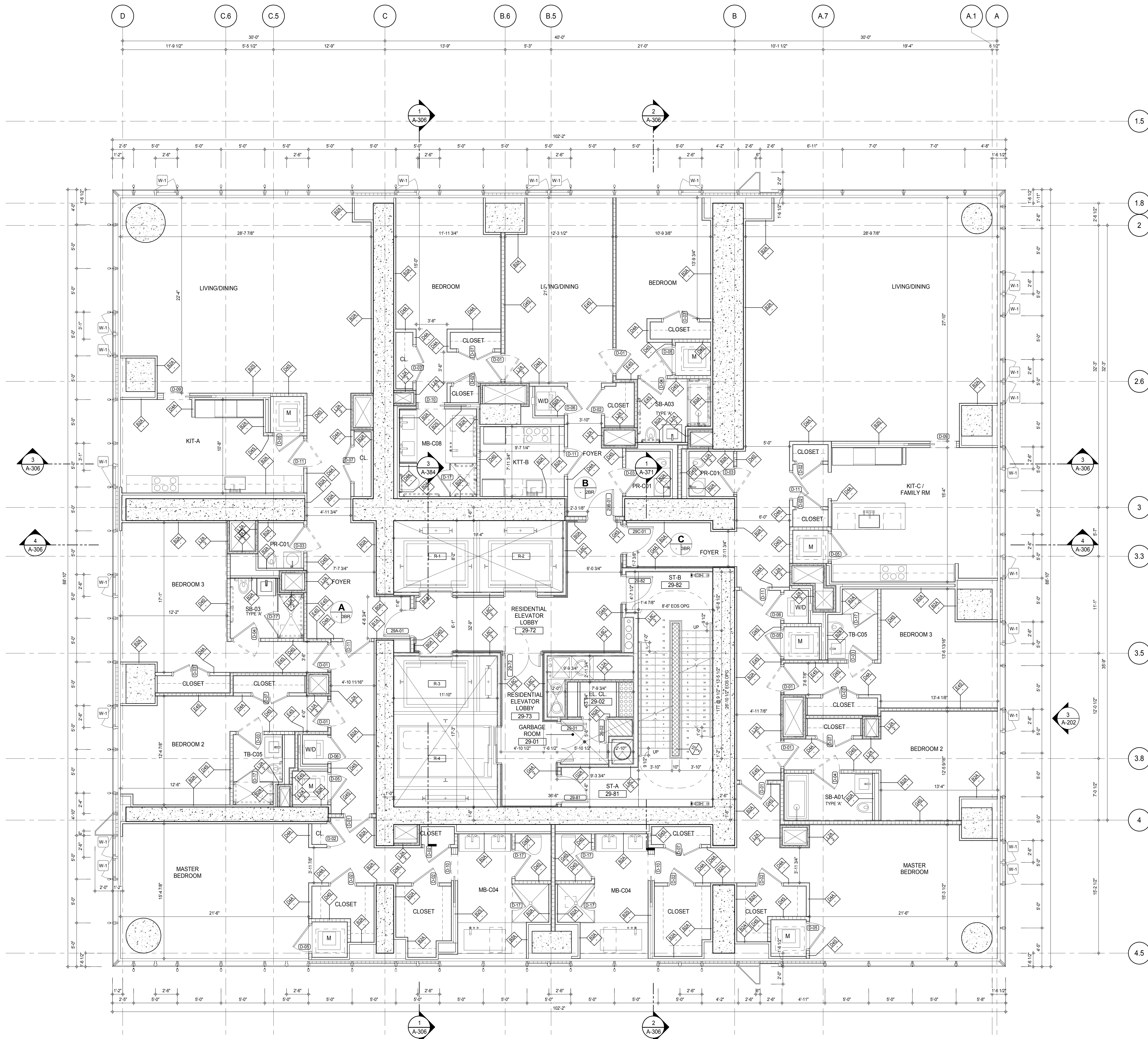
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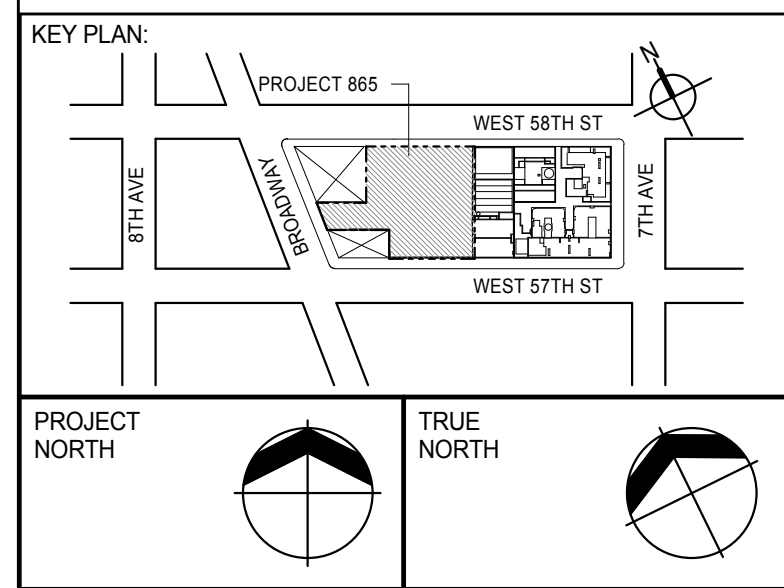
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
28TH FLOOR PLAN (RESIDENTIAL - TIER 2)

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	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	2
SCALE: As indicated		
DWG No:		
A-144.00		
DOB PAGE No: 166 of 590		
DOB 5-SCAN:		



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 288 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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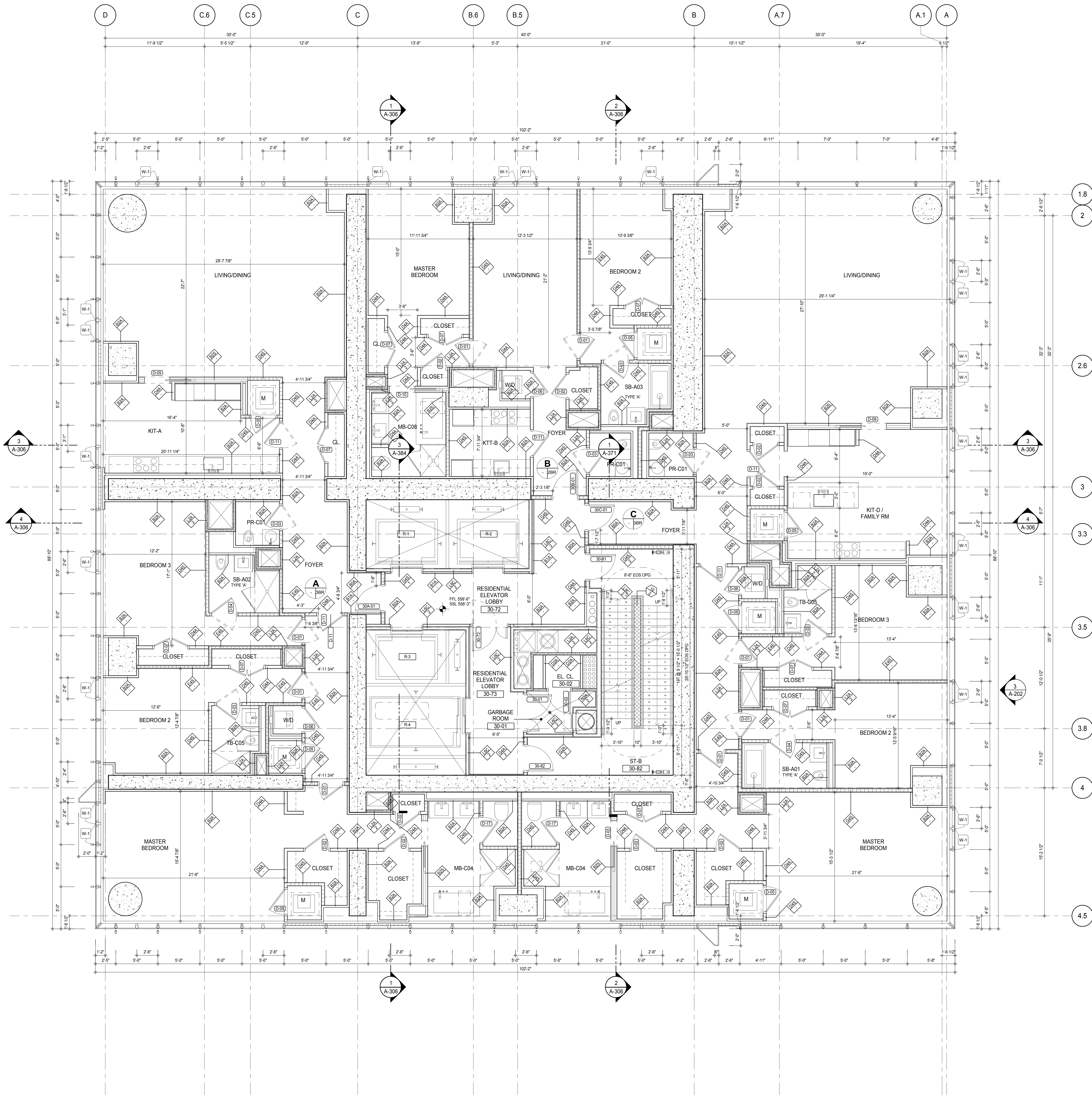
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CONSULTANT:
AAI
 ARCHITECTS, P.C.

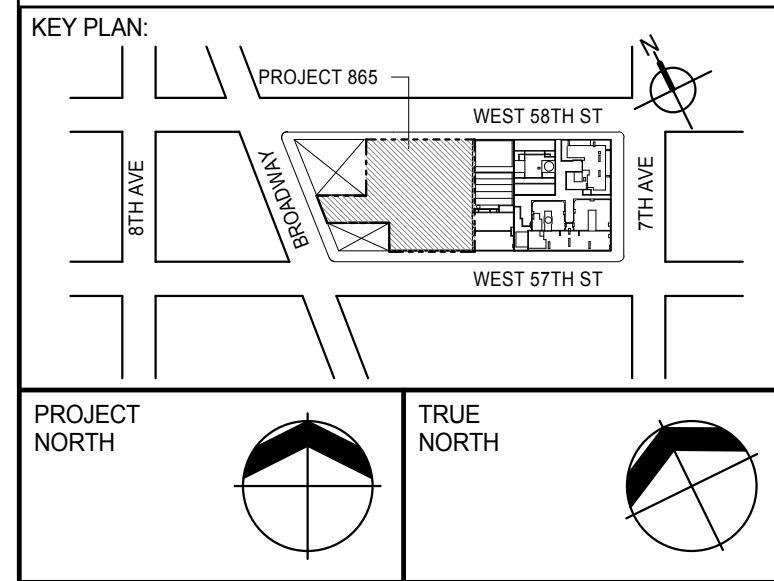
PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
29TH FLOOR PLAN (RESIDENTIAL - TIER 2)

SEAL & SIGNATURE 	DATE:	15 OCT 14
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	DRAWN: Author	REV:
	CHECK: Checker	3
DWG No:	A-145.00	
DOB PAGE No:	167 of 590	
DOB EMPLOYEE STAMP:	DOB 5-SCAN:	



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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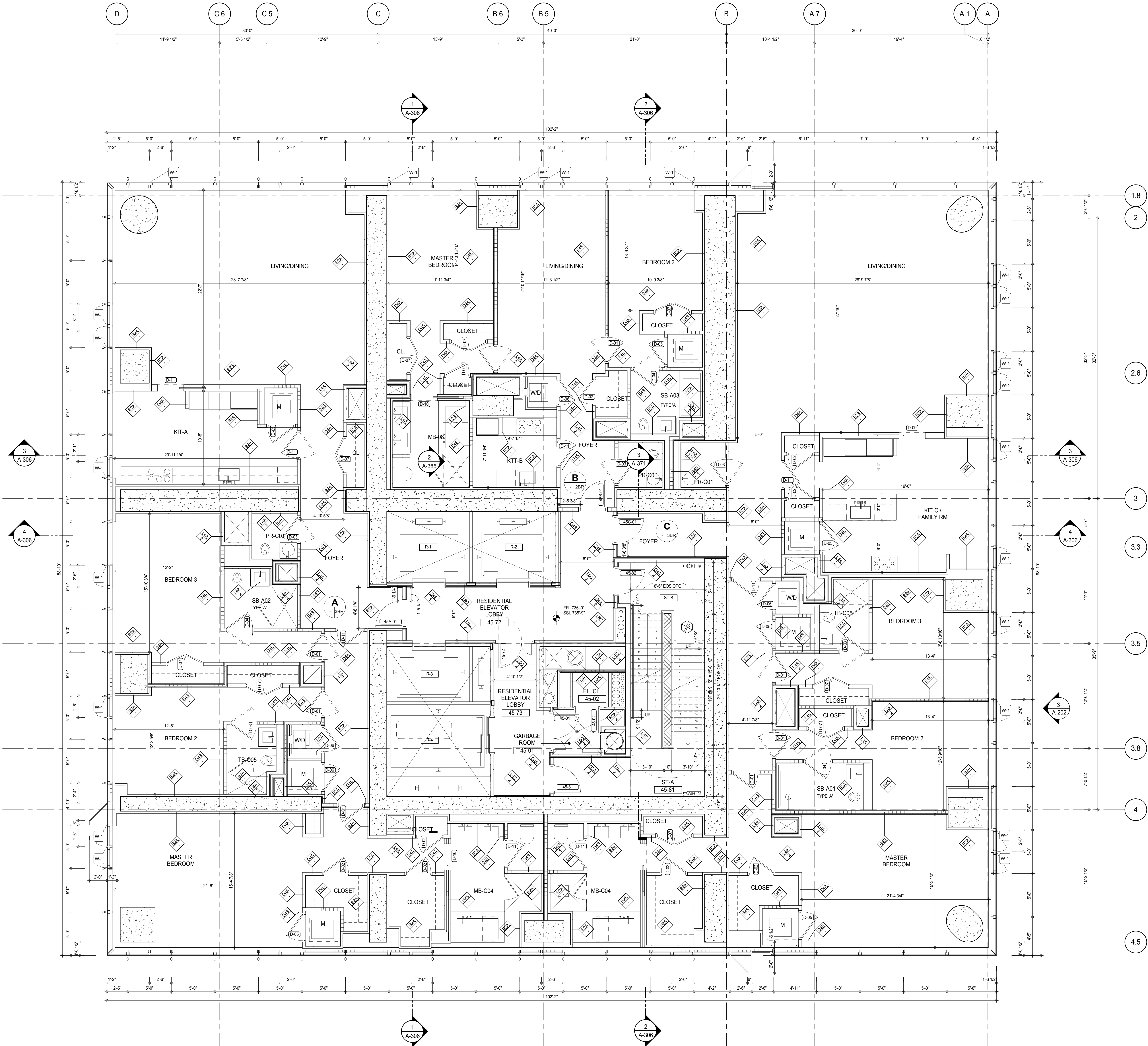
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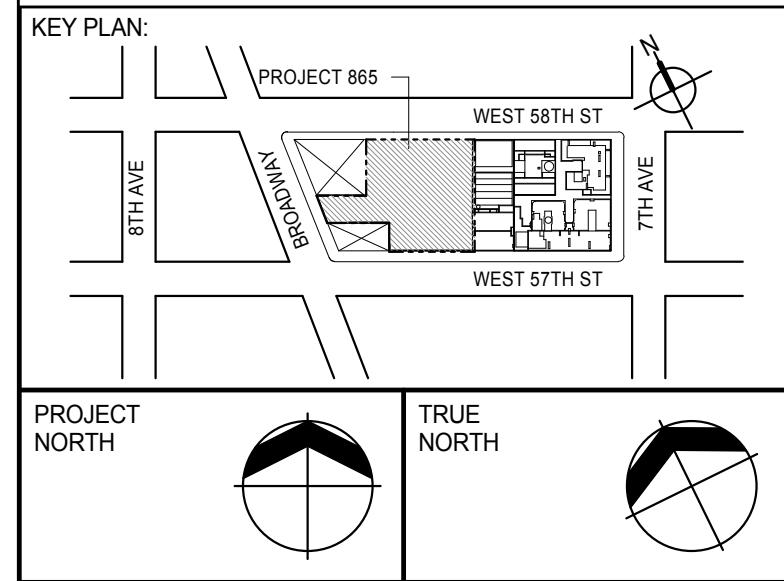
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217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
30TH-44TH FLOOR PLAN
(RESIDENTIAL - TIER 2)

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	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	2
	SCALE: As indicated	
	DWG No:	
	A-146.00	
	DOB PAGE No: 158 of 500	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH
TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
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288 Fifth Ave., 7th Floor
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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CONSULTANT:



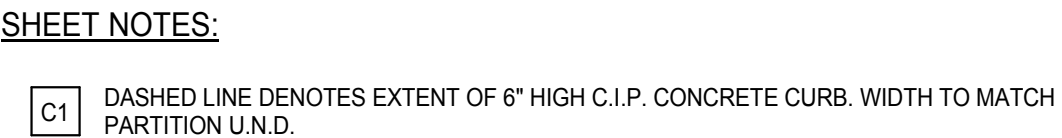
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

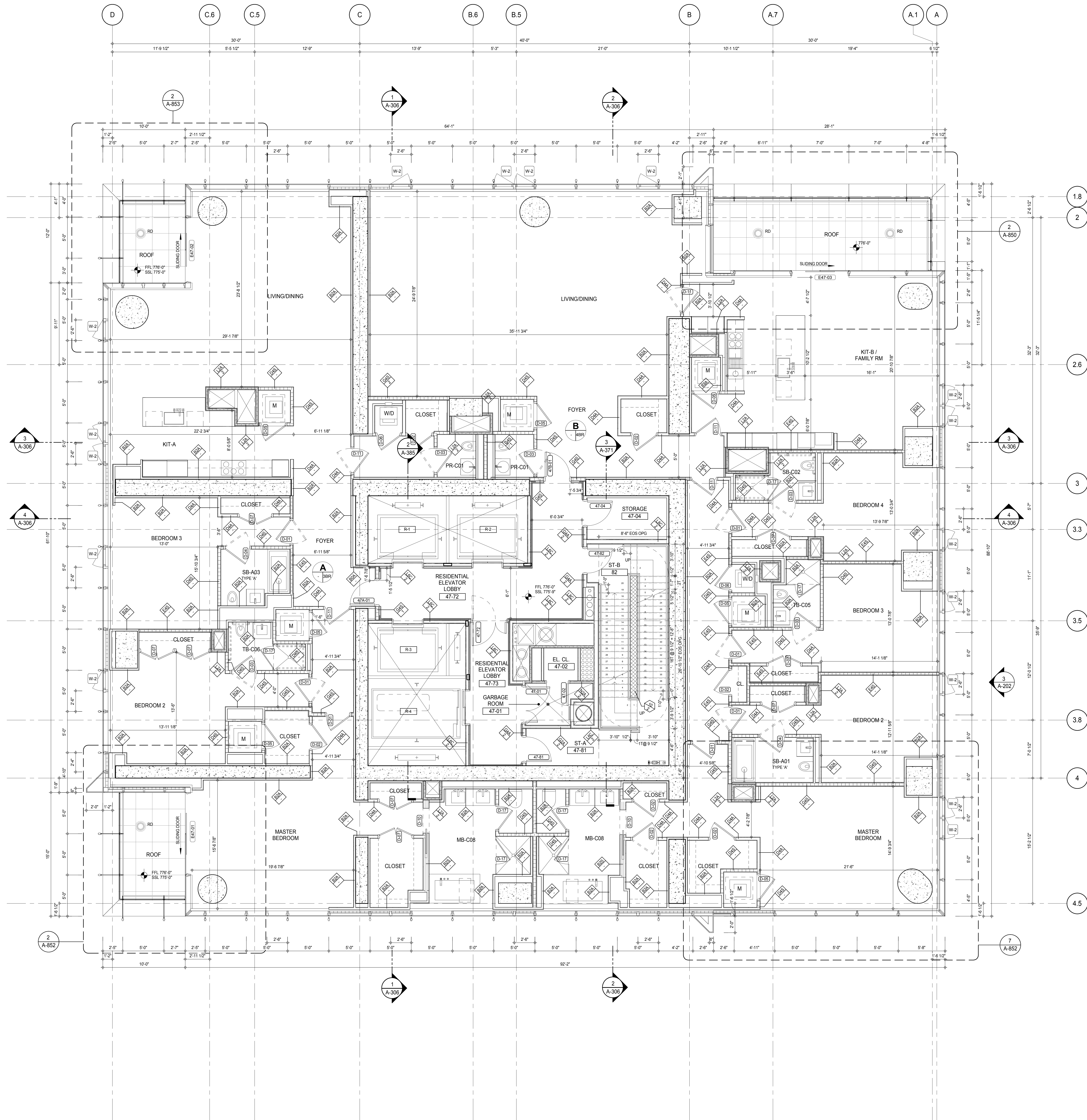
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45TH FLOOR PLAN (RESIDENTIAL - TIER 2)

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	DRAWN: Author
	CHECK: Checker
DWG No:	SCALE: As indicated
	A-147.00

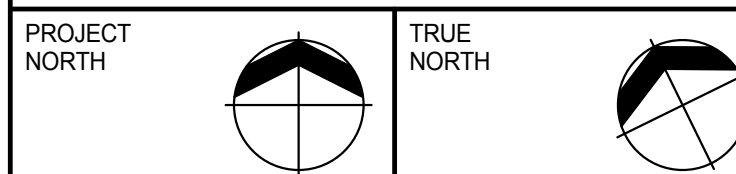
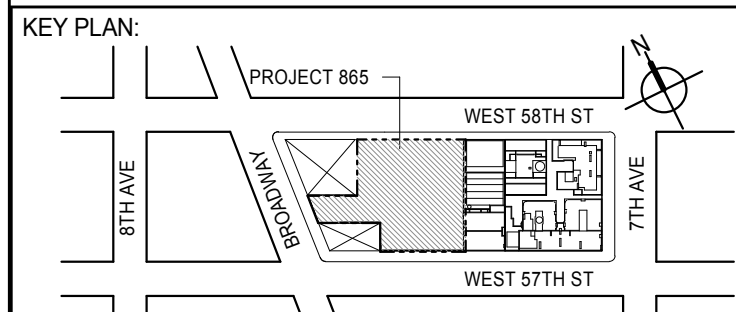
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DOB EMPLOYEE STAMP: DOB 5-SCAN:

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SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
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 111 WEST MONROE STREET SUITE 2300
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 39 West 57th Street, 12A
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3	D.O.B. SUBMISSION	18 FEB 15
4	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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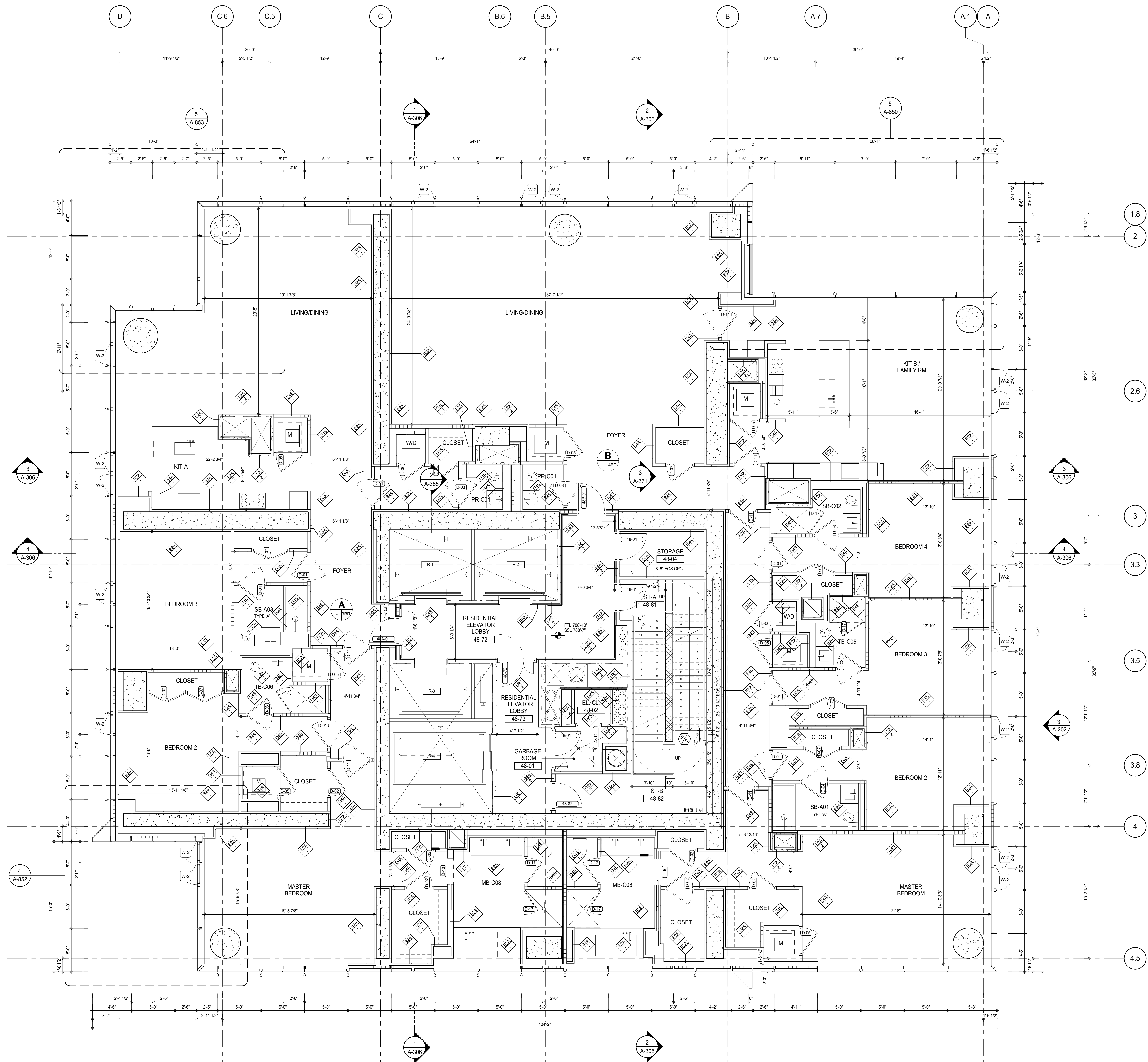
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

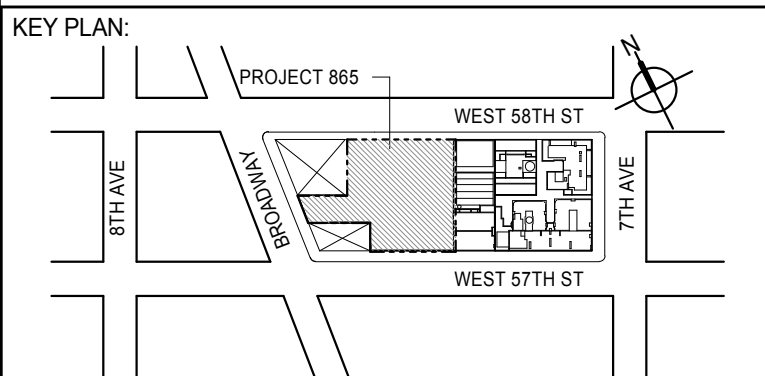
DRAWING TITLE:
47TH FLOOR PLAN (RESIDENTIAL - TIER 3)

SEAL & SIGNATURE 	DATE: 15 OCT 14
	PROJECT No: 1216-00
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	CHECKED: Checker
DWG No:	REV: 3
SCALE: As indicated	
DWG No:	A-149.00
DOB PAGE No: 161 of 330	
DOB EMPLOYEE STAMP:	DOB S-CAN:



SHEET NOTES:

- C1** DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

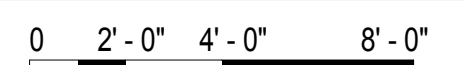
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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40 Worth Street, Suite 826
New York, NY 10013
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14



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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

48TH-65TH FLOOR PLAN
(RESIDENTIAL - TIER 3)

SEAL & SIGNATURE:	DATE:	19 DEC 14
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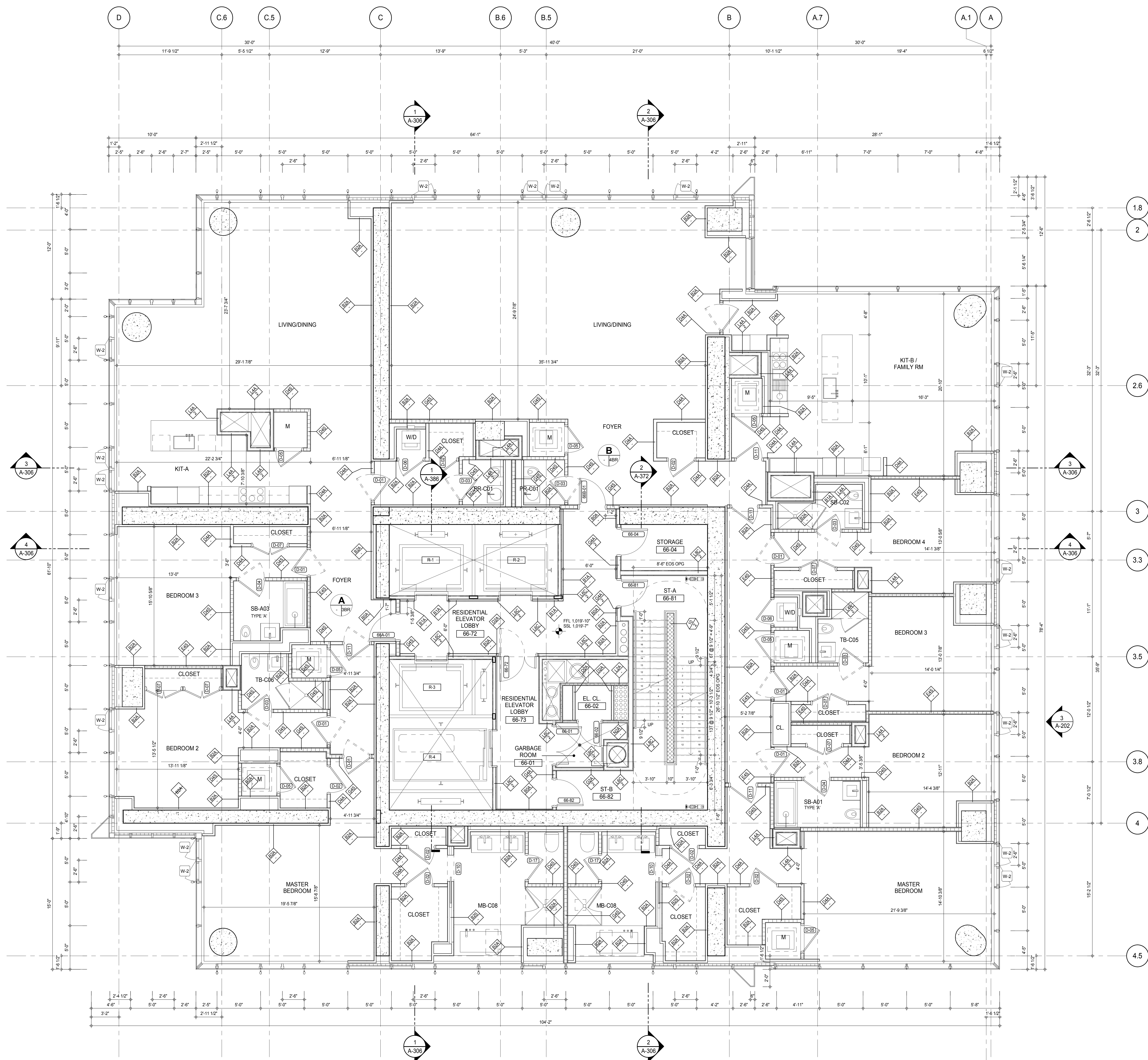
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SCALE: As indicated

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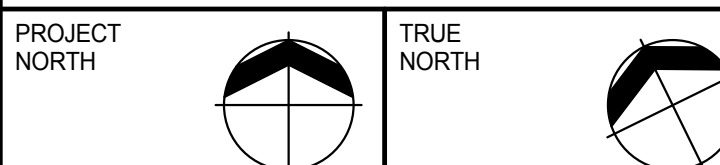
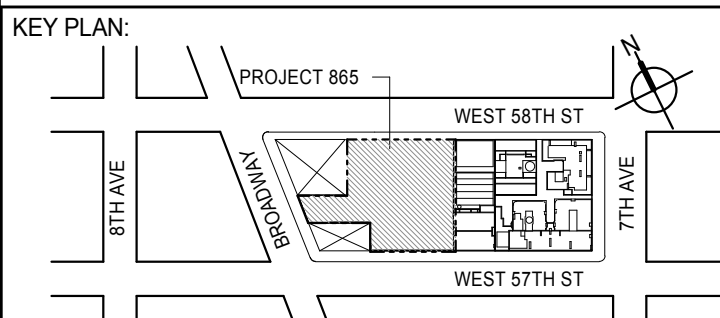
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DOB EMPLOYEE STAMP:	DOB B-SCAN:
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SHEET NOTES

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, P
298 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 1
2	D.O.B. SUBMISSION	18 FEB 1
	D.O.B. SUBMISSION	27 APR 1

0 2' - 0" 4' - 0" 8' - 0"

DOB SUBMISSION

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CONSULTANT



PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

66TH FLOOR PLAN (RESIDENTIAL - TIER 3)

SEAL & SIGNATURE:	DATE:	19 DEC
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	DRAWN: Author		REV:
	CHECKED:		DATE:

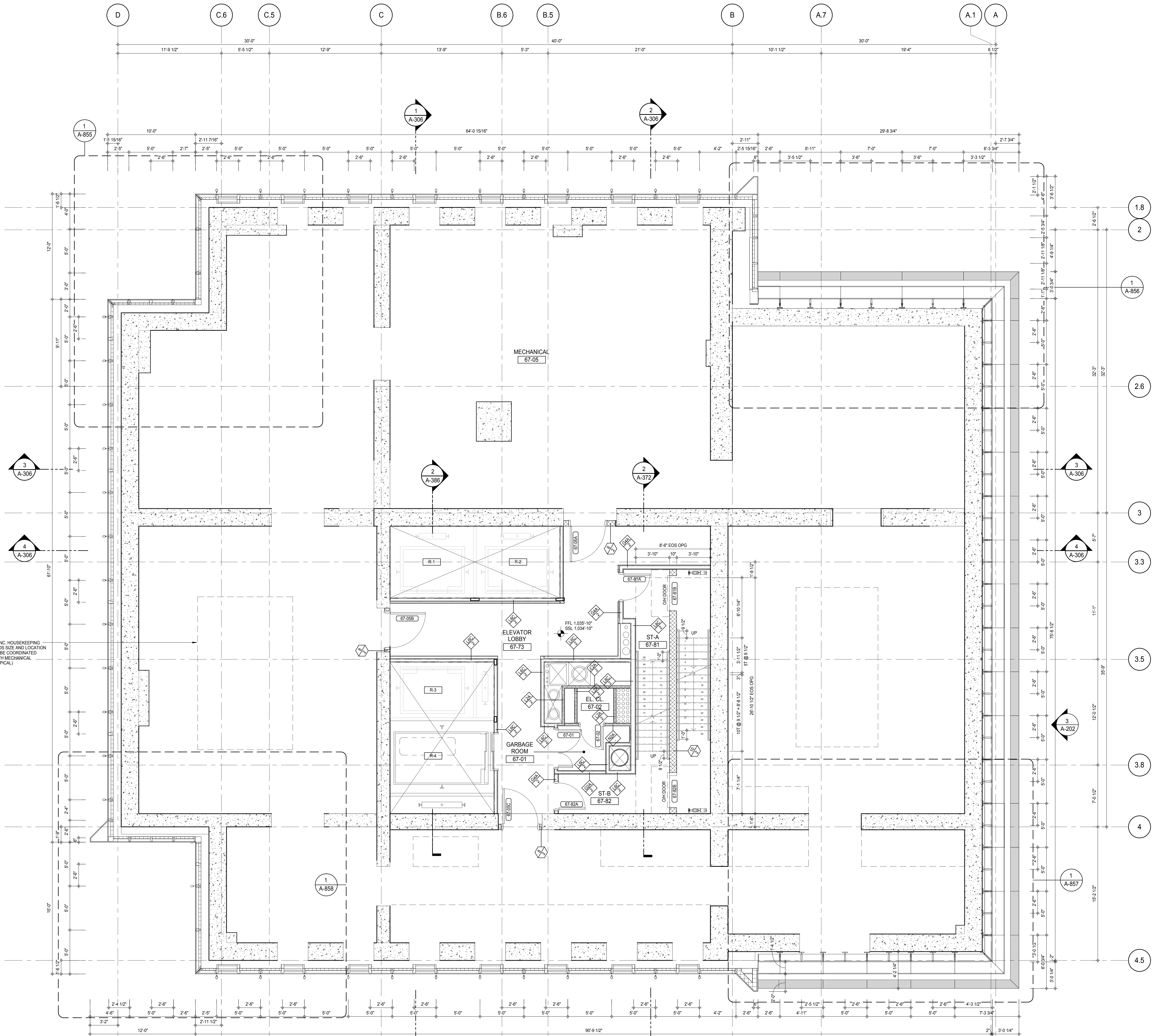
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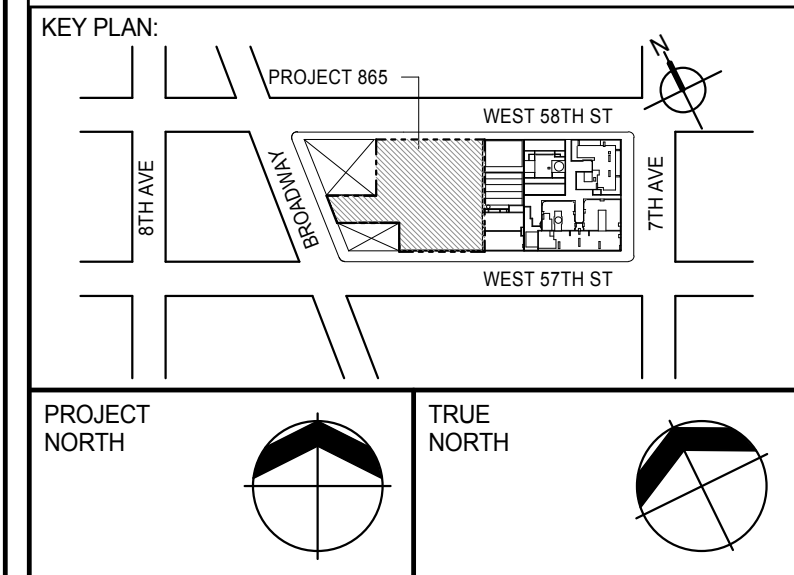
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DOB EMPLOYEE STAMP:	DOB B-SCAN:
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SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 288 Fifth Ave, 7th Floor
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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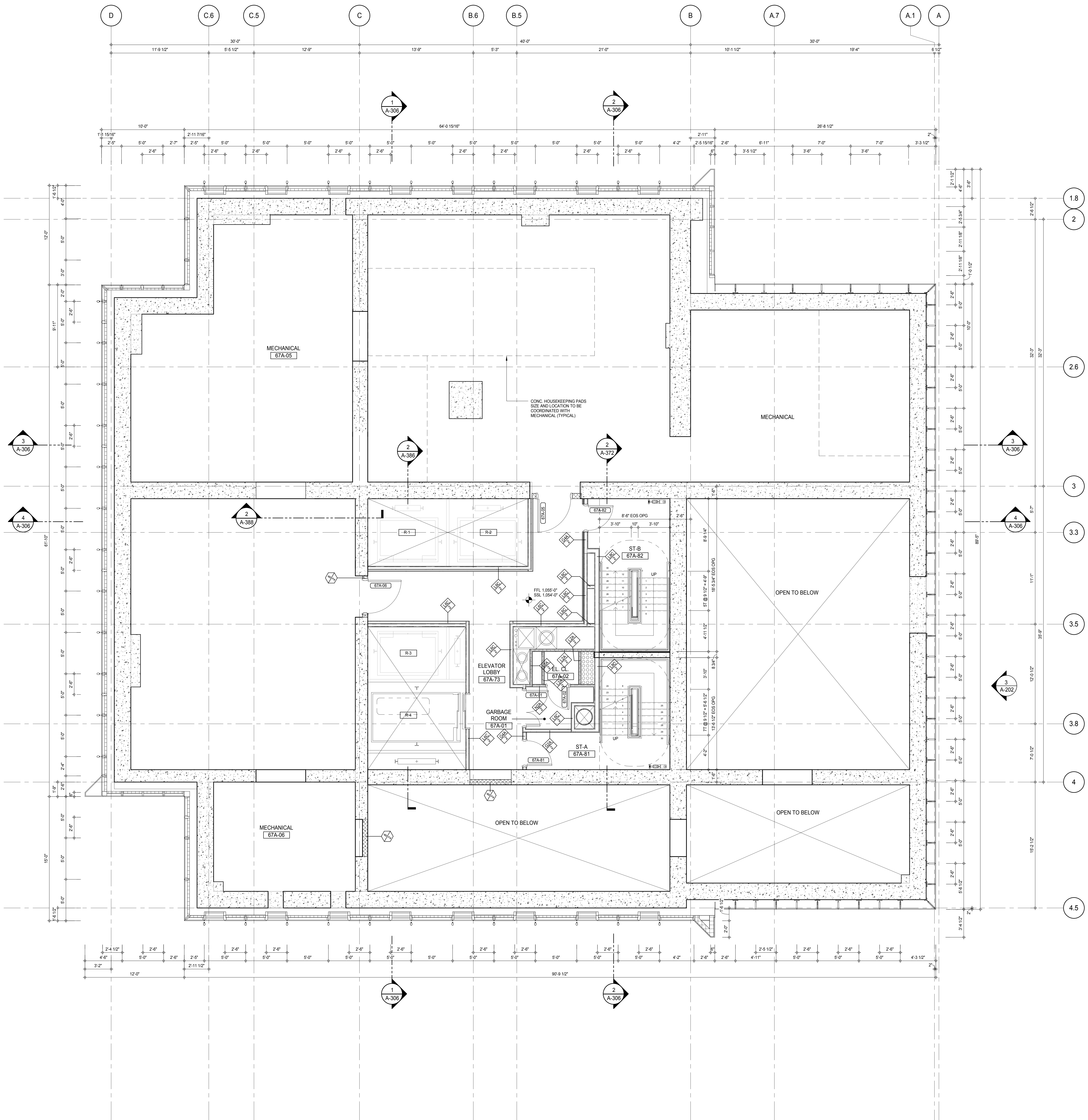
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
 ARCHITECTS, P.C.

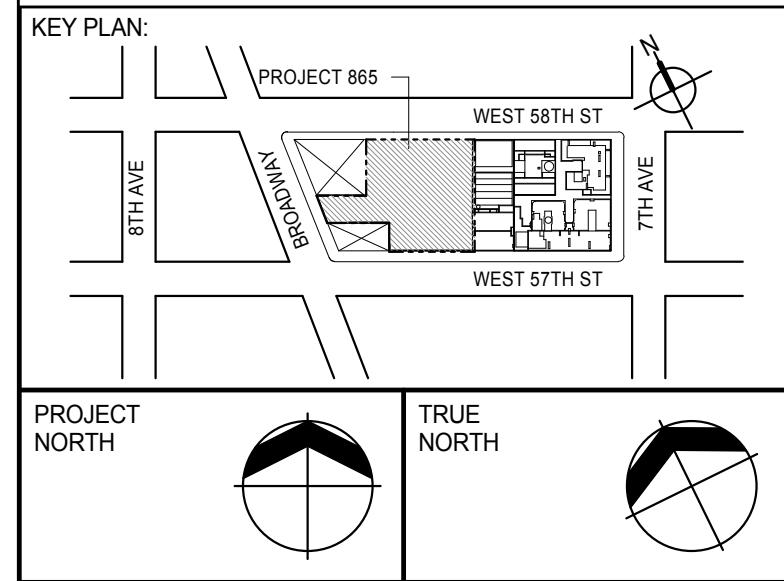
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
67TH FLOOR PLAN (MECHANICAL)

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: Checker
	SCALE: As indicated
DWG No:	A-152.00
DOB PAGE No: 164 of 590	
DOB EMPLOYEE STAMP:	DOB S-SCAN:



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6\"/>



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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 401 Wellington St. W., 3rd Floor
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Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION


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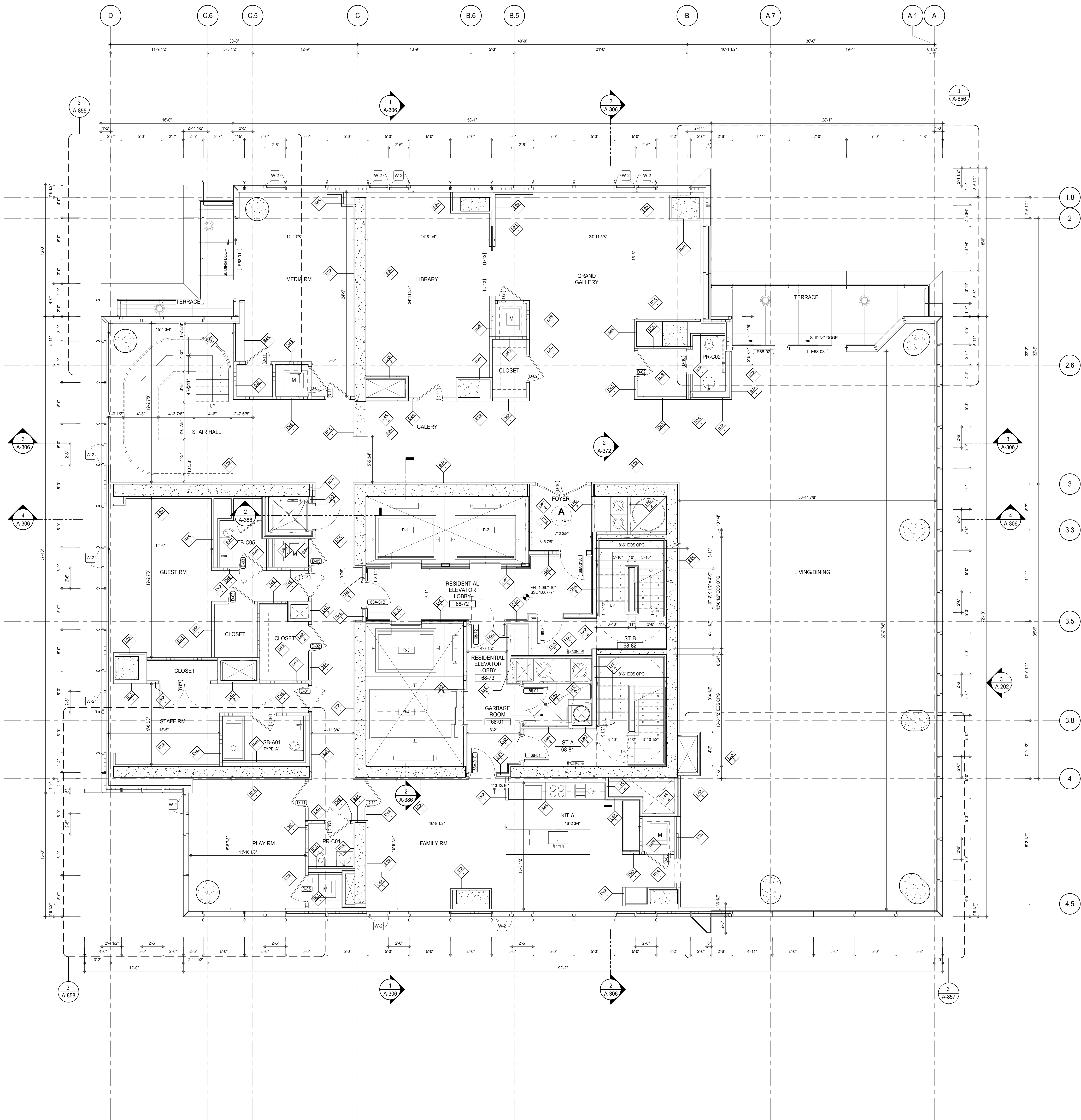
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AAI
 ARCHITECTS, P.C.

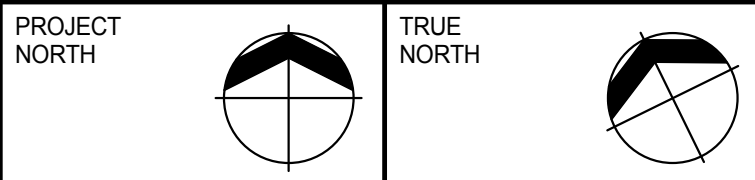
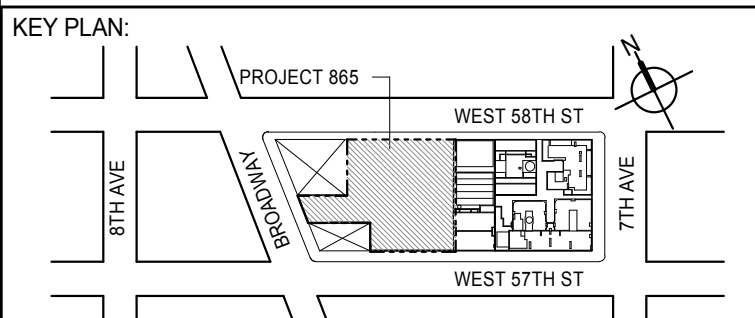
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
67TH INTERMEDIATE FLOOR PLAN

SEAL & SIGNATURE:	DATE: 15 OCT 14	
	PROJECT No: 1216-00	
	DRAWN: Author	REV:
	CHECK: Checker	3
	SCALE: As indicated	
	DWG No: A-153.00	



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave., 7th Floor
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TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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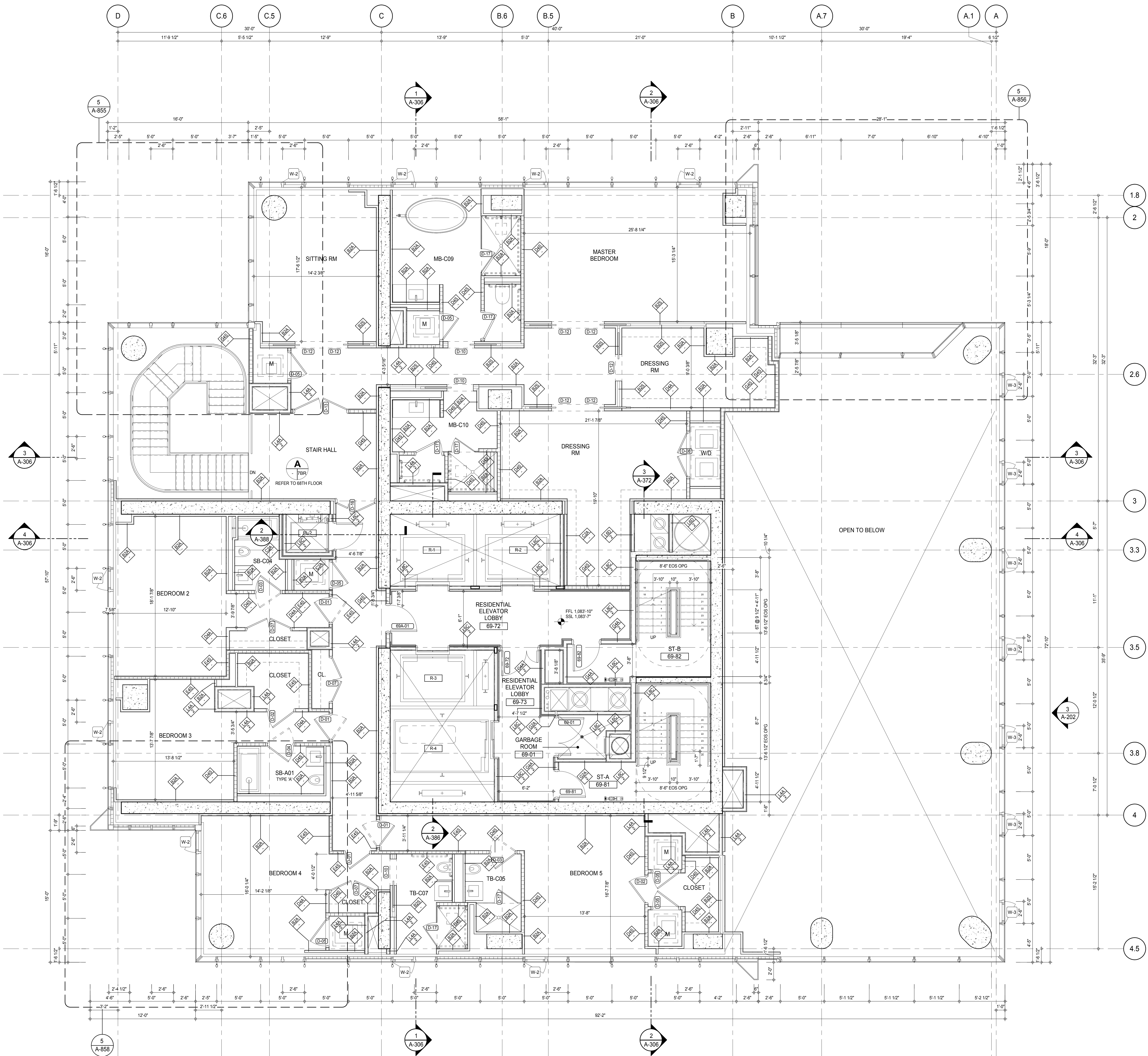
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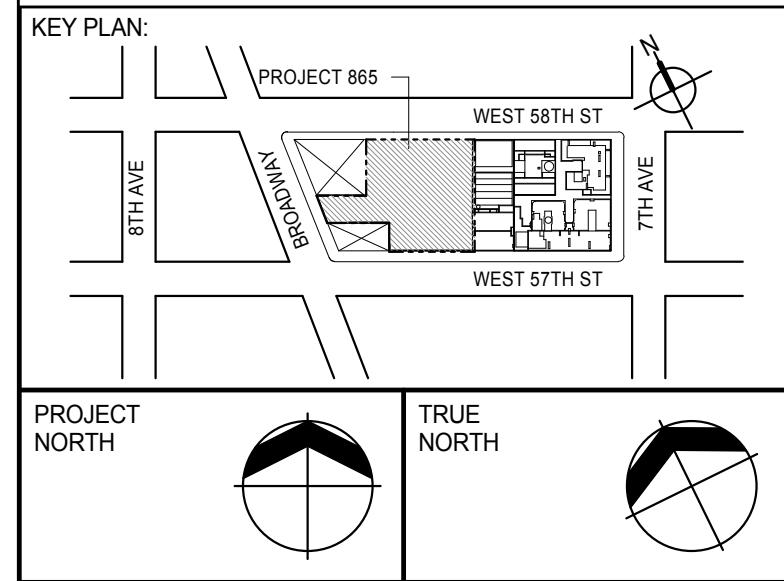
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
68TH FLOOR PLAN (RESIDENTIAL - TIER 4)

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: Checker
	SCALE: As indicated
DWG No:	A-154.00
DOB PAGE No: 166 of 190	
DOB EMPLOYEE STAMP:	DOB 5-SCAN:



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
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STRUCTURAL ENGINEERS:
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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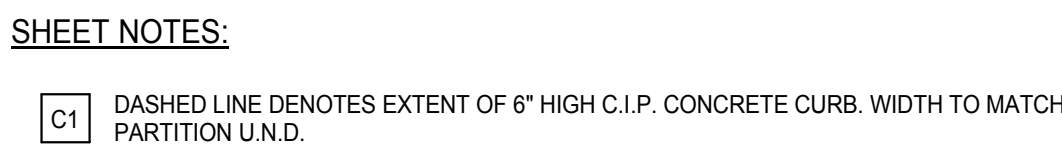
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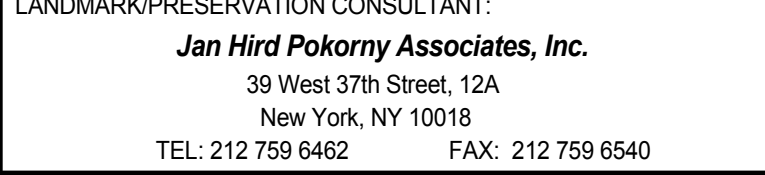
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
69TH FLOOR PLAN (RESIDENTIAL - TIER 4)

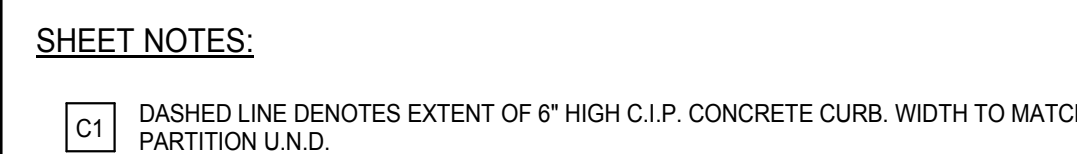
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DWG No:	A-155.00
DOB PAGE No: 167 of 590	
DOB EMPLOYEE STAMP:	DOB S-SCAN:



(PREVIOUS SHEET A-170 \ TO REVISION - 3



DOB EMPLOYEE STAMP:	DOB B-SCAN:
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(PREVIOUS SHEET A-171 \ TO REVISION - 3



0 2' - 0" 4' - 0" 8' - 0"

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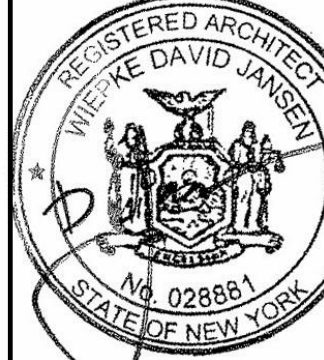
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

71ST-88TH FLOOR PLAN
(RESIDENTIAL - TIER 4)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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DATE:	15 OCT 14
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PROJECT No:	1216-00
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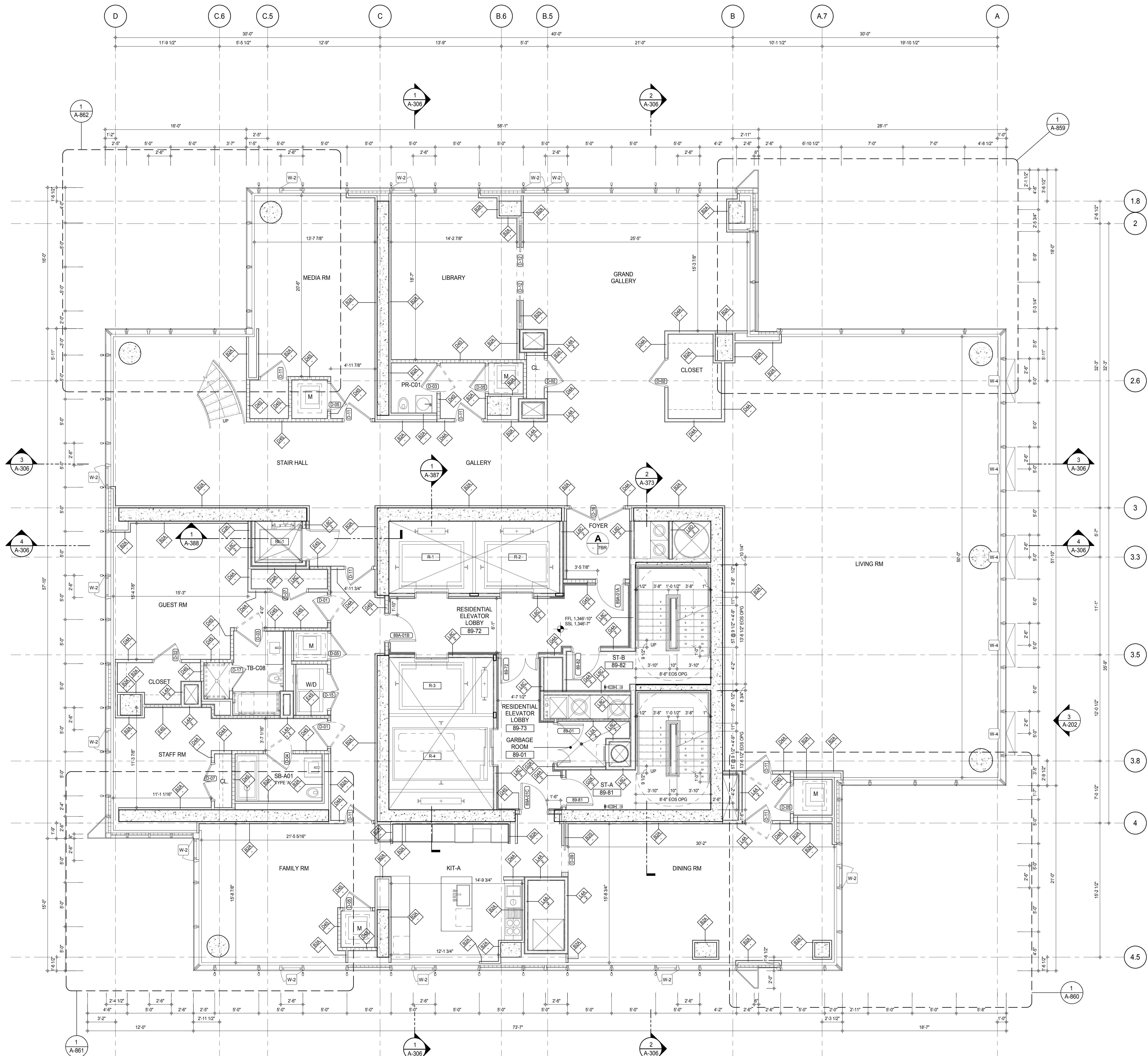
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SCALE: As Indicated

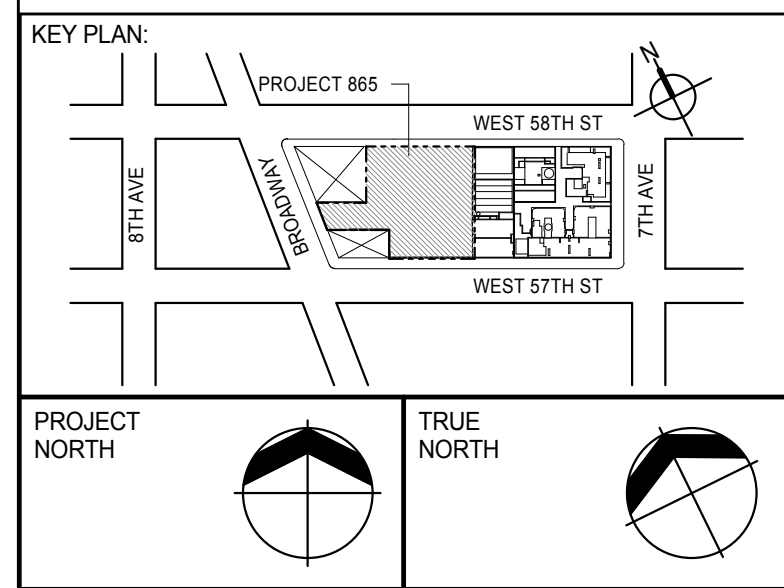
DWG No: **A-155-00**

A-157.00

DOB PAGE No: 169 of 500



SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
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Jan Hird Pokorny Associates, Inc.
 39 WEST 37TH STREET, 12A
 NEW YORK, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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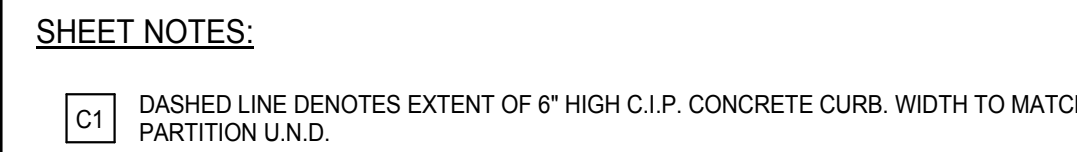
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
89TH FLOOR PLAN (RESIDENTIAL - TIER 4)

SEAL & SIGNATURE 	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 3
DRAWN: Author	CHECKED: Checker
DWG No: A-158.00	SCALE: As Indicated
DOB PAGE No: 170 of 590	DOB 5-SCAN:



(PREVIOUS SHEET A-190 \ TO REVISION - 3

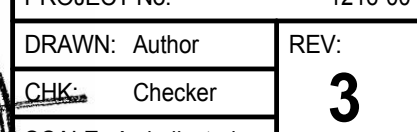


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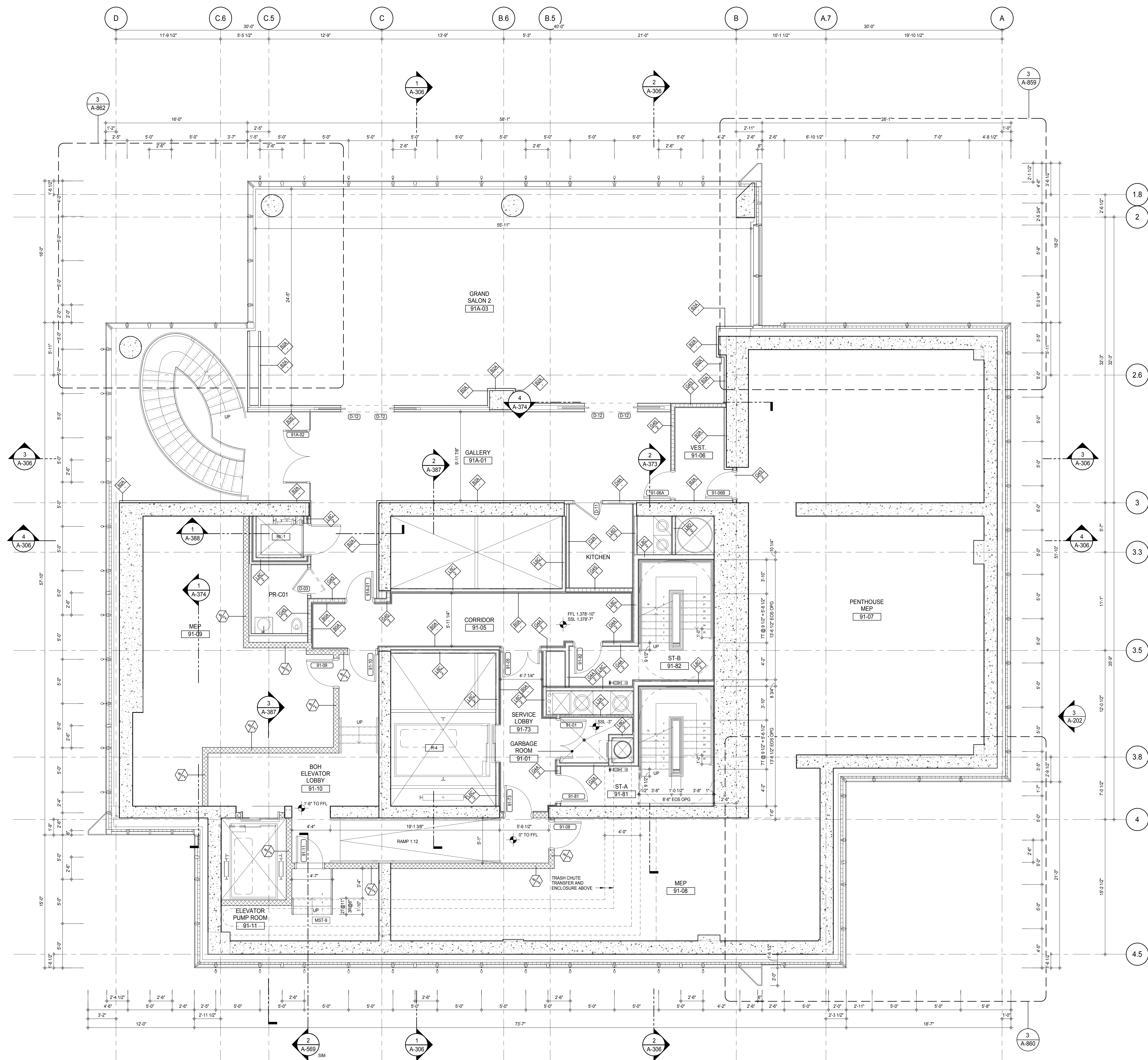


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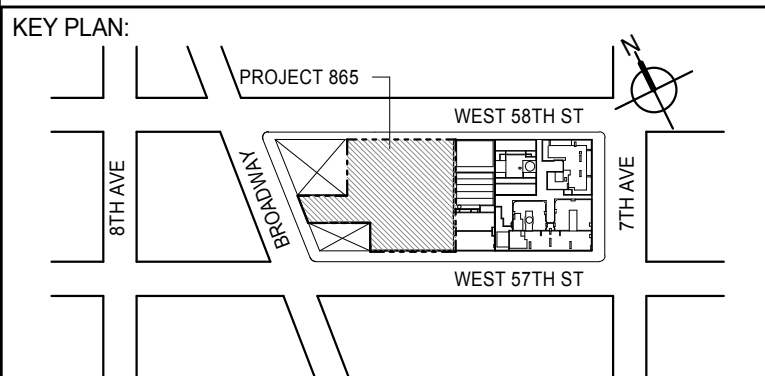
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DOB EMPLOYEE STAMP:		DOB B-SCAN:
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SHEET NOTES

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH		TRUE NORTH	
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EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
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 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
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New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

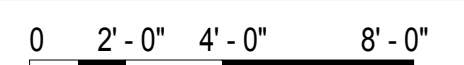
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14



DOB SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

91ST FLOOR PLAN (RESIDENTIAL -
TIER 4)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No: 1216-00	
	DATE: 12/16/00	

	DRAWN: Author		REV:
	CHECKED:		DATE:

CHK:	Checker	3
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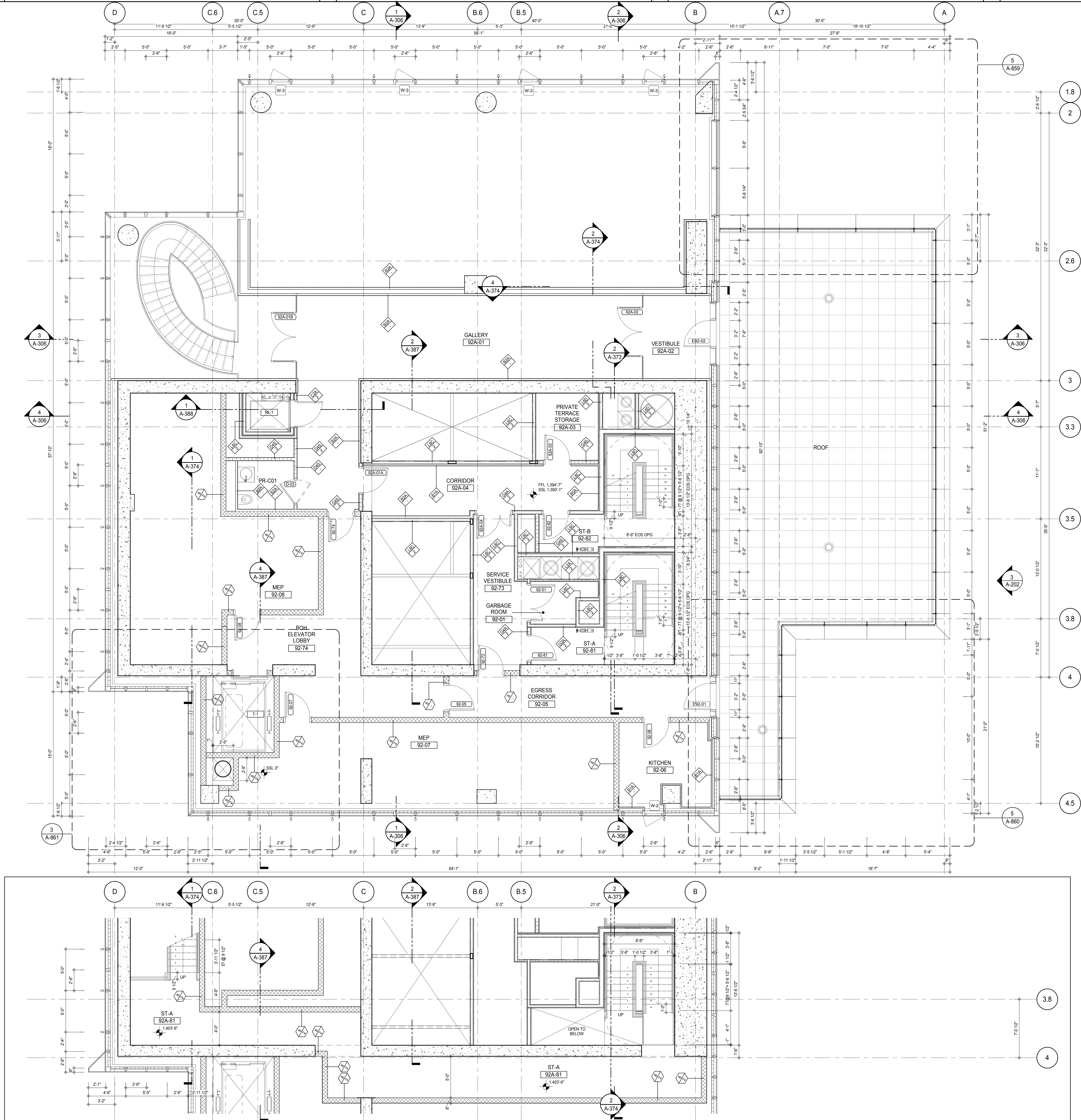
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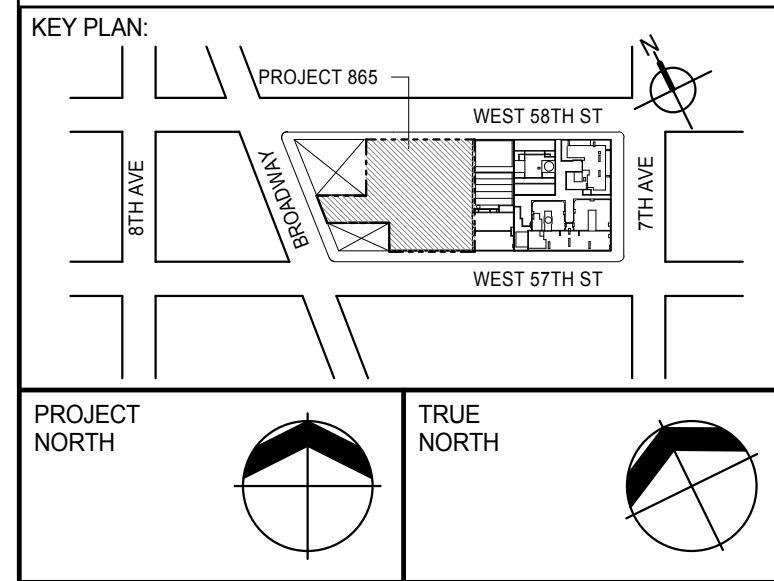
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DOB PAGE No: 172 of 500

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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SHEET NOTES:
 C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
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 111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
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 228 FIFTH AVE, 7TH FLOOR
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Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
 NEW YORK, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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CONSULTANT:
AAI
 ARCHITECTS, P.C.

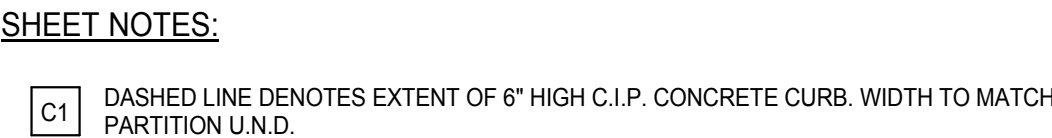
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
92ND FLOOR PLAN (MECHANICAL)

SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: 3 SCALE: As Indicated DWG No: A-161.00
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DOB EMPLOYEE STAMP: 173 of 593
 DOB S-SCAN:

LEVEL 91 STAIR TRANSFER PLAN
 A-202
 1/4" = 1'-0"



0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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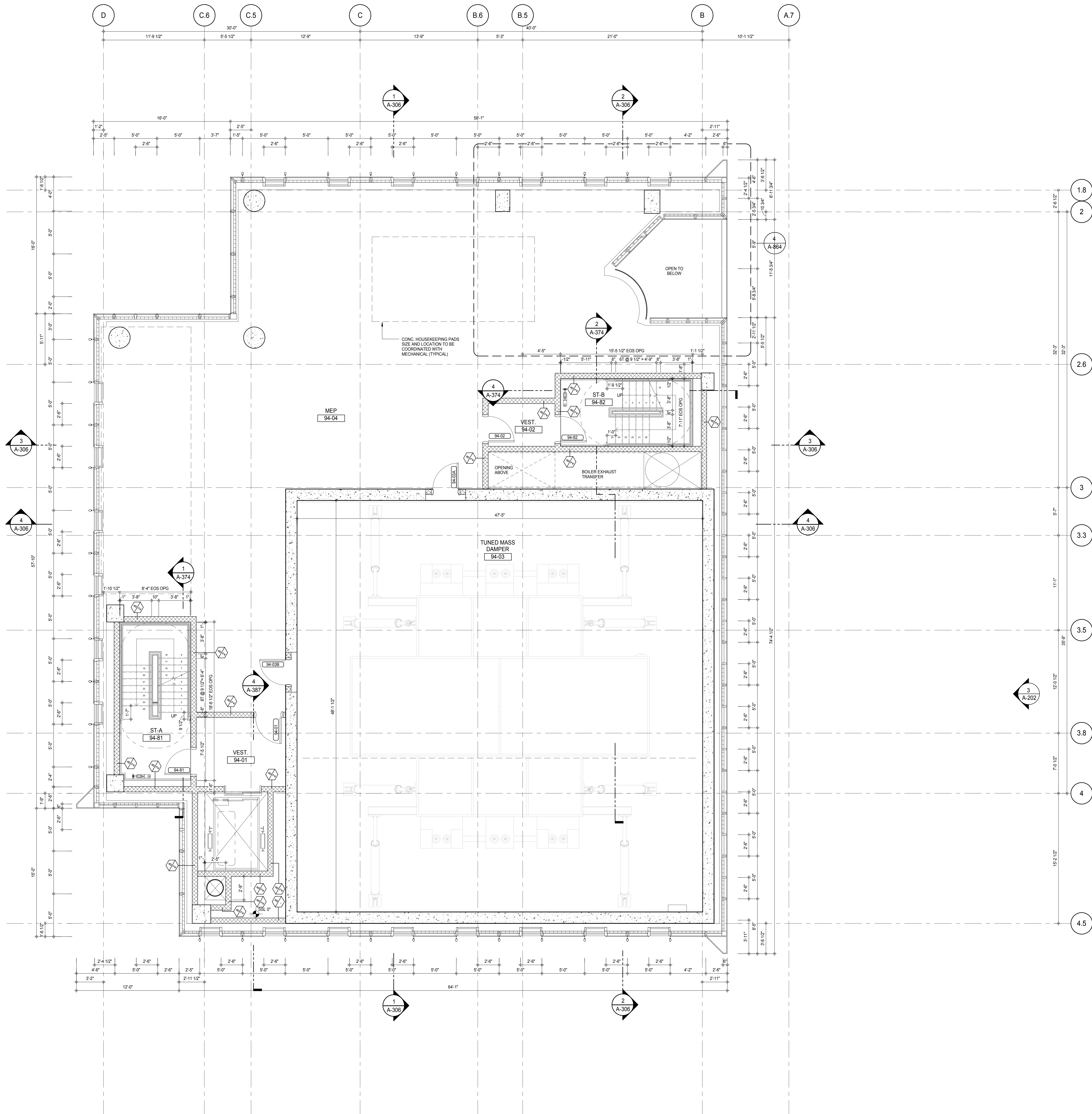
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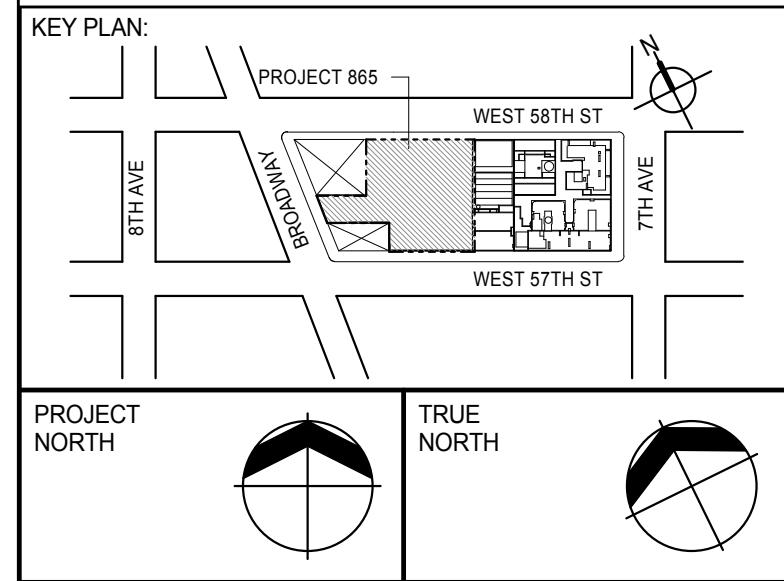
93RD FLOOR PLAN (EMR)

SEAL & SIGNATURE:		DATE: 15 OCT 14	
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		DRAWN: Author	
		CHECK: Checker	
		SCALE: As indicated	
DWG No:		3	
		A-162.00	
DOB EMPLOYEE STAMP:		DOB PAGE No: 174 of 500	
		DOB B-SCAN:	

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



PROJECT NORTH
TRUE NORTH

DEVELOPER:
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805 THIRD AVENUE, 7TH FLOOR
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INTERIOR DESIGNER: Residential
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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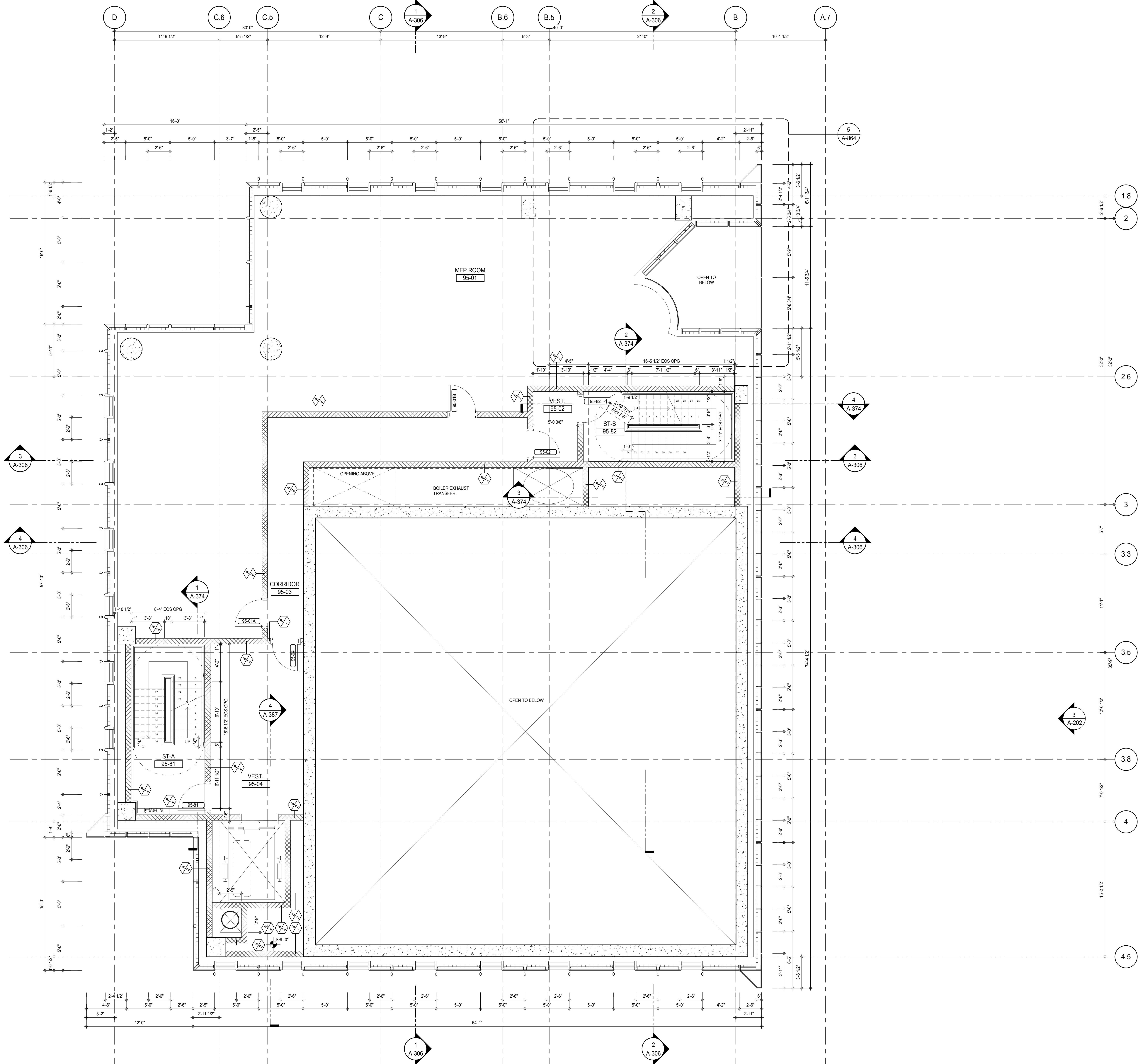
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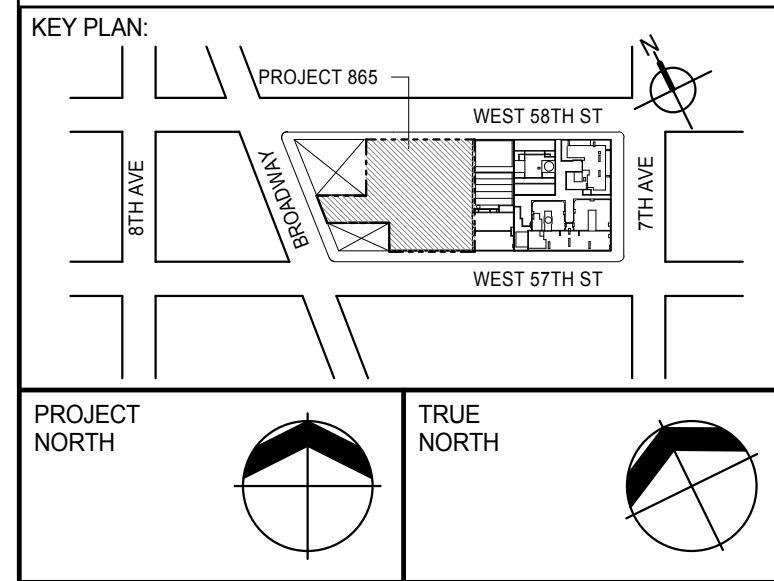
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
94TH FLOOR PLAN (DAMPER)

SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 3
DRAWN: Author	CHECKER: 3
DWG No: A-163.00	SCALE: As Indicated
DOB PAGE No: 115 of 500	DOB 5-SCAN:



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
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INTERIOR DESIGNER: Residential
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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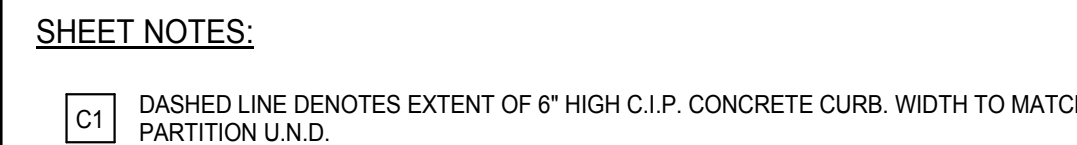
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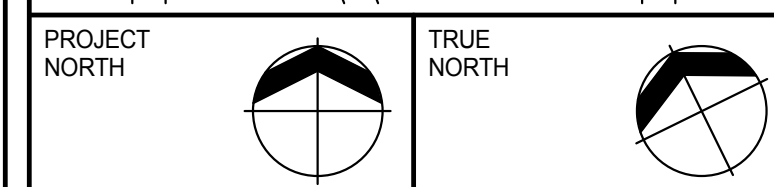
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
95TH FLOOR PLAN

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: Checker
	SCALE: As Indicated
DWG No:	REV: 3
	A-164.00
DOB PAGE No: 116 of 590	
DOB EMPLOYEE STAMP:	DOB S-SCAN:



C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



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Toronto, ON M5V 1E7 Canada

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CODE CONSULTANTS:

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TEL: 212 395 4040 FAX: 212 395 4044

AJLP Consulting

TEL: 212 757 5659 FAX: 646 219 8508

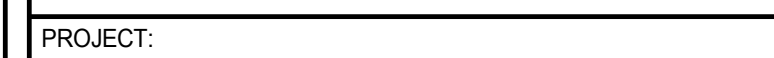
39 West 37th Street, 12A

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CONSULTANT:

LAST




217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

95TH INTERMEDIATE FLOOR PLAN

SEAL & SIGNATURE:	DATE:	15 OCT 1
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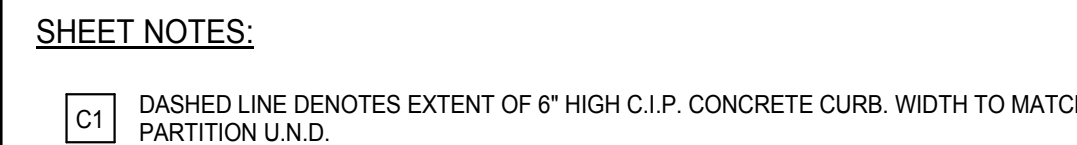
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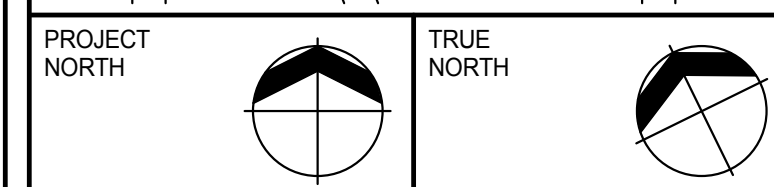
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DOB EMPLOYEE STAMP:	DOB B-SCAN:
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C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



805 THIRD AVENUE, 7TH FLOOR
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Jan Hird Pokorny Associates, Inc.
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New York, NY 10018		
TEL: 212 759 6462		FAX: 212 759 6540
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14



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CONSULTANT



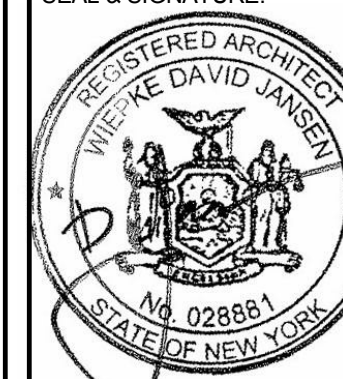
PROJECT

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE

96TH FLOOR PLAN (ROOF)

SEAL & SIGNATURE



DATE:	15 OCT 1
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PROJECT No:

PROJECT NO:	
DRAWN: Author	

CHK: Checker

SCAF: As indicated

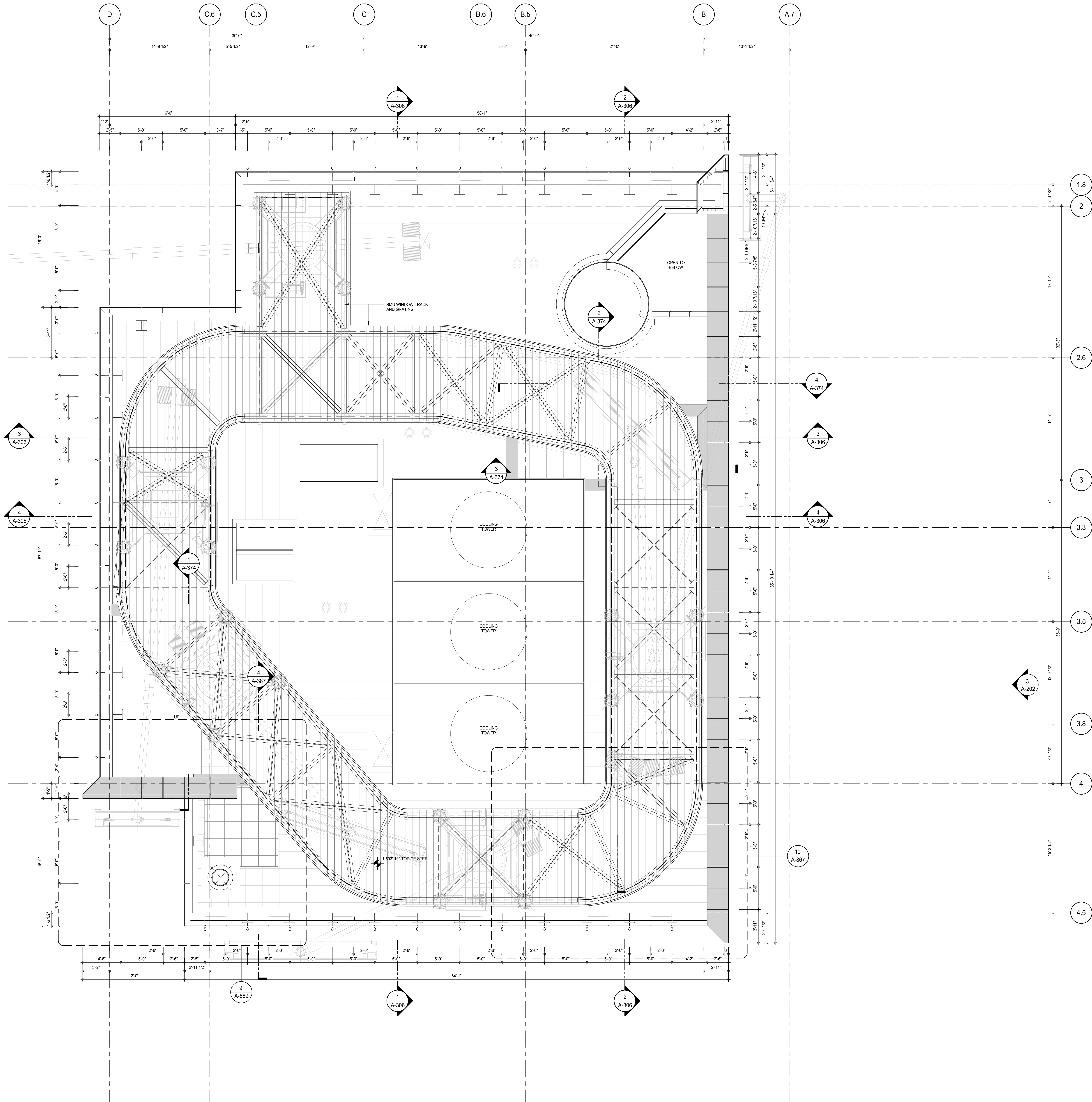
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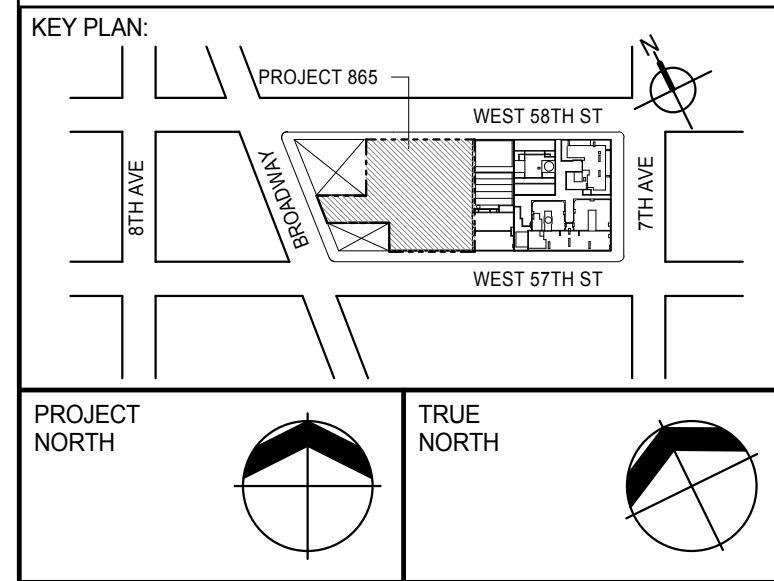
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DOR EMPLOYEE STAMP

DOB B SCAN:



SHEET NOTES:
C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION U.N.D.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14

0 2'-0" 4'-0" 8'-0"

DOB SUBMISSION

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PROJECT:
217 WEST 57TH STREET
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BMU TRACK LEVEL FLOOR PLAN

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	SCALE: As indicated
DWG No:	A-167.00
DOB PAGE No: 179 of 590	DOB 5-SCAN: